



**AGENDA REVIEW MEETING
CHESTERFIELD CITY COUNCIL
VIRTUAL MEETING VIA ZOOM
TUESDAY, FEBRUARY 16, 2021
6:15 PM**

<https://zoom.us/j/97256771290>

312 626 6799

Webinar ID: 972 5677 1290

- I. Planning and Public Works Committee – Chairperson Dan Hurt, Ward III**
 - A. Bill No. 3335 - Easements – An ordinance vacating four existing easements and dedicating two replacement easements on property recently acquired by the City adjacent to Central Park (Second Reading) Planning & Public Works Committee recommends approval**
 - B. Bill No. 3336 - P.Z. 10-2020 City of Chesterfield (Unified Development Code – Articles 3 and 10) – An ordinance amending Article 03-O7 Non-Residential Use Table and Article 10-03 Use Terms of the Unified Development Code {P.Z. 10-2020 City of Chesterfield (Unified Development Code – Articles 3 & 10)} (Second Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval**
 - C. Bill No. 3337 - P.Z. 13-2020 City of Chesterfield (Unified Development Code-Article 4) – An ordinance amending Article 4 of the Unified Development Code to revise language pertaining to Architectural Review Design Standards {P.Z. 13-2020 City of Chesterfield (Unified Development Code – Article 4)}. (Second Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval**
 - D. Wilson Avenue Sidewalk – Recommendation to authorize an amendment to the 2021 Budget in the Capital Projects Fund in the amount of \$48,000 for the construction of a missing section of sidewalk on the west side of Wilson Avenue north of Buchholz Mortuary. (Roll Call Vote) Planning & Public Works Committee recommends approval**
 - E. Bill No. 3338 - P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd) – An ordinance amending the Unified Development Code of the City of Chesterfield by changing the boundaries of an existing “C-8” Planned Commercial District to a “PC” Planned Commercial District for a 3.19 acre tract of land located south of Olive Boulevard, east of North Woods Mill Road (P.Z. 09-2020 Total Access Urgent Care [13426 Olive Blvd] 16Q330911) (First Reading) Planning Commission recommends**

approval. Planning & Public Works Committee recommends approval, as amended. Green Sheet Amendment recommended by PPW Committee

- F. Bill No. 3339 - Public Street Acceptance – The Arbors at Wilmas Farm, Plats 1 and 2** – An ordinance pertaining to the acceptance of Wilmas Farm Drive, Wilmas Hollow Drive, and Wilmas Valley Court as public streets in the City of Chesterfield **(First Reading) Planning & Public Works Committee recommends approval**

G. Next Meeting – February 18, 2021 (5:30pm)

II. Finance and Administration Committee – Chairperson Barb McGuinness, Ward I

III. Parks, Recreation and Arts Committee – Chairperson Michelle Ohley, Ward IV

- A. Eberwein Park Trail** – Completely reconstruct and re-route the trail system in Eberwein Park over four years (2021-2024). This will necessitate a supplemental 2021 allocation of \$70,000 from the General Fund – Fund Reserves. **(Roll Call Vote) Parks, Recreation and Arts Committee recommends approval**

IV. Public Health and Safety Committee – Chairperson Ben Keathley, Ward II

A. Next Meeting – February 24, 2021 (5:30pm)

V. Report from the City Administrator & Other Items Requiring Action by City Council – Mike Geisel

- A. Bid Recommendation - 2021 Sidewalk Replacement Project A** – Recommendation to authorize the City Administrator to enter into an Agreement with Raineri Construction in an amount not to exceed \$300,000. The funding for 2021 contractual sidewalk repair was increased from \$327,000 to \$527,000 via Budget Adjustment DPW#2, approved by City Council on November 16, 2020. **(Roll Call Vote) Department of Public Works recommends approval**

- B. Bid Recommendation - 2021 Construction and Inspection Testing Services** – Recommendation to authorize the City Administrator to execute an Agreement with Geotechnology Incorporated for construction testing and inspection services in an amount not to exceed \$95,000. Funds for this work are budgeted in account 120-079-5261 in the amount of \$110,000. **(Roll Call Vote) Department of Public Works recommends approval**

VI. Other Legislation

VII. Unfinished Business – Mayor Bob Nation

VIII. New Business – Mayor Bob Nation

IX. Adjournment

NOTE: City Council will consider and act upon the matters listed above and such other matters as may be presented at the meeting and determined to be appropriate for discussion at that time.

Notice is hereby given that the City Council may also hold a closed meeting for the purpose of dealing with matters relating to one or more of the following: legal actions, causes of action, litigation or privileged communications between the City's representatives and its attorneys (RSMo 610.021(1) 1994; lease, purchase or sale of real estate (RSMo 610.021(2) 1994; hiring, firing, disciplining or promoting employees with employee groups (RSMo 610.021(3)1994; Preparation, including any discussions or work product, on behalf of a public governmental body or its representatives for negotiations with employee groups (RSMo 610.021(9) 1994; and/or bidding specification (RSMo 610.021(11) 1994.



**AGENDA
CITY COUNCIL MEETING
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Webinar ID: 969 8506 0793

- I. CALL TO ORDER** – Mayor Bob Nation
- II. PLEDGE OF ALLEGIANCE** – Mayor Bob Nation
- III. MOMENT OF SILENT PRAYER** – Mayor Bob Nation
- IV. ROLL CALL** – City Clerk Vickie McGownd
- V. APPROVAL OF MINUTES** – Mayor Bob Nation
 - A. City Council Meeting Minutes** – February 1, 2021
- VI. INTRODUCTORY REMARKS** – Mayor Bob Nation
 - A. Thursday, February 18, 2021 – Planning & Public Works (5:30 pm)**
 - B. Monday, February 22, 2021 – Planning Commission (7 pm)**
 - C. Wednesday, February 24, 2021 – Public Health & Safety (5:30 pm)**
 - D. Monday, March 1, 2021 – City Council (7 pm)**
- VII. COMMUNICATIONS AND PETITIONS** – Mayor Bob Nation

VIII. APPOINTMENTS – Mayor Bob Nation

A. Architectural Review Board – Re-appointment (Mick Weber)

IX. COUNCIL COMMITTEE REPORTS

A. Planning and Public Works Committee – Chairperson Dan Hurt, Ward III

- 1. Bill No. 3335 - Easements** – An ordinance vacating four existing easements and dedicating two replacement easements on property recently acquired by the City adjacent to Central Park **(Second Reading) Planning & Public Works Committee recommends approval**
- 2. Bill No. 3336 - P.Z 10-2020 City of Chesterfield (Unified Development Code – Articles 3 and 10)** – An ordinance amending Article 03-O7 Non-Residential Use Table and Article 10-03 Use Terms of the Unified Development Code {P.Z. 10-2020 City of Chesterfield (Unified Development Code – Articles 3 & 10)} **(Second Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval**
- 3. Bill No. 3337 - P.Z. 13-2020 City of Chesterfield (Unified Development Code-Article 4)** – An ordinance amending Article 4 of the Unified Development Code to revise language pertaining to Architectural Review Design Standards {P.Z. 13-2020 City of Chesterfield (Unified Development Code – Article 4)}. **(Second Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval**
- 4. Wilson Avenue Sidewalk** – Recommendation to authorize an amendment to the 2021 Budget in the Capital Projects Fund in the amount of \$48,000 for the construction of a missing section of sidewalk on the west side of Wilson Avenue north of Buchholz Mortuary. **(Roll Call Vote) Planning & Public Works Committee recommends approval**
- 5. Bill No. 3338 - P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd)** – An ordinance amending the Unified Development Code of the City of Chesterfield by changing the boundaries of an existing “C-8” Planned Commercial District to a “PC” Planned Commercial District for a 3.19 acre tract of land located south of Olive Boulevard, east of North Woods Mill Road (P.Z. 09-2020 Total Access Urgent Care [13426 Olive Blvd] 16Q330911) **(First Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval, as amended. Green Sheet Amendment recommended by PPW Committee**
- 6. Bill No. 3339 - Public Street Acceptance – The Arbors at Wilmas Farm, Plats 1 and 2** – An ordinance pertaining to the acceptance of Wilmas Farm Drive, Wilmas Hollow Drive, and Wilmas Valley Court as public streets in the

City of Chesterfield **(First Reading) Planning & Public Works Committee recommends approval**

7. Next Meeting – February 18, 2021 (5:30pm)

B. Finance and Administration Committee – Chairperson Barb McGuinness, Ward I

C. Parks, Recreation and Arts Committee – Chairperson Michelle Ohley, Ward IV

- 1. Eberwein Park Trail** – Completely reconstruct and re-route the trail system in Eberwein Park over four years (2021-2024). This will necessitate a supplemental 2021 allocation of \$70,000 from the General Fund – Fund Reserves. **(Roll Call Vote) Parks, Recreation and Arts Committee recommends approval**

D. Public Health and Safety Committee – Chairperson Ben Keathley, Ward II

1. Next Meeting – February 24, 2021 (5:30pm)

X. REPORT FROM THE CITY ADMINISTRATOR – Mike Geisel

A. Bid Recommendation - 2021 Sidewalk Replacement Project A –

Recommendation to authorize the City Administrator to enter into an Agreement with Raineri Construction in an amount not to exceed \$300,000. The funding for 2021 contractual sidewalk repair was increased from \$327,000 to \$527,000 via Budget Adjustment DPW#2, approved by City Council on November 16, 2020. **(Roll Call Vote) Department of Public Works recommends approval**

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Recommendation to authorize the City Administrator to execute an Agreement with Geotechnology Incorporated for construction testing and inspection services in an amount not to exceed \$95,000. Funds for this work are budgeted in account 120-079-5261 in the amount of \$110,000. **(Roll Call Vote) Department of Public Works recommends approval**

XI. OTHER LEGISLATION

XII. UNFINISHED BUSINESS – Mayor Bob Nation

XIII. NEW BUSINESS – Mayor Bob Nation

XIV. ADJOURNMENT

Public comment will be available to users logging in online. Public comment will also be available to users calling in to the meeting; however, you must call (636) 537-6716 no later than 5:00 p.m. on the day of the meeting to inform the City Clerk of the telephone number you will be calling in from.

Members of the public may also submit comments for this meeting by calling (636) 537-6716 and leaving a message or by emailing vmcgownd@chesterfield.mo.us no later than 5:00 p.m. on the day of the meeting. Comments left over voicemail and emailed in will be read at the meeting.

AGENDA REVIEW – TUESDAY 2/16/2021 – 6:15 PM

An AGENDA REVIEW meeting has been scheduled to start at **6:15 PM, on Tuesday, February 16, 2021.**

Please note:

There are two separate meetings, each of which will require a separate login and each will have distinct, different login invitations. This is necessary in order to provide full and complete transparency for both meetings.

We will have to initially log in to our Work Session meeting at 6:15 p.m. After conducting the routine work session per our normal processes, we will close that meeting. Prior to 7 p.m., we will log into our regular meeting and go live immediately prior to 7 PM. These meetings generally allow users to log in up to 15 minutes prior to the actual meeting.

Please let me know, ASAP, if you will be unable to attend this meeting.

City of Chesterfield
Excess Checks (=> \$5,000)
January 2021

DATE	CHECK #	VENDOR	DESCRIPTION	CHECK AMT	FUND
1/7/2021	46463	ALL PURPOSE ERECTORS, INC	DEMOLITION OF BASEBALL AND FOOTBALL SCOREBOARDS	\$ 6,000.00	119
1/14/2021	46498	VERMONT SYSTEMS, INC.	RECTRAC 1/1/21-12/31/21	5,461.06	119
1/14/2021	46499	VOLZ, INC.	SURVEY EAST LINE- RESERVE @ CHESTERFIELD VILLAGE	6,600.00	119
1/7/2021	62627	DELTA DENTAL OF MISSOURI	DEC 2020 DENTAL INSURANCE-HIGH/LOW	13,129.16	001
1/7/2021	62650	ST. LOUIS AREA HEALTH INSURANCE TRUST-MEDICAL	JAN 2021 HEALTH INSURANCE	181,210.19	001
1/7/2021	62653	STRAQR	TREE PROTECTION SURETY REFUND- GRAND RESERVE	24,600.00	808
1/7/2021	62655	THE GRAVILLE LAW FIRM, LLC	NOV 2020 PROFESSIONAL SERVICES	20,749.50	001
1/7/2021	62656	THE HARTFORD-PRIORITY ACCOUNTS	LIFE INSURANCE	10,082.11	001
1/7/2021	62658	TOPE PLUMBING	1814 WINTER RUN - SEWER REPAIR	7,447.00	110
1/7/2021	62661	VIGILANT SOLUTIONS, LLC	AUTOMATIC LICENSE PLATE RECOGNITION SYSTEM	21,558.25	121
1/14/2021	62677	ENERGY PETROLEUM CO.	#2 ULTRA LS DIESEL, NL PLUS 89 OCT RFG	24,696.82	001
1/14/2021	62678	ERB EQUIPMENT CO., INC.	HYDRAULIC VALVE FOR S203 BACKHOE	8,923.14	001
1/14/2021	62683	FISCHER & FRICHEL	LCE RELEASE-FIENUP FARMS LOTS 114, 118, 138, 150, 151. WARWICK-8	9,000.00	808
1/14/2021	62685	GAMMA TREE EXPERTS	2020 STREET TREE REMOVAL	67,014.25	001
1/14/2021	62706	REJIS COMMISSION	REJIS CONTRACTUAL FEES 12/1/20-12/31/20 & 12/1/20-11/30/21	6,763.55	121
1/14/2021	62711	TIMBERLINE PROFESSIONAL TREE CARE	2021 STREET TREE REMOVAL	10,500.00	120
1/21/2021	62723	AMEREN MISSOURI	690 CHESTERFIELD PKWY W-0627147004	8,066.12	001
1/21/2021	62730	COMPASS MINERALS AMERICA INC	SALT CO-OP	145,136.68	001
1/21/2021	62733	DAIKIN TAYCON LLC	UPGRADE & EXPANSION OF BLDG AUTOMATION SYSTEM	7,954.22	120
1/21/2021	62737	FARINELLA NURSERY LANDSCAPE CONST. LLC	2020 STREET TREES	51,420.00	001/120
1/21/2021	62738	FISCHER & FRICHEL	LOT CASH ESCROW RELEASE-FIENUP FARMS LOTS, 120,122,132,162	6,000.00	808
1/21/2021	62758	TOPE PLUMBING	15241 ISLEVIEW - SEWER REPAIR	6,350.50	110
1/22/2021	62761	PNC BANK	DEC 2020 MONTHLY PNC STATEMENT	5,173.05	001
1/28/2021	62801	PNC BANK	DEC/JAN 2020 MONTHLY PNC STATEMENT	7,065.93	001
1/28/2021	62802	POLICE LEGAL SCIENCES	POST CERTIFIED TRAINING-CIVILIANS, POST CERTIFIED TRAINING	12,200.00	121
1/28/2021	62821	TREASURER-ST. LOUIS COUNTY	POLICE COMMUNICATIONS JANUARY 2021	16,937.19	121

\$ 690,038.72

Fund Legend

General Fund	001
Sewer lateral fund	110
Parks	119
Capital Improvements	120
Public Safety	121
Trust & Agency	808

Respectfully submitted by,
John Hughes, Assistant Finance Director





RECORD OF PROCEEDING

MEETING OF THE CITY COUNCIL OF THE CITY OF CHESTERFIELD AT 690 CHESTERFIELD PARKWAY WEST

FEBRUARY 1, 2021

The meeting was called to order at 7 p.m.

Mayor Bob Nation led everyone in the Pledge of Allegiance and followed with a moment of silent prayer.

A roll call was taken with the following results:

PRESENT

ABSENT

Mayor Bob Nation
Councilmember Mary Monachella
Councilmember Barbara McGuinness
Councilmember Ben Keathley
Councilmember Mary Ann Mastorakos
Councilmember Dan Hurt
Councilmember Michael Moore
Councilmember Tom DeCampi
Councilmember Michelle Ohley

APPROVAL OF MINUTES

The minutes of the January 19, 2021 City Council meeting were submitted for approval. Councilmember Ohley made a motion, seconded by Councilmember Moore, to approve the January 19, 2021 City Council minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

The minutes of the January 19, 2021 Executive Session were submitted for approval. Councilmember Ohley made a motion, seconded by Councilmember Monachella, to approve the January 19, 2021 Executive Session minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

INTRODUCTORY REMARKS

Mayor Nation announced that City Hall will be closed on Monday, February 15 in observance of Presidents' Day.

Mayor Nation announced that the next meeting of City Council is scheduled for Tuesday, February 16, at 7 p.m.

COMMUNICATIONS AND PETITIONS

Mayor Nation advised City Council that a Proclamation had been issued recognizing February 1, 2021 as Mayors' Monarch Pledge Day in the City of Chesterfield.

Mr. Brian Hoelscher, Metropolitan St. Louis Sewer District Executive Director & CEO, addressed City Council pertaining to April ballot issues directly affecting Chesterfield residents.

Mr. George Stock, 257 Chesterfield Business Parkway, stated that he was available to answer questions pertaining to Wildhorse Village.

Mr. Jeff Tegethoff, 2199 Innerbelt Business Center Drive, stated that he was available to answer questions pertaining to Wildhorse Village, and he was supportive of the Bill as presented.

Mr. Andrew Kilmer, 2203 Center Drive, Wildwood, stated that he was available to answer questions pertaining to Wildhorse Village.

Mr. Brian Markus, 1135 Richland Drive, stated that he supports rental property inspections prior to re-occupancy.

Ms. Deb Klug, 17118 Summerset Field Court, spoke in support of retaining Republic Services as the City's waste hauler.

Ms. Susan Piazza, Republic Services, stated that Republic Services requests reconsideration of the contract extension for waste hauling service.

APPOINTMENTS

There were no appointments.

COUNCIL COMMITTEE REPORTS AND ASSOCIATED LEGISLATION

Planning/Public Works Committee

Bill No. 3329 Vacates two existing easements, dedicating two replacement easements, and authorizing the City of Chesterfield to enter into and execute a BMP Maintenance Agreement and easements in connection with construction of Burkhardt Place as part of a certain development project in the city **(Second Reading) Planning & Public Works Committee recommends approval**

Councilmember Dan Hurt, Chairperson of the Planning/Public Works Committee, made a motion, seconded by Councilmember Mastorakos, for the second reading of Bill No. 3329. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3329 was read for the second time. A roll call vote was taken for the passage and approval of Bill No. 3329 with the following results: Ayes – Moore, Hurt, Monachella, Ohley, McGuinness, Keathley, Mastorakos and DeCampi. Nays – None. Whereupon Mayor Nation declared Bill No. 3329 approved, passed it and it became **ORDINANCE NO. 3131**.

Bill No. 3330 Authorizes condemnation of certain interests in real property located in the City for the purpose of constructing Phase VI of the Monarch-Chesterfield Levee Trail extending the existing trail **(Second Reading) Planning & Public Works Committee recommends approval**

Bill No. 3331 Authorizes condemnation of certain interests in real property located in the City for the purpose of constructing Phase VI of the Monarch-Chesterfield Levee Trail extending the existing trail **(Second Reading) Planning & Public Works Committee recommends approval**

Bill No. 3332 Authorizes condemnation of certain interests in real property located in the City for the purpose of constructing Phase VI of the Monarch-Chesterfield Levee Trail extending the existing trail **(Second Reading) Planning & Public Works Committee recommends approval**

Bill No. 3333 Authorizes condemnation of certain interests in real property located in the City for the purpose of constructing Phase VI of the Monarch-Chesterfield Levee Trail extending the existing trail **(Second Reading) Planning & Public Works Committee recommends approval**

Bill No. 3334 Authorizes condemnation of certain interests in real property located in the City for the purpose of constructing Phase VI of the Monarch-Chesterfield Levee Trail extending the existing trail **(Second Reading) Planning & Public Works Committee recommends approval**

Councilmember Hurt made a motion, seconded by Councilmember Moore, for the second reading of Bill Nos. 3330 through 3334. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill Nos. 3330 through 3334 were read for the second time.

A roll call vote was taken for the passage and approval of Bill No. 3330 with the following results: Ayes – McGuinness, Ohley, Hurt, DeCampi, Keathley, Moore, Monachella and Mastorakos. Nays – None. Whereupon Mayor Nation declared Bill No. 3330 approved, passed it and it became **ORDINANCE NO. 3132.**

A roll call vote was taken for the passage and approval of Bill No. 3331 with the following results: Ayes – DeCampi, McGuinness, Ohley, Mastorakos, Keathley, Moore, Monachella and Hurt. Nays – None. Whereupon Mayor Nation declared Bill No. 3331 approved, passed it and it became **ORDINANCE NO. 3133.**

A roll call vote was taken for the passage and approval of Bill No. 3332 with the following results: Ayes – Monachella, Mastorakos, Moore, Keathley, DeCampi, Hurt, McGuinness and Ohley. Nays – None. Whereupon Mayor Nation declared Bill No. 3332 approved, passed it and it became **ORDINANCE NO. 3134.**

A roll call vote was taken for the passage and approval of Bill No. 3333 with the following results: Ayes – Ohley, Hurt, Mastorakos, DeCampi, Monachella, Keathley, McGuinness and Moore. Nays – None. Whereupon Mayor Nation declared Bill No. 3333 approved, passed it and it became **ORDINANCE NO. 3135.**

A roll call vote was taken for the passage and approval of Bill No. 3334 with the following results: Ayes – Mastorakos, DeCampi, McGuinness, Moore, Monachella, Keathley, Hurt and Ohley. Nays – None. Whereupon Mayor Nation declared Bill No. 3334 approved, passed it and it became **ORDINANCE NO. 3136.**

Bill No. 3335 Vacates four existing easements and dedicates two replacement easements on property recently acquired by the City adjacent to Central Park **(First Reading) Planning & Public Works Committee recommends approval**

Councilmember Hurt made a motion, seconded by Councilmember Moore, for the first reading of Bill No. 3335. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3335 was read for the first time.

Bill No. 3336 Amends Article 03-07 Non-Residential Use Table and Article 10-03 Use Terms of the Unified Development Code {P.Z. 10-2020 City of Chesterfield (Unified Development Code – Articles 3 & 10)} **(First Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval**

Bill No. 3337 Amends Article 4 of the Unified Development Code to revise language pertaining to Architectural Review Design Standards {P.Z. 13-2020 City of Chesterfield (Unified Development Code – Article 4)} **(First Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval**

Councilmember Hurt made a motion, seconded by Councilmember Mastorakos, for the first reading of Bill Nos. 3336 and 3337. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill Nos. 3336 and 3337 were read for the first time.

Councilmember Hurt made a motion, seconded by Councilmember Monachella, to approve the amended Site Development Concept Plan, Landscape Concept Plan, Signage Concept Plan, and Lighting Fixture Concept Plan of Downtown Chesterfield Categories A & B, as amended by the Planning and Public Works Committee, which includes modifying the density allocation table; requiring lake front trail to be a minimum of ten feet wide; and eliminating all street trees along Lake Front Drive within the 300 foot view corridor, except for those trees adjacent to the northern and southern boundaries of the corridor. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember Hurt announced that the next meeting of this Committee is scheduled for Thursday, February 4, at 5:30 p.m.

Finance and Administration Committee

Councilmember Barbara McGuinness, Chairperson of the Finance and Administration Committee, indicated that she had no report this evening.

Parks, Recreation & Arts Committee

Councilmember Michelle Ohley, Chairperson of the Parks, Recreation & Arts Committee, indicated that she had no action items this evening, and the next meeting of this Committee is scheduled for February 2, at 4:00 p.m.

Public Health & Safety Committee

Councilmember Ben Keathley, Chairperson of the Public Health & Safety Committee, indicated that he had no action items this evening, and the next meeting of this Committee is scheduled for February 24, at 5:30 p.m.

REPORT FROM THE CITY ADMINISTRATOR

City Administrator Mike Geisel reported that El Troquero LLC, located at 185 Hilltown Village Center (formerly Fiesta Modern Mexican) has requested a new liquor license for retail sale of all kinds of liquor by the drink, to be consumed on premise, and Sunday sales. Mr. Geisel reported that, per City policy, this application has been reviewed and is now recommended for approval by both the Police Department and Planning & Development Services. Councilmember Keathley made a motion, seconded by Councilmember Moore, to approve issuance of a new liquor license to El Troquero LLC. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

OTHER LEGISLATION

There was no "Other Legislation" scheduled for this meeting.

UNFINISHED BUSINESS

There was no unfinished business.

NEW BUSINESS

There was no new business.

ADJOURNMENT

There being no further business to discuss, Mayor Nation adjourned the meeting at 8:06 p.m.

Mayor Bob Nation

ATTEST:

Vickie McGownd, City Clerk

APPROVED BY CITY COUNCIL: _____

UPCOMING MEETINGS/EVENTS

A. Thursday, February 18, 2021 – Planning & Public Works (5:30pm)

B. Monday, February 22, 2021 – Planning Commission (7pm)

C. Wednesday, February 24, 2021 – Public Health & Safety (5:30 pm)

E. Monday, March 1, 2021 – City Council (7 pm)

APPOINTMENTS

Architectural Review Board – Re-appointment (Mick Weber)



DATE: February 2, 2021
TO: Michael O. Geisel, City Administrator
FROM: Vickie McGownd, City Clerk *nm*
SUBJECT: Statutory Committee Re-Appointment

Mayor Nation intends to nominate the following individual for re-appointment at the February 16, 2021 City Council meeting:

Architectural Review Board

Mick Weber
MW Weber Architects
129 Long Road
Chesterfield, MO 63005
636-519-1400
mweber@mwweberarchitects.com
New term expires 3/18/23

Please add this re-appointment to the February 16 City Council agenda.

PLANNING AND PUBLIC WORKS COMMITTEE

Chair: Councilmember Hurt

Vice-Chair: Councilmember Ohley

The Planning and Public Works Committee has the following action items for the February 16, 2021 City Council meeting.

Bill No. 3335 - Easements

An ordinance vacating four existing easements and dedicating two replacement easements on property recently acquired by the City adjacent to Central Park.

(Second Reading) Planning & Public Works Committee recommends approval.

Bill No. 3336 - P.Z. 10-2020 City of Chesterfield (Unified Development Code – Articles 3 and 10)

An ordinance amending Article 03-07 Non-Residential Use Table and Article 10-03 Use Terms of the Unified Development Code {P.Z. 10-2020 City of Chesterfield (Unified Development Code – Articles 3 & 10)}.

(Second Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval.

Bill No. 3337 - P.Z. 13-2020 City of Chesterfield (Unified Development Code-Article 4):

An ordinance amending Article 4 of the Unified Development Code to revise language pertaining to Architectural Review Design Standards {P.Z. 13-2020 City of Chesterfield (Unified Development Code – Article 4)}.

(Second Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval.

Wilson Avenue Sidewalk

Recommendation to authorize an amendment to the 2021 Budget in the Capital Projects Fund in the amount of \$48,000 for the construction of a missing section of sidewalk on the west side of Wilson Avenue north of Buchholz Mortuary.

(Roll Call Vote) Planning & Public Works Committee recommends approval.

Bill No. 3338 - P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd)

An ordinance amending the Unified Development Code of the City of Chesterfield by changing the boundaries of an existing “C-8” Planned Commercial District to a “PC” Planned Commercial District for a 3.19 acre tract of land located south of Olive Boulevard, east of North Woods Mill Road (P.Z. 09-2020 Total Access Urgent Care [13426 Olive Blvd] 16Q330911).

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Green Sheet Amendment recommended by PPW Committee.

Bill No. 3339 - Public Street Acceptance – The Arbors at Wilmas Farm, Plats 1 and 2

An ordinance pertaining to the acceptance of Wilmas Farm Drive, Wilmas Hollow Drive, and Wilmas Valley Court as public streets in the City of Chesterfield.

(First Reading) Planning & Public Works Committee recommends approval

NEXT MEETING

The next meeting of the Planning & Public Works Committee is scheduled for Thursday, February 18, 2021, at 5:30 pm.

If you have any questions or require additional information, please contact Director of Planning - Justin Wyse, Director of Public Works – Jim Eckrich, or me prior to Tuesday's meeting.

MEMORANDUM

TO: Mike Geisel, City Administrator

FROM: Justin Wyse, Director of Planning *JW*
James Eckrich, Director of Public Works/City Engineer *JE*

SUBJECT: Planning & Public Works Committee **Virtual** Meeting
Summary Thursday, February 4, 2021



A meeting of the Planning and Public Works Committee of the Chesterfield City Council was held virtually via Zoom on Thursday, February 4, 2021.

In attendance were: **Chair Dan Hurt**, (Ward III), **Councilmember Mary Monachella** (Ward I), **Councilmember Mary Ann Mastorakos** (Ward II), and **Councilmember Michelle Ohley** (Ward IV).

Also in attendance were: Mayor Bob Nation; Councilmember Michael Moore (Ward III); Planning Commission Chair Merrell Hansen; Architectural Review Board Chair Mick Weber; Architectural Review Board Member Scott Starling; Jim Eckrich, Director of Public Works/City Engineer; Justin Wyse, Director of Planning; Annisa Kumerow, Planner; and Kathy Juergens, Recording Secretary.

The meeting was called to order at 5:30 p.m.

I. APPROVAL OF MEETING SUMMARY

A. Approval of the January 21, 2021 Committee Meeting Summary

Councilmember Ohley made a motion to approve the Meeting Summary of January 21, 2021. The motion was seconded by Councilmember Mastorakos and **passed** by a voice vote of 4-0.

Chair Hurt requested that Item II.B be discussed before Item II.A and the Committee concurred.

II. UNFINISHED BUSINESS

B. Unified Development Code (Article 4) – Rooftop Screening Discussion

Chair Hurt stated that two members of the Architectural Review Board (ARB) were present for the discussion. He then introduced Chair Mick Weber and Scott Starling. He stated that the Committee is looking for the ARB's feedback on the subject of rooftop screening.

Chair Hurt explained that the issue first arose during the Wildhorse development, primarily due to the topography of that area. Depending on the level of the building, rooftop elements may be seen. This has not been an issue in the past with commercial buildings, however, with the popular mixed-use developments, it is becoming more of a concern. Thus, Council is questioning whether the requirement of penthouse screening should be included in the Unified Development Code (UDC), especially within the Urban Core where an uninterrupted visual flow is desired.

If this requirement is not in the Code, it should be determined whether ARB has the latitude or authority to advise Council as to when penthouse screening should be required. ARB has often said that certain issues are not within their purview.

Chair Hurt also stated that he would like to know how ARB defines penthouse screening.

Councilmember Mastorakos stated that she would like to know if there is a value to uniformity throughout the Urban Core, or if it is not particularly relevant.

DISCUSSION

Architectural Review Board Chair Mick Weber stated that there is a certain amount of architectural freedom that you want to give developers. Each building is unique and how to go about screening HVAC equipment is about as open as the creativity in the design of the building itself. There are a lot of ways to conceal rooftop equipment - sometimes it is integrated into the actual composition and massing of the building, while other times it is left as more of an attachment type element, or another layering element at the roofline as a cap. Everyone takes a different design approach. He is of the opinion that “one-size-fits-all” would not be appropriate in terms of uniformity of the roof. However, there is a certain level of containment in screening that needs to take place, and obviously, as the topography changes, this will alter his opinion on what needs to be screened.

Mr. Weber then discussed the issue of sight lines and distance when screening rooftop equipment. He explained that in certain circumstances, a penthouse may be needed, but it may be totally out of line with construction costs. Screening can significantly add to the cost of a project and he would prefer not to impose such costs on the developer. When sitting on the fifth floor of a residential unit looking down across another building, it should be expected that some of the mechanical equipment will be seen. Depending on how a building is sited, it may not be possible to conceal the equipment. He would prefer to evaluate it on a case-by-case basis during project review. The Urban Core designation allows the Board to do that in some cases. It was suggested that during the pre-application process, the Director of Planning could inform applicants of potential problems with rooftop screening, or identify problem areas on the zoning map. ARB has begun calling for sight lines on submittals to show that parapets are either hiding the unit, and/or some type of screen is hiding the unit from grade level around the perimeter of the property line. In most cases, this level of screening suffices. He does not want to arbitrarily drive someone's buildings costs up significantly by requiring a penthouse.

Regarding the definition of a penthouse, Mr. Weber explained that in the past when elevators were used for 3 or 4-story buildings, an equipment room was placed at the top of the building. That room was a contained room, which is how the term “penthouse” originated. Mr. Weber felt that a penthouse could look out of place on a building that does not have multiple floors.

Scott Starling, ARB Member, concurred with Mr. Weber's comments. He also stated that it would be reasonable to require screening on all non-residential buildings while allowing some flexibility as to how that screening is accomplished. The context of the design will be different, along with material and elements of the design. It would also be reasonable to require screening from grade level, with some limits where complete screening of the rooftop unit is not visible from grade level adjacent to the building for 100 or 200 feet. He pointed out that it would be expected to see some kind of rooftop equipment on buildings where there are topography issues. It is not reasonable to penalize developers by requiring a totally enclosed penthouse as people are accustomed to seeing rooftop equipment.

Mr. Weber stated that ARB has been very cognizant of trying to protect the property line dimension. In reviewing projects along the I-64 corridor and the Urban Core, ARB takes a stricter stance.

To summarize, Chair Hurt stated that ARB does not necessarily think that something specific needs to be written into the Code. However, it is suggested that some kind of reference could be formulated so that as projects come through for review, the ARB/Planning Commission could give Council advice on the screening of rooftop equipment and/or the inclusion of a penthouse. Mr. Weber agreed.

Mr. Starling commented that the Code should definitely include that screening will be required and it should also require that the materials used are consistent with the materials used elsewhere on the building and complementary to the design. Justin Wyse, Director of Planning then read what is written in the Code regarding rooftop screening:

Section 405.04.010 D.2.K.

Screen rooftop equipment on all visible sides with materials that are an integral part of the architecture. Parapet walls or screen walls shall be treated as an integral part of the architecture and shall not visually weaken the design of the structure.

Section 405.04.010 D.4.

Integrate the design of fencing, sound walls, carports, trash enclosures, rooftop screening, and similar site elements into the building design and construct with similar materials.

Chair Hurt again summarized that from Mr. Weber's and Mr. Starling's standpoint, a change is not necessary in the Code as the issues of screening and materials are already addressed in Code. Mr. Weber pointed out that screening primarily becomes an issue when there is a considerable change in topography.

Chair Hurt stated that no action needs to be taken at this time, and requested that the issue be tabled to the next Committee meeting.

A. Wilson Avenue Sidewalk (Ward 4)

STAFF PRESENTATION

Jim Eckrich, Director of Public Works/City Engineer, stated that on November 5, 2020, the Planning and Public Works Committee directed Staff to determine the cost and feasibility of constructing a missing section of sidewalk on the west side of Wilson Avenue north of Buchholz Mortuary.

There is a 70-foot gap of sidewalk and in order to fill in that gap, it will be necessary to replace an additional length of sidewalk on either side due to the poor condition of that sidewalk as well as some grade issues. Staff estimates the cost of the sidewalk replacement would be approximately \$48,000.

If the Committee determines that this project should be constructed, Staff can include the sidewalk project in the 2022 Capital Projects Budget submittal, or the Committee can recommend a 2021 Budget Amendment in the Capital Projects Fund in the amount of \$48,000.

DISCUSSION

Councilmember Ohley stated that she has received many complaints from constituents about the gap and would like for Council to amend the 2021 budget to allow for construction this year. She also pointed out that there is a large amount of overgrown honeysuckle along that section and asked whether it is the subdivision's responsibility to cut it back or whether the City would take care of it. Mr. Eckrich stated that the City would cut it back as part of the project but the property owner would then be expected to maintain that area after construction is complete. He is uncertain who actually owns that property, but after ownership is determined, a letter will be sent informing the owners of the project and that it would be their responsibility to keep the sidewalk clear.

There was further discussion regarding the durability of a scupper and possible erosion in the surrounding areas. Mr. Eckrich explained that constructing a sidewalk in this manner is a little more difficult as it requires some reinforcement. He also noted that it may be a bit more expensive to maintain, but compared to other sidewalk replacements due to tree roots, and ground movement, there is not much difference. Because of the manner in which the sidewalk construction is proposed, erosion should not be a problem adjacent to the sidewalk. However, erosion is occurring downstream and will need to be a consideration in the design and construction of the sidewalk.

In the event other issues arise after the survey is completed, Councilmember Mastorakos asked whether that would change the cost of the project. Mr. Eckrich replied that knowing the property lines would not affect the cost of construction. However, if the project needs to be constructed outside of right of way, there could be costs associated with easement acquisition.

In response to Councilmember Mastorakos' concern about the sidewalk only being 5 feet from Wilson Avenue, Mr. Eckrich replied that there are many areas in Chesterfield where the sidewalk is much less than 5 feet from the roadway, including locations where it is immediately adjacent to the roadway. Mr. Eckrich pointed out that if the City is successful in acquiring a grant for the northern portion of Wilson Avenue, some of that sidewalk/path will need to be constructed in close proximity to the road.

Councilmember Ohley made a motion to approve a 2021 Budget Amendment in the Capital Projects Fund in the amount of \$48,000 and forward to City Council with a recommendation to approve. The motion was seconded by Councilmember Monachella and **passed by a voice vote of 4-0.**

Mr. Eckrich stated that there will be two sidewalk contracts this year and he would propose that construction be accomplished through a Change Order to one of those contracts. The sidewalk Project A has already been bid and the bid documents for Project B are already complete, with a bid opening scheduled for March 2. He will discuss it with the project manager and determine which contract would be a better fit for this project, if it is approved by City Council.

[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on the Wilson Avenue Sidewalk.]

III. NEW BUSINESS

- A. P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd):** A request for a change in zoning from a "C-8" Planned Commercial District to a "PC" Planned

Commercial District for a 3.23 acre tract of land located south of Olive Boulevard, east of North Woods Mill Road (16Q330911). (Ward 1)

STAFF PRESENTATION

Annisa Kumerow, Planner, presented the project request for a zoning map amendment from the "C-8" Planned Commercial District to the "PC" Planned Commercial District. The request is to allow for the development of an urgent care facility. The applicant is requesting one use (medical office), a maximum building height of 30 feet, and limited hours of operation from 8 a.m. to 8 p.m.

The Planning Commission recommended approval by a vote of 9-0 with an amendment to increase the square footage.

Ms. Kumerow then provided the following notable items in the Attachment A:

- **Landscape Buffer and Setback** – There was significant discussion at Planning Commission regarding this item. The applicant had originally proposed a 20-foot landscape buffer and setback. This has been revised to 30 feet as approved by the Planning Commission.
- **Access Management** – The Attachment A states that cross access shall be provided to the adjacent parcels.
- **Pole Sign** – There is language stating that the existing non-conforming pole sign shall be removed.
- **Future Expansion Area** – Attachment A has been modified to reflect an increased floor area as recommended by the Planning Commission in their amended motion.

PLANNING COMMISSION REPORT

Planning Commission Chair Merrell Hansen stated that this portion of Chesterfield is really important especially as the existing structures located there are upgraded. The Planning Commission felt that a 30-foot setback was important, as well as the landscaping by the street. There was also some discussion regarding moving the building to the center of the lot. The Commission discussed the visuals and whether or not people would be able to see the building. The Commission is very happy that this business is interested in this location, but they wanted it to happen in such a way that allows this part of Chesterfield to evolve.

DISCUSSION

Councilmember Monachella stated that she had three area of concern:

- **Location of the Building** – The proposed building is 58 feet away from the Incarnate Word Rectory and the current structure is 70 feet away. She would prefer the proposed building be shifted more toward the center of the lot away from the Rectory.
- **Window Signage** – Other Total Urgent Care facilities tend to cover the windows with signs and block the glass. Ms. Kumerow stated that the Code allows up to 40% coverage for window signs. However, there are many ordinances in Planned Commercial Districts that prohibit temporary signs as part of the ordinance so window signs are seldom seen.
- **Cross Access** – There is concern for traffic leaving the site and having to exit onto Olive Boulevard. Councilmember Monachella prefers that cross access be directed toward the rear of the property so cars can go through the church parking lot across this property, then across the Décor property, and end up on Old Woods Mill thereby avoiding a turn

onto Olive Boulevard. Chair Hurt pointed out that when cross access agreements are established, all adjacent property owners must agree. Since this property is being redeveloped, the City can require cross access anywhere on the proposed site, however, the City does not currently have an agreement with the adjacent parcels and until the adjacent parcels are redeveloped, such an agreement is not currently possible.

There was a lengthy discussion regarding shifting the location of the proposed building. Justin Wyse, Director of Planning, stated that if the Committee wants to shift the location, he would recommend an amendment to the structure setback from the eastern property boundary from 35 feet to 65 feet. This would require the applicant to make modifications to the Preliminary Development Plan, but appears to be feasible given the property acreage.

Councilmember Ohley then inquired about the ingress/egress to the site. Mr. Wyse stated that there is a median just west of this driveway, however, it does allow a left turn out of the site. If you turned left onto Olive, you would be immediately heading into the westbound-to-southbound left turn lane to Woods Mill Road.

In response to the above discussions, Dr. Matt Bruckel, Developer, commented that if they are required to move the building, restrict access out of the site, eliminate the ability to have window signs, eliminate parking and handicap parking close to the building, etc. then they may have to consider withdrawing their application.

Councilmember Monachella made a motion to forward P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd) to City Council with a recommendation to approve. The motion was seconded by Councilmember Hurt.

Discussion after the Motion

There was discussion on ways to limit the number of window signage. Mr. Wyse stated that the Code allows for no more than 40% coverage. An applicant could submit a Sign Package and request more signage, but in order to restrict the applicant's ability to increase the signage, all window signs can be prohibited, all temporary signs can be prohibited, or specific language can be included in the Attachment A whereby the number of signs cannot be amended through a Sign Package.

Councilmember Monachella made a motion to amend the above motion as follows: The maximum amount permissible area for window signs shall be as defined in § 405.04.050(F)(8)(c) of the Unified Development Code. No Sign Package request may be submitted for an increase to the maximum amount on window sign area per § 405.04.050(F)(8)(c) of the Unified Development Code. The motion was seconded by Councilmember Hurt and **passed by a voice vote of 4-0.**

The Committee then discussed again the possibility of repositioning the building and Councilmember Monachella decided to not pursue the issue.

Councilmember Monachella made a motion to forward P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd), as amended, to City Council with a recommendation to approve. The motion was seconded by Councilmember Hurt and **passed by a voice vote of 4-0.**

Note: One Bill, as recommended by the Planning and Public Works Committee, will be needed for the February 16, 2021 City Council Meeting. See Bill #

[Please see the attached report prepared by Justin Wyse, Director of Planning, for additional information on P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd).]

- B. P.Z. 11-2020 The Residences at Hog Hollow (13987 & 14001 Olive Blvd):** A request to repeal City of Chesterfield Ordinance 2213 establishing a Planned Environmental Unit over two parcels of land zoned R-3 Residence District and totaling 29.4 acres (16R340207 & 16R340151). (Ward 1)

STAFF PRESENTATION

Justin Wyse, Director of Planning, stated that P.Z. 11-2020 and P.Z. 12-2020 have been submitted for The Residences at Hog Hollow, the former Briarcliff site. P.Z. 11-2020 is to repeal the existing "PEU" on the site and the Planning Commission did recommend approval. The second portion of this request, P.Z. 12-2020, is to establish a "PUD" on the site, however, the Planning Commission is still working with the applicant on this request. Therefore, the applicant has submitted a request to postpone action on P.Z. 11-2020 at this time.

Councilmember Monachella made a motion to hold P.Z. 11-2020 The Residences at Hog Hollow (13987 & 14001 Olive Blvd). The motion was seconded by Councilmember Mastorakos and **passed** by a voice vote of 4-0.

- C. Public Street Acceptance – The Arbors at Wilmas Farm-Plats 1 and 2–(Ward 4)**

STAFF PRESENTATION

Jim Eckrich, Director of Public Works/City Engineer, stated that Staff has determined that the following streets within The Arbors at Wilmas Farm subdivision meet the City's design and construction standards for acceptance as public streets:

Wilmas Farm Drive
Wilmas Hollow Drive
Wilmas Valley Court

Councilmember Ohley made a motion to forward an ordinance accepting Wilmas Farm Drive, Wilmas Hollow Drive and Wilmas Valley Court as public streets and forward to City Council with a recommendation to approve. The motion was seconded by Councilmember Mastorakos and **passed** by a voice vote of 4-0.

Note: One Bill, as recommended by the Planning & Public Works Committee, will be needed for the February 16, 2021 City Council Meeting. See Bill #

[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on Public Street Acceptance-The Arbors at Wilmas Farm.]

IV. OTHER

V. ADJOURNMENT

The meeting adjourned at 7:02 p.m.

BILL NO. 3335

ORDINANCE NO. _____

AN ORDINANCE VACATING FOUR EXISTING EASEMENTS AND DEDICATING TWO REPLACEMENT EASEMENTS ON PROPERTY RECENTLY ACQUIRED BY THE CITY ADJACENT TO CENTRAL PARK.

WHEREAS, the City acquired the affected parcels in November 2020; and

WHEREAS, all utility companies that have dedicated rights to the existing easements have no objection to the vacation of the easements; and

WHEREAS, the Metropolitan St. Louis Sewer District (MSD) has reviewed plans for said easement vacations and determined that existing sanitary sewer and stormwater facilities are located outside of public right-of-way and on property now owned by the City; and

WHEREAS, MSD has requested the City vacate unused portions of the existing easements and dedicate replacement easements to ensure their facilities are properly located within easements; and

WHEREAS, the Department of Public Works has reviewed the request and has determined that said actions meet all applicable regulations, the easement vacations will have no adverse effect on the City of Chesterfield, and the new easements are necessary for future development of the property and continued operation of MSD's facilities.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, MISSOURI AS FOLLOWS:

Section 1. The City of Chesterfield hereby approves the easement vacations located on City owned property on the east side of Veterans Place Drive as depicted in "Exhibit A", "Exhibit B", "Exhibit C", and "Exhibit D", which are attached hereto and made part hereof; and

Section 2. The City of Chesterfield hereby authorizes the City Administrator to execute replacement easements for the vacated easements on City owned property on the east side of Veterans Place Drive as depicted in "Exhibit E" and "Exhibit F" which are attached hereto and made part hereof; and

Section 3. This ordinance shall be codified within the Municipal Code of the City of Chesterfield.

Section 4. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2021.

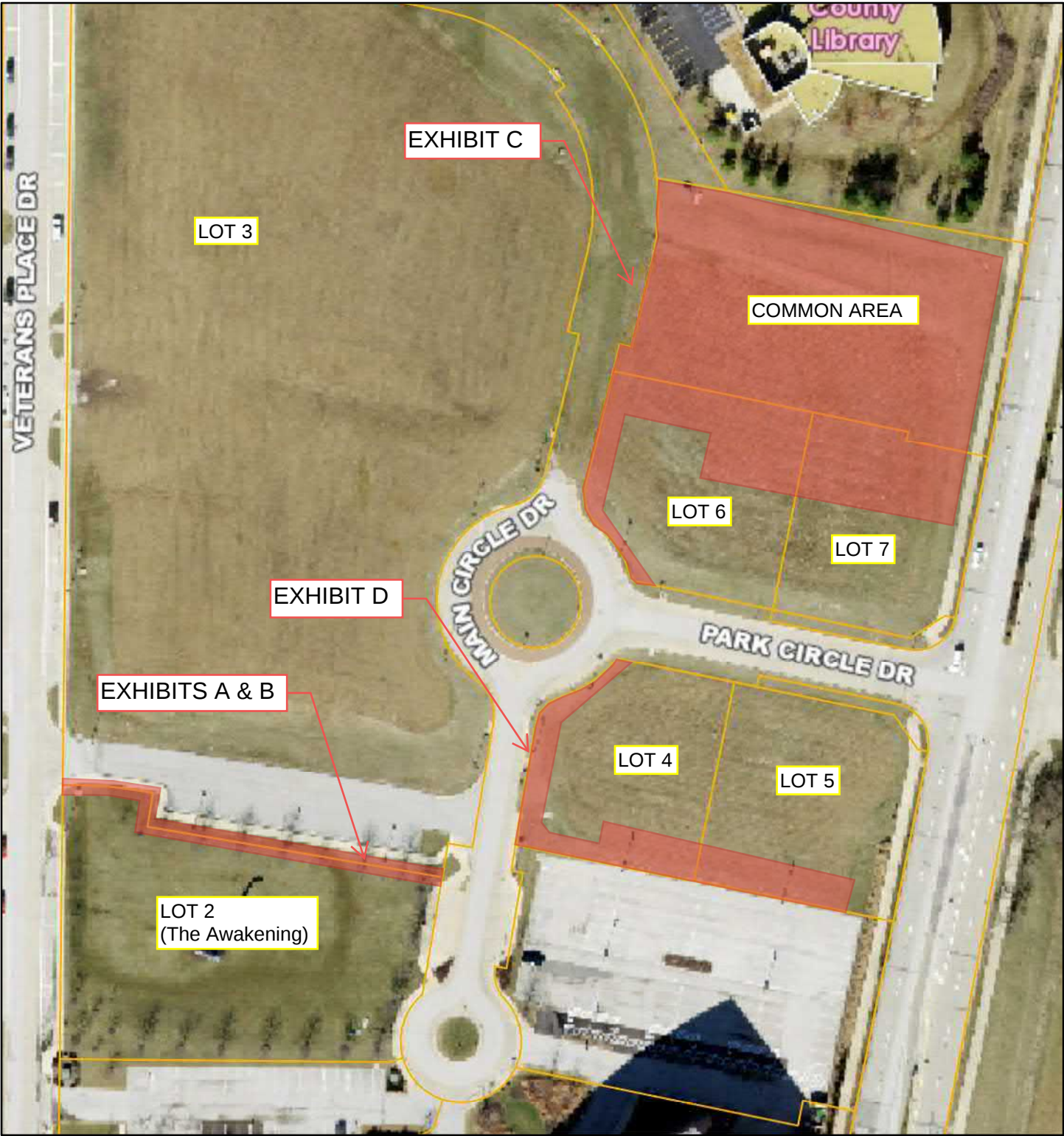
Bob Nation, Mayor

ATTEST:

Vickie McGownd, City Clerk

First Reading Held: _02/01/2021_____

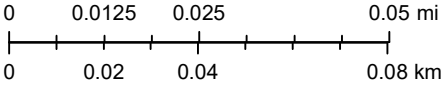
Chesterfield Fairgrounds - Easement Vacations



January 13, 2021

1:1,600

-  Parcels
-  Preliminary Parcels



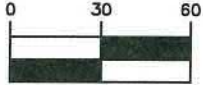
Esri, Inc., City of Chesterfield, Missouri

EXHIBIT A

DOCUMENT TYPE	EASEMENT VACATION
DATE OF DOCUMENT	_____
GRANTOR	CITY OF CHESTERFIELD, MISSOURI 690 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017
GRANTEE	METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET STREET ST. LOUIS, MO 63103
PROPERTY ADDRESS	16302 MAIN CIRCLE DRIVE CHESTERFIELD, MO 63017
COUNTY LOCATOR #	18T321073
CITY/MUNICIPALITY	CHESTERFIELD, MISSOURI
LEGAL DESCRIPTION	SEE EXHIBIT A

EXHIBIT A

GRAPHIC SCALE



(IN FEET)

1 inch = 60 ft.

VETERANS (50'w) PLACE DR.

N00° 40' 13"E
200.88'

S89° 19' 47"E
12.20'

R=281.00'
L=44.03'

L=2.80'

S80° 21' 04"E
10.65'

S09° 38' 56"W
25.00'

7.5'w P.R.I.M.U.S.&S.
EASEMENT
PB. 357 PGS. 185-186

7.5'w UTILITY EASEMENT
PB. 357 PGS. 185-186

LOT 2
N/F
CENTRAL PARK SQUARE INC.
DB. 17525, PG. 616
LOC NO. 18T321073
16302 MAIN CIRCLE DR.

20'w EASEMENT TO MSD
DB. 17817, PG. 1974

LOT 3
N/F
CENTRAL PARK SQUARE
INC.
DB. 17525 PG. 616
LOC.# 18T340322
#16350 MAIN CIRCLE INC.

5'w EASEMENT
PB. 357 PGS. 185-186
HEREBY VACATED

S80° 21' 04"E
220.13'

MAIN CIRCLE (V.W.) DR.

S09° 38' 56"W
87.84'

R=44.50'
L=51.44'

N89° 24' 16"W
242.16'

COMMON AREA

N/F
CENTRAL PARK SQUARE INC.
DB. 17525 PG. 616
LOC.# 18T321084

S74° 10' 35"W
10.75'

EXHIBIT

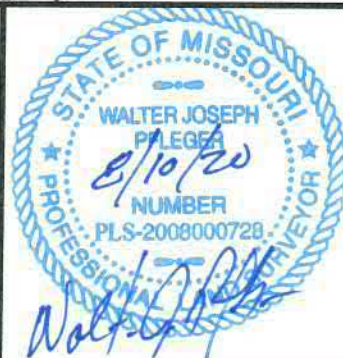
INITIAL:

EASEMENT VACATION EXHIBIT

A TRACT OF LAND BEING LOT 2 OF DOWNTOWN CHESTERFIELD PLAT ONE AS PER BOOK 357, PAGES 185-186 AND LOCATED IN TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

Stock & Associates
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
Chesterfield, MO. 63005
(636) 530-9100

WALTER J. PFLEGER
MO. P.L.S. # 2008-000728



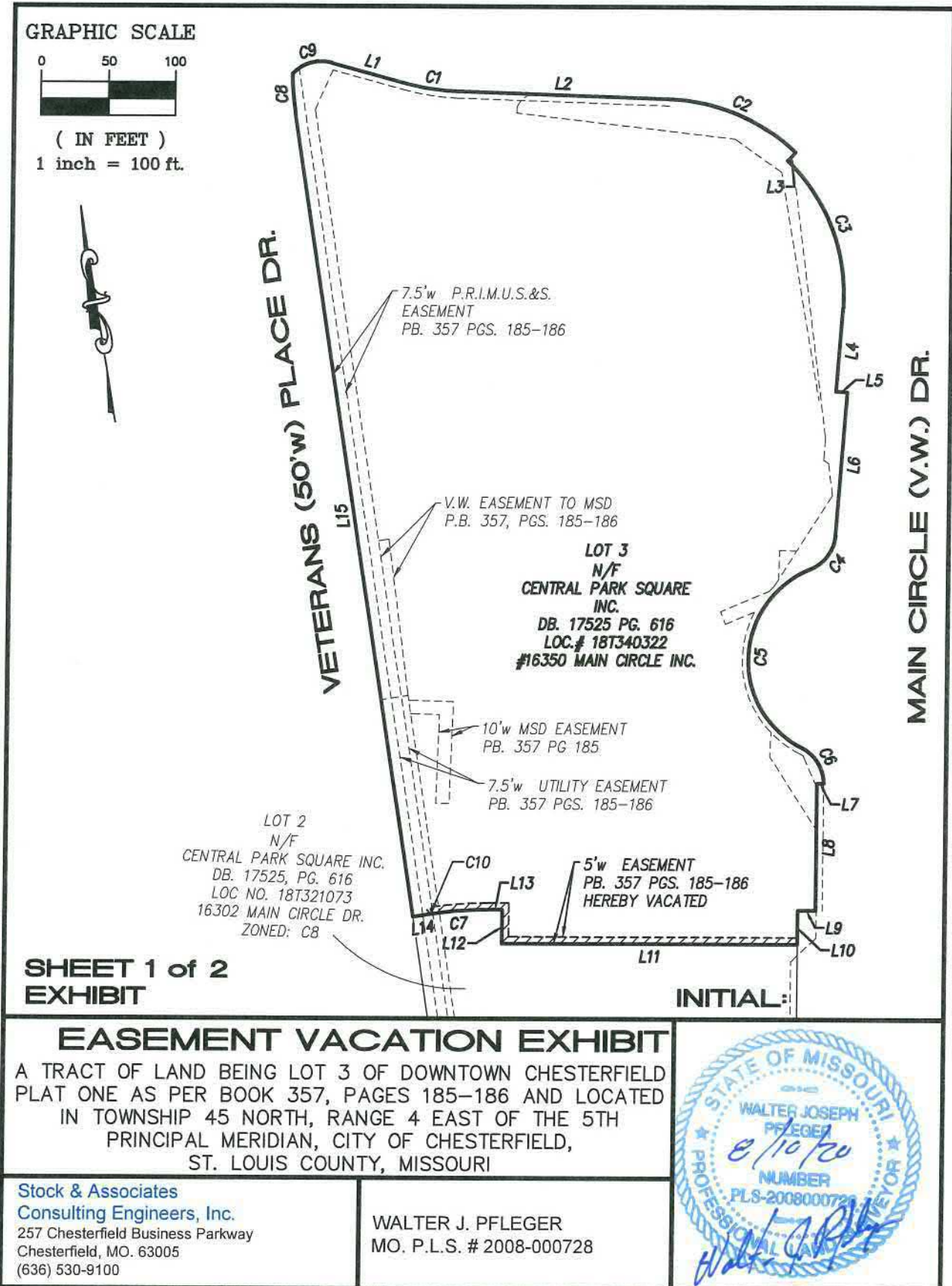
DATE 8/4/20

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EXHIBIT B

DOCUMENT TYPE	EASEMENT VACATION
DATE OF DOCUMENT	_____
GRANTOR	CITY OF CHESTERFIELD, MISSOURI 690 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017
GRANTEE	METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET STREET ST. LOUIS, MO 63103
PROPERTY ADDRESS	16350 MAIN CIRCLE DRIVE CHESTERFIELD, MO 63017
COUNTY LOCATOR #	18T340322
CITY/MUNICIPALITY	CHESTERFIELD, MISSOURI
LEGAL DESCRIPTION	SEE EXHIBIT A

EXHIBIT B



DATE 8/4/20

6572\SURVEY\6572.3\LOT3_VAC.DWG

Parcel Line Table		
Line #	Length	Direction
L1	57.25	S65° 04' 46"E
L2	158.93	S78° 25' 56"E
L3	8.50	S52° 47' 57"W
L4	61.97	S13° 52' 03"W
L5	8.50	S76° 07' 57"E
L6	106.29	S13° 52' 03"W
L7	5.00	S80° 21' 04"E
L8	94.17	S09° 38' 56"W
L9	13.20	N80° 21' 04"W
L10	25.00	S09° 38' 56"W
L11	220.13	N80° 21' 04"W
L12	25.00	N09° 38' 56"E
L13	10.65	N80° 21' 04"W
L14	12.20	N89° 19' 47"W
L15	603.17	N00° 40' 13"E

Curve Table				
Curve #	Length	Radius	Chord Direction	Chord Length
C1	38.56	165.50	S71° 45' 24"E	38.48
C2	103.98	144.50	S57° 49' 01"E	101.75
C3	121.22	136.00	S11° 40' 01"E	117.25
C4	32.86	29.50	S45° 46' 38"W	31.19
C5	166.85	72.50	S11° 45' 28"W	132.39
C6	32.86	29.50	S22° 15' 41"E	31.19
C7	44.03	281.00	N84° 50' 27"W	43.98
C8	28.62	200.00	N4° 46' 12"E	28.60
C9	31.88	29.50	N83° 57' 39"E	30.35
C10	2.80	281.00	S89° 02' 39"E	2.80

SHEET 2 of 2
EXHIBIT

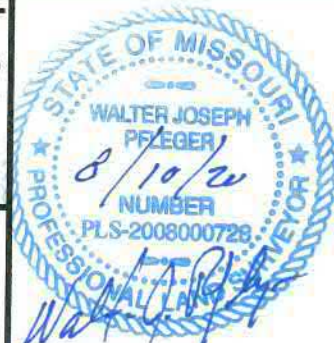
INITIAL:

EASEMENT VACATION EXHIBIT

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257 Chesterfield Business Parkway
Chesterfield, MO. 63005
(636) 530-9100

WALTER J. PFLEGER
MO. P.L.S. # 2008-000728



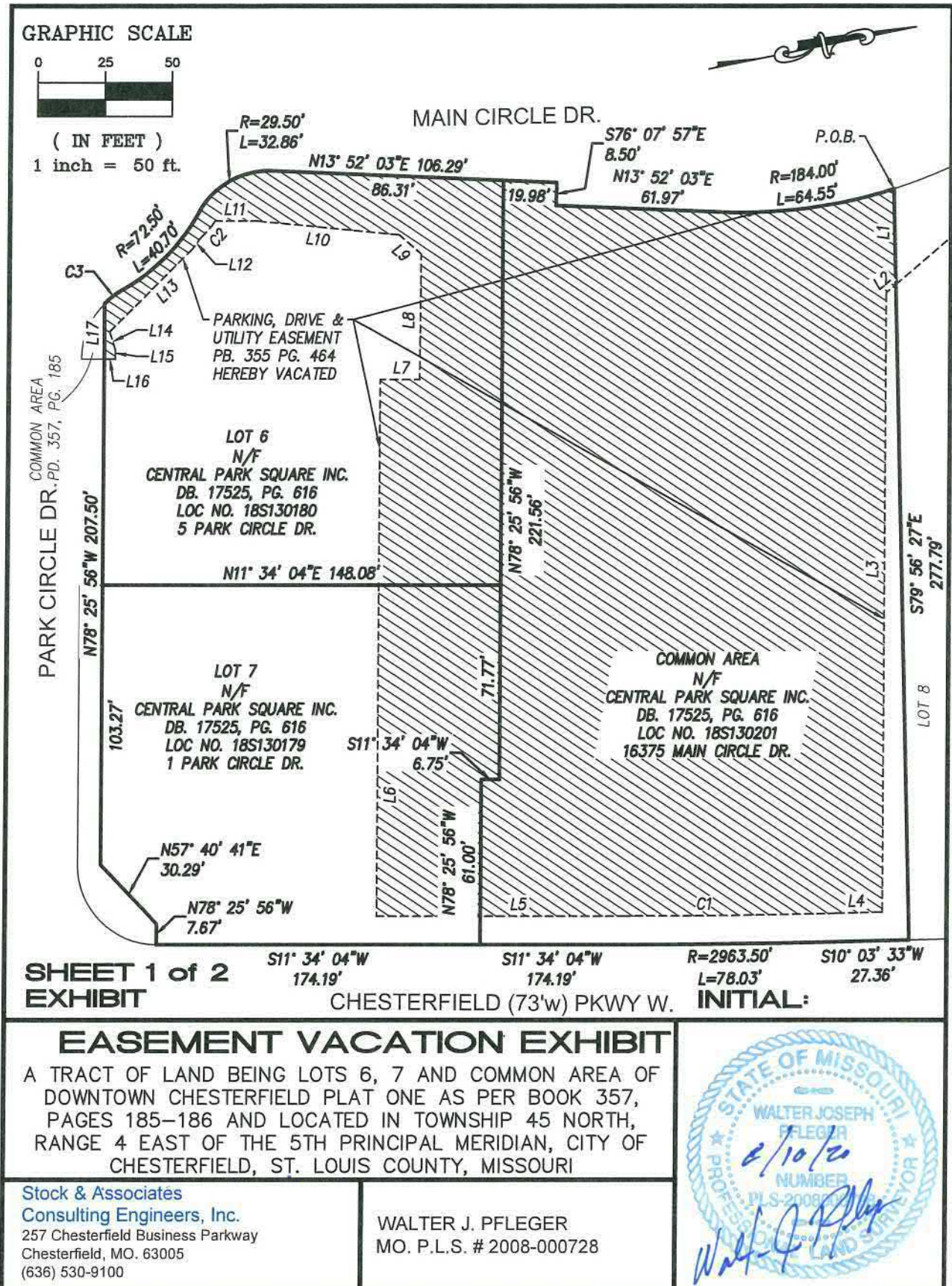
DATE 8/4/20

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EXHIBIT C

DOCUMENT TYPE	EASEMENT VACATION
DATE OF DOCUMENT	_____
GRANTOR	CITY OF CHESTERFIELD, MISSOURI 690 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017
GRANTEE	METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET STREET ST. LOUIS, MO 63103
PROPERTY ADDRESSES	5 PARK CIRCLE DRIVE 1 PARK CIRCLE DRIVE 16375 MAIN CIRCLE DRIVE CHESTERFIELD, MO 63017
COUNTY LOCATOR #	18S130180; 18S130179; 18S130201
CITY/MUNICIPALITY	CHESTERFIELD, MISSOURI
LEGAL DESCRIPTION	SEE EXHIBIT A

EXHIBIT C



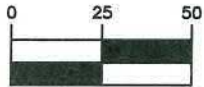
DATE 8/4/20

6572\SURVEY\6572.3\LOTS6-7VAC.DWG

MSD NAME

P#

GRAPHIC SCALE



(IN FEET)

1 inch = 50 ft.

Parcel Line Table

Line #	Length	Direction
L1	35.38	S79° 56' 27"E
L2	4.73	S29° 01' 44"E
L3	229.00	S78° 25' 56"E
L4	17.66	S10° 03' 33"W
L5	92.50	S11° 34' 04"W
L6	198.24	N78° 25' 56"W
L7	14.58	N11° 34' 04"E
L8	46.58	N78° 04' 12"W
L9	10.79	S52° 08' 35"W
L10	52.83	S17° 08' 31"W
L11	15.93	S11° 33' 01"W
L12	4.72	S42° 44' 58"E
L13	43.22	S33° 27' 57"E
L14	7.07	N84° 32' 47"E
L15	3.48	S78° 25' 56"E
L16	4.00	S11° 34' 04"W
L17	20.72	N78° 25' 56"W

Curve Table

Curve #	Length	Radius	Chord Direction	Chord Length
C1	77.75	2953.00	S10° 48' 49"W	77.75
C2	8.64	40.00	S37° 39' 33"E	8.62
C3	8.26	29.50	N25° 47' 58"W	8.23

SHEET 2 of 2
EXHIBIT

INITIAL:

EASEMENT VACATION EXHIBIT

A TRACT OF LAND BEING LOTS 6, 7 AND COMMON AREA OF DOWNTOWN CHESTERFIELD PLAT ONE AS PER BOOK 357, PAGES 185-186 AND LOCATED IN TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

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Consulting Engineers, Inc.
257 Chesterfield Business Parkway
Chesterfield, MO. 63005
(636) 530-9100

WALTER J. PFLEGER
MO. P.L.S. # 2008-000728



DATE 8/4/20

6572\SURVEY\6572.3\LOTS6-7VAC.DWG

STOCK & ASSOCIATES

Consulting Engineers, Inc.

Property Description

All of that part of a Parking, Drive and Utility Easement as established by the Easement Plat Book 355, Pages 454 and 465, over and across Lots 6, 7 and Common Area of Downtown Chesterfield, a subdivision according to the plat thereof as recorded in Plat Book 357, Pages 185 and 186, both of the St Louis County Records located in U.S. Surveys 414 and 2002, Township 45, North, Range 4 East of the Fifth Principal Meridian, City of Chesterfield, St Louis County, Missouri being more particularly described as follows:

Beginning at the southwest corner of Lot 9 of above said Downtown Chesterfield, said point also being located on the east right-of-way line of Main Circle Dr, variable width; thence along the common line between said Lot 9 and Common Area, South 79 degrees 56 minutes 27 seconds East, 35.38 feet; thence departing said common line along the limits of above said Parking, Drive and Utility Easement, the following courses and distances: South 29 degrees 01 minute 44 seconds East, 4.73 feet; South 78 degrees 25 minutes 56 seconds East, 229.00 feet; South 10 degrees 03 minutes 33 seconds West, 17.66 feet to a point of curvature to the right having a radius of 2,953.00 feet and an arc length of 77.75 feet and a chord which bears South 10 degrees 48 minutes 49 seconds West, 77.75 feet; South 11 degrees 34 minutes 04 seconds West, 92.50 feet; North 78 degrees 25 minutes 56 seconds West, 198.24 feet; North 11 degrees 34 minutes 04 seconds East, 14.58 feet; North 78 degrees 04 minutes 12 seconds West, 46.58 feet; South 52 degrees 08 minutes 35 seconds West, 10.79 feet; South 17 degrees 08 minutes 31 seconds West, 52.83 feet; South 11 degrees 33 minutes 01 second West, 15.93 feet; South 42 degrees 44 minutes 58 seconds East, 4.72 feet; South 33 degrees 27 minutes 57 seconds East, 43.22 feet; North 84 degrees 32 minutes 47 seconds East, 7.07 feet; South 78 degrees 25 minutes 56 seconds East, 3.48 feet and South 11 degrees 34 minutes 04 seconds West, 4.00 feet to the south line of above said Lot 6; thence along said south line North 78 degrees 25 minutes 56 seconds West, 20.72 feet to a point on a curve to the right having a radius of 29.50 feet, said point being located on the eastern right-of-way line of Main Circle Drive, variable width; thence along said right-of-way line the following courses and distances: along last said curve with an arc length of 8.26 feet and a chord which bears North 25 degrees 47 minutes 58 seconds West, 8.23 feet to a point of reverse curvature to the left, having a radius of 72.50 feet and an arc length of 40.40 feet to a point of reverse curvature to the right having a radius of 29.50 feet and an arc length of 32.86 feet to a point of tangency; North 13 degrees 52 minutes 03 seconds East, 106.29 feet; South 76 degrees 07 minutes 57 seconds East, 8.50 feet; North 13 degrees 52 minutes 03 seconds East, 61.97 feet to a point of curvature to the left having a radius of 184.00 feet and an arc length of 64.55 feet to the POINT OF BEGINNING. Containing 50,801 square feet or 1.166 acres, more or less.

Stock & Associates Consulting Engineers, Inc.

LC-222-D

By: 

Walter J. Pfleger, P.L.S. MO P.L.S. No. 2008000728



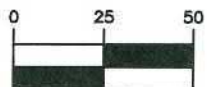
257 Chesterfield Business Parkway, St. Louis, MO 63005
636.530.9100 – Main | 636.530.9130 – Fax
www.stockassoc.com | general@stockassoc.com

EXHIBIT D

DOCUMENT TYPE	EASEMENT VACATION
DATE OF DOCUMENT	_____
GRANTOR	CITY OF CHESTERFIELD, MISSOURI 690 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017
GRANTEE	METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET STREET ST. LOUIS, MO 63103
PROPERTY ADDRESSES	6 PARK CIRCLE DRIVE 2 PARK CIRCLE DRIVE CHESTERFIELD, MO 63017
COUNTY LOCATOR #	18S110159; 18S110160
CITY/MUNICIPALITY	CHESTERFIELD, MISSOURI
LEGAL DESCRIPTION	SEE EXHIBIT A

Exhibit D

GRAPHIC SCALE

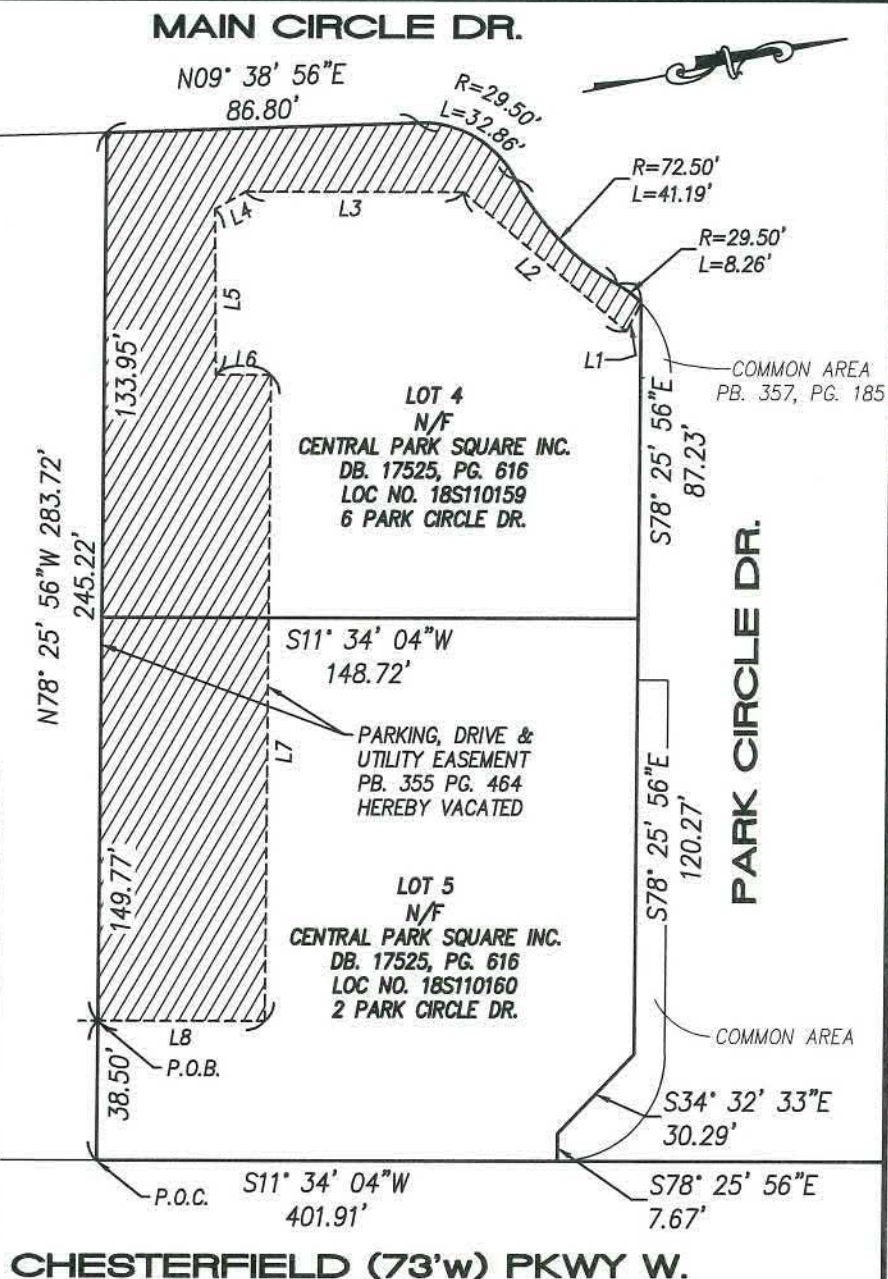


(IN FEET)

1 inch = 50 ft.

COMMON AREA
N/F
CENTRAL PARK SQUARE INC.
DB. 17525, PG. 616
LOC NO. 18S110171
16301 MAIN CIRCLE DR.
ZONED: C8

Parcel Line Table		
Line #	Length	Direction
L1	8.87	S51° 37' 04"E
L2	59.32	S51° 50' 15"W
L3	60.85	S11° 33' 01"W
L4	9.65	S18° 32' 56"E
L5	45.83	S79° 16' 16"E
L6	15.29	N11° 34' 04"E
L7	178.24	S78° 25' 56"E
L8	46.22	S11° 34' 04"W



EXHIBIT

INITIAL:

EASEMENT VACATION EXHIBIT

A TRACT OF LAND BEING LOTS 4 AND 5 OF DOWNTOWN CHESTERFIELD PLAT ONE AS PER BOOK 357, PAGES 185-186 AND LOCATED IN TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

Stock & Associates
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
Chesterfield, MO. 63005
(636) 530-9100

WALTER J. PFLEGER
MO. P.L.S. # 2008-000728



DATE 8/4/20

6572\SURVEY\6572.3\LOTS4-5VAC.DWG

STOCK & ASSOCIATES
Consulting Engineers, Inc.

Property Description

All of that part of a Parking, Drive and Utility Easement as established by the Easement Plat Book 355, Pages 454 and 465, over and across Lots 4 and 5 of Downtown Chesterfield, a subdivision according to the plat thereof as recorded in Plat Book 357, Pages 185 and 186, both of the St Louis County Records located in U.S. Surveys 414 and 2002, Township 45, North, Range 4 East of the Fifth Principal Meridian, City of Chesterfield, St Louis County, Missouri being more particularly described as follows:

Commencing at the southeastern corner of above said Lot 5, said point also being located on the west right-of-way line of Chesterfield Parkway, 73 feet wide; thence along the south line of said Lot 5, thence North 78 degrees 25 minutes 56 seconds West, 38.50 feet to the POINT OF BEGINNING of the herein described tract; thence continuing along the south lines of Lot 5 and above said Lot 4, North 78 degrees 25 minutes 56 seconds West, 245.22 feet to the east right-of-way line of Main Circle Drive, variable width; thence along said right-of-way line the following courses and distances: North 09 degrees 38 minutes 56 seconds East, 86.80 feet to a point of curvature to the right having a radius of 29.50 feet and an arc length of 32.86 feet to a point of reverse curvature to the left having a radius of 72.50 feet and arc length 41.19 feet to a point of reverse curve to the right having a radius of 29.50 feet and an arc length of 8.26 feet; thence departing said right-of-way line, the following courses and distances: South 51 degrees 37 minutes 04 seconds East, 8.87 feet; South 51 degrees 50 minutes 15 seconds West, 59.32 feet; South 11 degrees 33 minutes 01 second West, 60.85 feet; South 18 degrees 32 minutes 56 seconds East, 9.65 feet; South 79 degrees 16 minutes 16 seconds East, 45.83 feet; North 11 degrees 34 minutes 04 seconds East, 15.29 feet; South 78 degrees 25 minutes 56 seconds East, 178.24 feet and South 11 degrees 34 minutes 4 seconds West, 46.22 feet to the POINT OF BEGINNING.

Containing 12,186 square feet or 0.280 acres, more or less.

Stock & Associates Consulting Engineers, Inc.

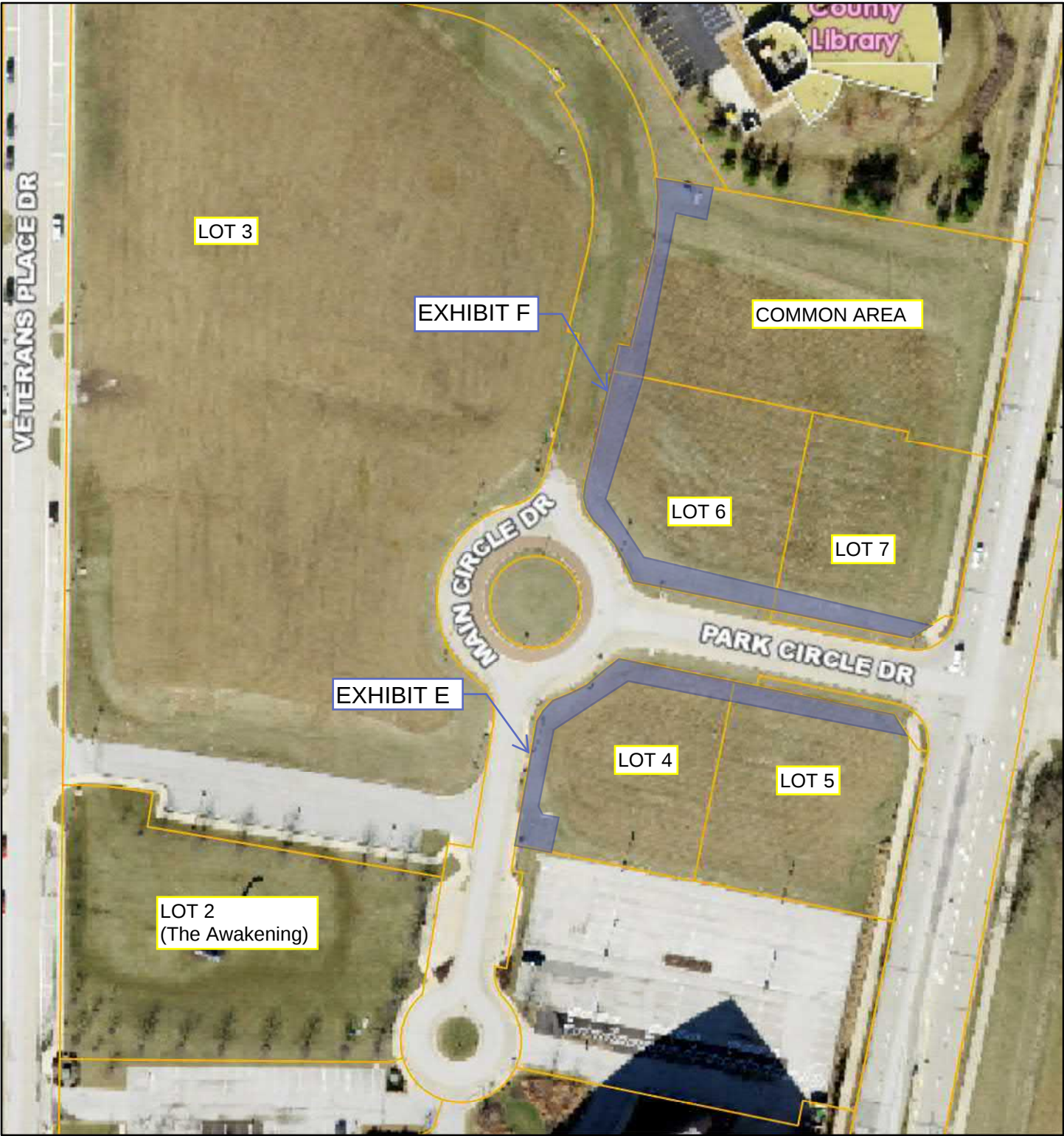
LC-222-D

By: Walter J. Pflieger

Walter J. Pflieger, P.L.S. MO P.L.S. No. 2008000728



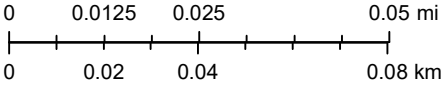
Chesterfield Fairgrounds - Replacement Easements



January 13, 2021

1:1,600

-  Parcels
-  Preliminary Parcels



Esri, Inc., City of Chesterfield, Missouri

Exhibit E

DOCUMENT TYPE	EASEMENT
DATE OF DOCUMENT	_____
GRANTOR	CITY OF CHESTERFIELD, MISSOURI 690 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017
GRANTEE	METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET STREET ST. LOUIS, MO 63103
PROPERTY ADDRESSES	6 PARK CIRCLE DRIVE 2 PARK CIRCLE DRIVE CHESTERFIELD, MO 63017
COUNTY LOCATOR #	18S110159; 18S110160
CITY/MUNICIPALITY	CHESTERFIELD, MISSOURI
LEGAL DESCRIPTION	SEE EXHIBIT A

Loc# 18S110159; 18S110160

E A S E M E N T

TO WHOM IT MAY CONCERN:

KNOW ALL MEN BY THESE PRESENTS, that _____, for and in consideration of the sum of One Dollar (\$1.00) and other valuable considerations to it in hand paid by The Metropolitan St. Louis Sewer District, the receipt of which is hereby acknowledged, does hereby give, grant, extend, and confer on The Metropolitan St. Louis Sewer District the exclusive right to build and maintain a sewer or sewers, including stormwater improvements, on the strip or strips of ground described as shown hachured on the attached "Easement Plat" marked Exhibit "A" and made a part hereof, and to use such additional space adjacent to the easement(s) so granted as may be required for working room during the construction, reconstruction, maintenance, or repair of the aforementioned sewer or sewers, including stormwater improvements. The Metropolitan St. Louis Sewer District may from time to time enter upon said premises to construct, reconstruct, maintain, or repair the aforesaid sewer or sewers, including stormwater improvements, and may assign its rights herein to the State, County, City, or other political subdivisions of the State. The easement(s) hereby granted is(are) irrevocable and shall continue forever.

IN WITNESS WHEREOF, the said _____ has caused these presents to be signed by its _____ this ____ day of _____, 20____.

(Name of Corporation)

By _____

Attest:

Officer

Secretary

STATE OF MISSOURI)
) SS.
COUNTY OF ST. LOUIS)

On this ____ day of _____, 20____, before me appeared _____, to me personally known, who being by me duly sworn, did say he/she is _____ of _____ and that said instrument was signed in behalf of said corporation by authority of its Board of _____, and said _____ acknowledged said instrument to be the free act and deed of said corporation.

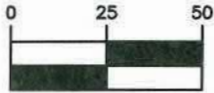
IN TESTIMONY WHEREOF, I have herewith set my hand and affixed my notarial seal the day and year first above written.

My Commission expires _____.

Notary Public

MSD/ENG. 3.10 – Corp - Standard Esmt.

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

COMMON AREA
N/F
CENTRAL PARK SQUARE INC.
DB. 17525, PG. 616
LOC NO. 18S110171
16301 MAIN CIRCLE DR.
ZONED: C8

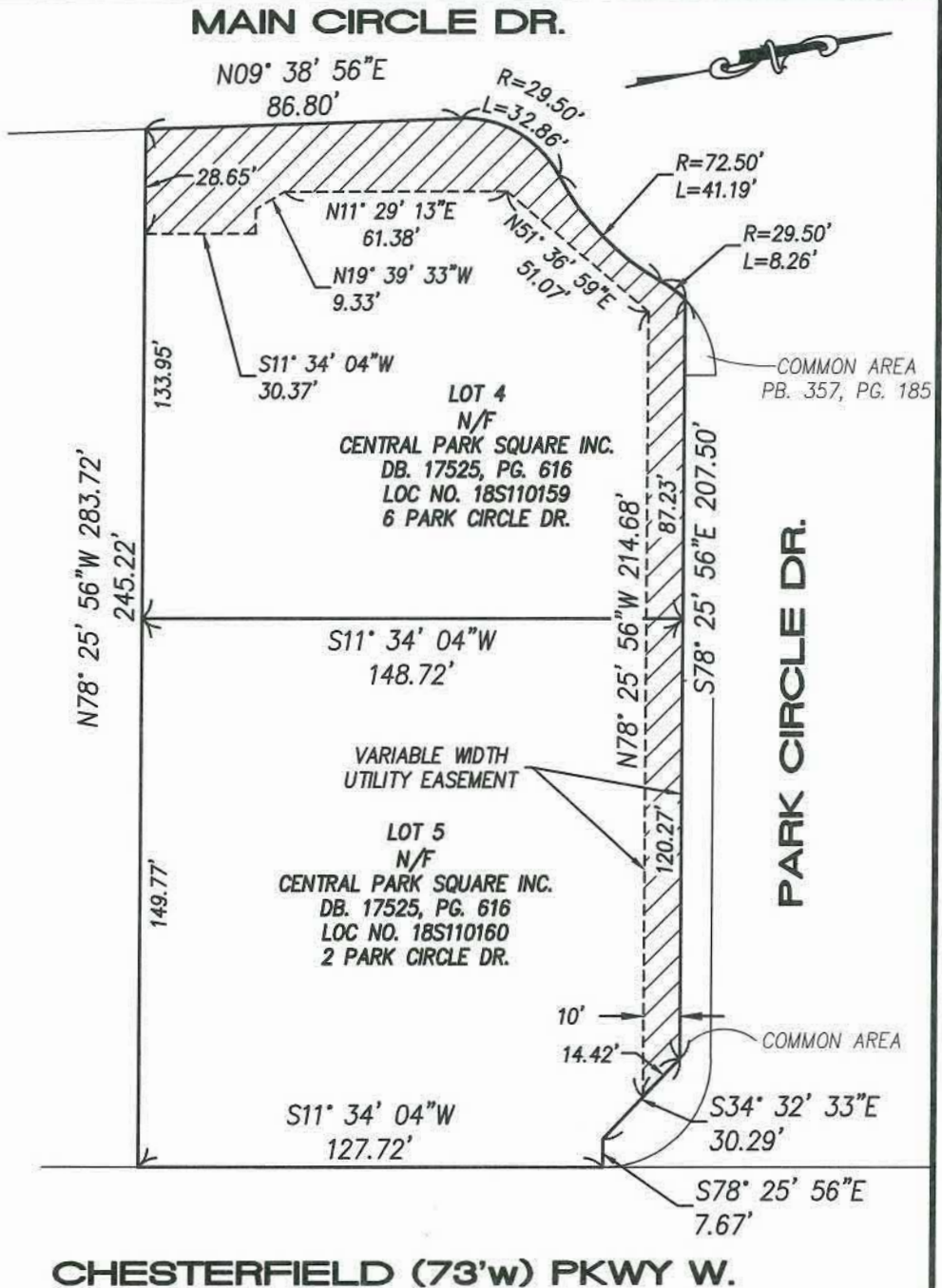


EXHIBIT "A"

EASEMENT PLAT

A TRACT OF LAND BEING LOTS 4 AND 5 OF DOWNTOWN
CHESTERFIELD PLAT ONE AS PER BOOK 357, PAGES
185-186 AND LOCATED IN TOWNSHIP 45 NORTH, RANGE 4
EAST OF THE 5TH PRINCIPAL MERIDIAN,
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

Stock & Associates
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
Chesterfield, MO. 63005
(636) 530-9100

WALTER J. PFLEGER
MO. P.L.S. # 2008-000728



DATE 11/13/2020

6572\SURVEY\6572.3\LOTS4-5ESMNT.DWG

Exhibit F

DOCUMENT TYPE	EASEMENT
DATE OF DOCUMENT	_____
GRANTOR	CITY OF CHESTERFIELD, MISSOURI 690 CHESTERFIELD PARKWAY WEST CHESTERFIELD, MO 63017
GRANTEE	METROPOLITAN ST. LOUIS SEWER DISTRICT 2350 MARKET STREET ST. LOUIS, MO 63103
PROPERTY ADDRESSES	5 PARK CIRCLE DRIVE 1 PARK CIRCLE DRIVE 16375 MAIN CIRCLE DRIVE CHESTERFIELD, MO 63017
COUNTY LOCATOR #	18S130180; 18S130179; 18S130201
CITY/MUNICIPALITY	CHESTERFIELD, MISSOURI
LEGAL DESCRIPTION	SEE EXHIBIT A

Loc# 18S130180; 18S130179; 18S130201

E A S E M E N T

TO WHOM IT MAY CONCERN:

KNOW ALL MEN BY THESE PRESENTS, that _____, for and in consideration of the sum of One Dollar (\$1.00) and other valuable considerations to it in hand paid by The Metropolitan St. Louis Sewer District, the receipt of which is hereby acknowledged, does hereby give, grant, extend, and confer on The Metropolitan St. Louis Sewer District the exclusive right to build and maintain a sewer or sewers, including stormwater improvements, on the strip or strips of ground described as shown hachured on the attached "Easement Plat" marked Exhibit "A" and made a part hereof, and to use such additional space adjacent to the easement(s) so granted as may be required for working room during the construction, reconstruction, maintenance, or repair of the aforementioned sewer or sewers, including stormwater improvements. The Metropolitan St. Louis Sewer District may from time to time enter upon said premises to construct, reconstruct, maintain, or repair the aforesaid sewer or sewers, including stormwater improvements, and may assign its rights herein to the State, County, City, or other political subdivisions of the State. The easement(s) hereby granted is(are) irrevocable and shall continue forever.

IN WITNESS WHEREOF, the said _____ has caused these presents to be signed by its _____ this ____ day of _____, 20____.

(Name of Corporation)

By _____

Attest:

Officer

Secretary

STATE OF MISSOURI)
) SS.
COUNTY OF ST. LOUIS)

On this ____ day of _____, 20____, before me appeared _____, to me personally known, who being by me duly sworn, did say he/she is _____ of _____ and that said instrument was signed in behalf of said corporation by authority of its Board of _____, and said _____ acknowledged said instrument to be the free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have herewith set my hand and affixed my notarial seal the day and year first above written.

My Commission expires _____.

Notary Public

MSD/ENG. 3.10 – Corp - Standard Esmt.

[illegible]

CHESTERFIELD (73'w) PKWY W.

A TRACT OF LAND BEING LOTS 6, 7 AND COMMON AREA OF
DOWNTOWN CHESTERFIELD PLAT ONE AS PER BOOK 357,
PAGES 185-186 AND LOCATED IN TOWNSHIP 45 NORTH,
RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN,
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

WALTER J. PFLEGER
MO. P.L.S. # 2008-000728



6572\SURVEY\6572.3\LOTS6-7\UTILITIES\MT.DWG

BILL NO. 3336 _____

ORDINANCE NO. _____

AN ORDINANCE AMENDING ARTICLE 03-07 NON-RESIDENTIAL USE TABLE AND ARTICLE 10-03 USE TERMS OF THE UNIFIED DEVELOPMENT CODE {P.Z. 10-2020 CITY OF CHESTERFIELD (UNIFIED DEVELOPMENT CODE – ARTICLES 3 & 10)}.

WHEREAS, the City of Chesterfield Unified Development Code contains regulations and requirements pertaining to the development of land within the City; and,

WHEREAS, the Unified Development Code serves to promote the public health, safety, and general welfare of the citizens of the City of Chesterfield; and,

WHEREAS, the City of Chesterfield seeks to update the regulations and requirements pertaining to uses and definitions; and,

WHEREAS, a Public Hearing was held before the Planning Commission on November 23, 2020; and,

WHEREAS, the Planning Commission, having considered said request, recommended approval of the change of zoning; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning; and,

WHEREAS, the City Council, having considered said request, voted to approve the updates to Article 03-07 Non-Residential Use Table and Article 10-03 Use Terms of the Unified Development Code.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. The City of Chesterfield hereby approves the updates to Article 03-07 Non-Residential Use Table and Article 10-03 Use Terms as set out in Attachment “A” and Attachment “B” which are attached hereto and made part thereof.

Section 2. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of this Ordinance as whole, or any part thereof.

Section 3. The provisions of the Ordinance may be amended in the future by the City Council of the City of Chesterfield.

Section 4. Where this Ordinance differs or conflicts with other laws, rules and regulations, unless the right to do so is preempted or prohibited by the County, State, or Federal government, the more restrictive or protective of the City and the public shall apply.

Section 5. This Ordinance shall be codified within the Municipal Code of the City of Chesterfield.

Section 6. This Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2021.

PRESIDING OFFICER

Bob Nation, MAYOR

ATTEST:

Vickie McGownd, CITY CLERK

FIRST READING HELD: <u>02/01/2021</u>

Sec. 03-07. USE TABLE FOR NON-RESIDENTIAL DISTRICTS

Use Table for Non-Residential Districts

Uses:

P- Permitted

C-Conditional

* means the use is allowed with conditions. See Section 03-04 for additional regulations

** refers to light industrial type uses permitted in certain geographical areas in a PC district

USE GROUP	ZONING DISTRICTS						
	PS	AG	PC	NB	PI	LI	MU
<i>CIVIC</i>							
Administrative offices for educational or religious institutions		C	P	P	P	P	
Church and other places of worship		C	P	P	P	P	
Community center			P				
Correctional institution					P		
Highway department garage					P		
Historic sites, including buildings	P	P					
Library			P	P			
Natural or primitive areas and forests encompassed by the provisions of the Missouri State Forestry Law	P	P					
Parks	P	P	P	P	P	P	
Postal stations			P	P	P	P	P
Public building facilities owned or leased by the City of Chesterfield			P	P	P	P	
Public safety facility	P	P	P	P	P	P	P
Railroad switching yard and tracks and associated structures					P		
Retreat center	C	C					
Sales yard operated by a church, school, or other not-for-profit organization			P		P		
Wildlife habitats, forests, conservation projects and fish hatcheries	P	P					
<i>RESIDENTIAL</i>							
Dwelling, employee	C		P		P		
Dwelling, single-family detached							
Dwellings, multi-family							
Home Occupation		P					
Group residential facility							P

USE GROUP	ZONING DISTRICTS						
	PS	AG	PC	NB	PI	LI	MU
<i>PUBLIC/RECREATIONAL</i>							
Airport, public or private		C			P		
Amusement park			P				
Arena and stadium			P		P		
Art gallery			P				
Art studio			P				
Athletic fields	P	P					
Auditorium			P				
Banquet facility			P				
Botanical garden		P	P	P			
Camping facility	C	C					
Cemetery	P	C	P	P		P	
Club		C	P	P	P		
Correctional institution					P		
Driving ranges	C						
Fairground			P		P		
Farmer's market		C	P	P	P		
Golf courses	C	C	P		P		
Gymnasium			P	P	P		
Harbor, marina, and dock for waterborne vehicles					P		
Heliport-public and private					P		
Mortuary		C	P	P			
Museum			P	P			
Reading room			P	P			
Recreation facility		C	P	P			
Riding stable		P	P	P			
Transit transfer station			P				
Union halls and hiring halls			P		P		
Zoological gardens			P				
<i>OFFICE</i>							
Office-dental			P	P	P		P
Office-general			P	P	P	P	P
Office-medical			P	P	P		P

USE GROUP		ZONING DISTRICTS					
	PS	AG	PC	NB	PI	LI	MU
COMMERCIAL/SALES							
Aircraft sales and leasing facilities and services					P		
Automobile dealership			P		P		
Automotive detailing shop					P		
Automotive retail supply			P		P		
Bakery			P	P	P		
Bar			P		P		
Bowling center			P				
Brewery					P		
Brewpub			P		P		
Coffee shop			P	P			
Coffee shop, drive-thru			P				
Farming, livestock and stables. Farming includes cultivation and sale of crops, plants and domestic animals with no salesrooms		P	P		P		
Grocery-community			P				
Grocery-neighborhood			P	P			
Grocery-supercenter			P				
Motorcycle, ATV, and similar motor vehicles dealership			P		P		
Newspaper stand			P	P			
Pawnshop					P		
Plumbing, electrical, air conditioning, and heating equipment sales, warehousing and repair facility					P	P	
Recreational vehicle dealership			P		P		
Restaurant-sit down	C		P	P			
Restaurant-fast food			P	P	P		
Restaurant-take out			P	P	P	P	
Retail sales establishment-community			P				
Retail sales establishment-neighborhood			P	P			
Retail sales establishment-regional			P				
Salesrooms for commercial gardens, plant nurseries, and greenhouses		C					
Tackle and bait shop			P				
SERVICE/INDUSTRIAL							
Animal grooming service			P	P	P		
Automobile storage					P		
Barber or beauty shop			P	P			

	PS	AG	PC	NB	PI	LI	MU
Batching plant					P		
Blacksmith shop					P		
Boat (and marine supply) dealership					P		
Broadcasting studio			P		P		
Car wash			P		P		
Car wash, industrial					P		
Car wash, self service			P		P	P	
Check cashing facility			P		P		
Commercial service facility			P	P	P	P	
Day care center			P	P	P		P
Drug store and pharmacy			P	P			
Drug store and pharmacy, with drive-thru			P				
Dry cleaning establishment			P	P	P		
Dry cleaning establishment, with drive-thru			P		P		
Dry cleaning plant					P		
Extraction & processing of raw materials from the earth and processing thereof		P			P		
Filling station and convenience store with pump stations			P		P		
Film drop-off and pick up stations			P		P		
Film processing plant			P		P		
Financial Institution, no drive-thru			P	P	P		
Financial Institution, drive-thru			P		P		
Heliport-public or private			P		P		
Hospice			P	P			
Hospital			P				P
Hotel and motel			P				
Hotel and motel-extended stay			P				
Incinerator					P		
Industrial sales, service, and storage					P	P	
Junk or salvage yard					P*		
Kennel, boarding		P*	P		P	P	
Kennel, private		P*			P		
Laboratory-professional, scientific			P**		P	P	
Laboratory							P
Laundromat			P		P		
Lumberyard					P		
Mail order sales warehouse			P**		P	P	

	PS	AG	PC	NB	PI	LI	MU
Manufacturing, fabrication, assembly, processing, or packing except explosives or flammable gases or liquids			P**		P	P	
Meat packing facility					P		
Motorcycle, ATV, and similar motor vehicles storage					P		
Nursing home			P				
Oil change facility			P		P		
Parking area (stand-alone), including garages, for automobiles. Not including sales or storage of damaged vehicles for more than 72 hours			P	P	P		P
Professional and technical service facility			P	P	P	P	
Recreational vehicle storage					P		
Research laboratory & facility			P		P		P
Self-storage facility			P**		P	P	
Sheet metal shop					P		
Shooting range, indoor					P		
Shooting range, outdoor					P		
Steel mill, foundry, and smelter					P		
Substance abuse facilities-outpatient					P		P
Substance abuse facilities-inpatient					P		P
Sulphur, cement, or rubber reclamation plants					P		
Tattoo parlor/body piercing studio			P				
Theatre, indoor			P				
Theatre, outdoor			P				
Tow yard					P		
Transit storage yard					P		
Transit transfer station and terminals for trucks, buses, railroads, watercraft or other modes of public transportation					P		
Trucks, trailers, construction equipment,					P		

and agricultural equipment outdoor storage							
Trucks, trailers, construction equipment, agricultural equipment sales, rental, and leasing					P		
Vehicle repair and service facility			P		P		
Veterinary clinic		P	P	P	P		
Warehouse, general			p**		P	P	
Warehouse, wholesale or storage of live animals, explosives, or flammable gases and liquids					P		
Welding shop, sheet metal and blacksmith shop					P		
Yard for storage of contractors' equipment, materials and supplies					P		
EDUCATIONAL							
College/university			P				P
Kindergarten or nursery school			P				
Specialized private school			P		P		P
Vocational school			P		P		P
Vocational school with outdoor training			p**		P	P	
ADULT USES							
Adult bookstore			P		P		
Adult entertainment business or establishment			P		P		
Adult entertainment facility			P		P		
Adult motion picture theatre			P		P		
Bathhouse			P		P		
Massage parlor			P		P		
Modeling studio			P		P		
Specific sexual activities			P		P		
UTILITIES							
Device for energy generation		P	P	P	P	C	C
Individual sewage treatment facilities		P	p*		p*		
Public utility facilities	p*	P	p*	p*	p*	P	P

Public facilities over 60 ft. in height		C	P	P	P	P	P
Public utility transmission and distribution lines and pipelines, underground and aboveground, including booster stations	C	C	C	C	C	C	C
Radio, television, and communication transmitting, receiving, or relay towers and facilities		C					
Sanitary landfill					P		
Sewage treatment facilities, other than facilities permitted as an accessory use	C						
Sewage system					P		
Solid waste, compost facility					P		
Solid waste, facility					P		
Solid waste, transfer facility					P		
Telecommunications structure		P	P	P	P	P	
Telecommunications tower or facility		P	P	P	P	C	

Sec. 10-03. USE TERMS

Accessory use – A use incidental and subordinate to the principal use of the premises. See Article 03-02. of this UDC for more information on accessory uses.

Administrative office for educational or religious facility – An establishment primarily engaged in providing internal office administration services as opposed to customer service.

Aircraft sales and leasing facilities and services – A business primarily engaged in the marketing of new or used aircraft. Secondary supporting uses may also exist upon the same site, such as maintenance, repair, and service areas, parts storage areas, and financial service areas.

Airport – Any area of land or water designated, set aside, used, or intended for use, for the landing and take-off of aircraft, and any appurtenant areas designated, set aside, used, or intended for use, for airport buildings or other airport facilities, rights-of-way, or approach zones, together with all airport buildings and facilities located thereon.

Amusement park – A commercially operated park with various devices for entertainment and booths for the sale of food and drink.

Ancillary use – A use designed to serve the occupants and patrons of the principal permitted uses within the building. No separate access from the exterior building shall be permitted with respect to this use. See Article 03-02. of this UDC for more information on ancillary uses.

Animal grooming service – Any place or establishment, public or private, where animals are bathed, clipped, or combed for the purpose of enhancing their aesthetic value or health and for which a fee is charged.

Arena and stadium – A commercial structure with tiers of seats rising around a field or court, intended to be used primarily for the viewing of events. Sports arena may also be used for entertainment and other public gathering purposes, such as conventions, circuses, or concerts.

Art gallery – A room or structure in which original works of art or limited editions of original art are bought, sold, loaned, appraised, or exhibited to the general public.

Art studio – Work space for artists or artisans, including individuals practicing one of the fine arts or skilled in an applied art or craft.

Assisted living – A senior residence assisted by congregate meals, housekeeping, and personal services for persons who have difficulties with one or more essentials of daily living, but for whom full-time professional medical care is unnecessary.

Athletic courts and fields – Areas, whether indoors or outdoors, for training or athletic events. Such areas include, but are not limited to baseball fields, basketball courts, tennis courts, racquetball courts, and other similar uses.

Auditorium – A building or structure designed or intended for use for the gathering of people as an audience to hear music, lectures, plays, and other presentations.

Automobile dealership – A retail business primarily housed in a structure and characterized by a mixture of related uses upon a site; however the principal use of the site shall be the marketing of new or used four-wheeled motor vehicles designed for passenger transport, including passenger cars and light-duty trucks (such as pickup trucks, sport utility vehicles, vans, and minivans). Secondary supporting uses may also exist upon the same site, such as maintenance, repair and service areas, parts storage areas, and financial service areas.

Automobile storage – “A business engaged in the storage of four-wheeled motor vehicles designed for passenger transport, including passenger cars and light-duty trucks (such as pickup trucks, sport utility vehicles, vans, and minivans) that are not sold on the premises.”

Automotive detailing shop – A facility which provides automobile-related services including, but not limited to applying paint protectors, interior and exterior cleaning and polishing as well as installation of aftermarket accessories such as tinting, auto alarms, spoilers, sunroofs, headlight covers, and similar items. However, engine degreasing or similar automobile cleaning services shall not be included under this definition.

Automotive retail supply – The use of any building, or portion thereof, for the display and sale of new parts, tires and accessories for automobiles, panel trucks or vans, trailers, or recreation vehicles.

Bakery – An establishment primarily engaged in the retail sale of baked products for consumption off site. The products may be prepared either on or off site. Such use may include incidental food service.

Banquet facility – An establishment used by individuals or groups to accommodate private functions including, but not limited to, banquets, weddings, anniversaries and other similar celebrations.

Bar – An area primarily devoted to the serving of alcoholic beverages and in which the service of food is only incidental to the consumption of such beverages.

Barber or beauty shop – A place of business wherein barbering, spa, and/or cosmetology services are provided including hair care, nail care, or skin care.

Batching plant – A plant for the manufacture or mixing of concrete, asphalt, cement, and/or cement products, including any apparatus and uses incident to such manufacturing and mixing.

Blacksmith shop – An establishment involved in the creation of objects from iron or steel by forging metal.

Boat (and marine supply) dealership – Any establishment that provides for the sale or charter of new or used boats and similar vehicles. Secondary support uses may also exist upon the same site, such as maintenance, repair and service areas, parts storage areas, and financial service areas.

Botanical garden – A public or private facility for the demonstration and observation of the cultivation of flowers, fruits, vegetables, or ornamental plants.

Bowling center – An establishment that devotes more than 50% of its gross floor area to bowling lanes, equipment, and playing area.

Brewery – Any establishment that brews ales, beers, meads, and/or similar beverages on site. Breweries are classified as a use that manufactures more than 15,000 barrels of beverage (all beverages combined) annually. In addition, uses that manufacture 15,000 barrels of beverage or less, but which do not meet one or more of the additional requirements needed to be considered brewpubs, are breweries.

Brewpub – A restaurant that prepares handcrafted natural beer as an accessory use intended for consumption on the premises. Production capacity shall be limited to not more than 5,000 barrels per year. Such accessory use may occupy up to 30% of the gross floor area of the restaurant.

Broadcasting studio – Commercial and public communications uses including radio and television broadcasting and receiving stations and studios, with facilities entirely within buildings.

Camping facility – Any land and associated structures for camping, lodging, swimming, picnicking, boating, fishing, hiking, and wildlife observation facilities and customary service facilities necessary to provide the direct support for such activities consolidated to camping facility. This use does not include hotels/motels or mobile home parks.

Car wash – Mechanical facilities for the washing, waxing or vacuuming of private automobiles, light trucks and vans, but excluding heavy trucks and buses.

Car wash, industrial – Mechanical facilities for the washing, waxing, and vacuuming of heavy trucks and buses.

Car wash, self-service – A car wash wherein the customer provides labor and where no self-propelled wash racks are provided.

Cemetery – Land used or intended to be used for internment of the dead and dedicated for such purposes, including columbaria, mausoleums, urn gardens, necessary sales and maintenance facilities.

Check cashing facility – A person or business that for compensation engages, in whole or in part, in the business of cashing checks, warrants, drafts, money orders, or other commercial paper serving the same purpose. Check cashing facility does not include a state or federally chartered bank, savings association, credit union, or industrial loan company. Check cashing facility also does not include a retail seller engaged primarily in the business of selling consumer goods, including consumables, to retail buyers that cash checks or issue money orders for a minimum flat fee not exceeding \$2.00 as a service that is incidental to its main purpose or business.

Church and other place of worship – A building wherein persons regularly assemble for religious worship and which is maintained and controlled by a religious body organized to sustain public worship. Includes synagogue, temple, mosque or other such place for worship.

Club – Buildings and facilities, owned or operated by a corporation, association, person or persons for a social, educational, or recreational purpose, to which membership is required for participation and not primarily operated for profit.

Coffee shop – An informal restaurant primarily offering coffee, tea, and other beverages, and where light refreshments and limited menu meals may also be sold.

Coffee shop, drive-thru – An informal restaurant primarily offering coffee, tea, and other beverages, and where light refreshments and limited menu meals may also be sold and customer orders may be by means of a window designed to accommodate automobile traffic.

Commercial service facility – Retail establishments that primarily render services rather than goods. Such services may include but not be limited to copy shops, printing services, package and postal services, janitorial services, and similar operations.

Community center – A place, structure, area, or other facility used for and providing religious, fraternal, social or recreational programs generally open to the public and designed to accommodate and serve significant segments of the community.

Conditional use – Uses which are not allowed as a matter of right within a zoning district. Conditional uses are those uses where analysis and judgment of the consequences of each development and use is necessary to preserve and to promote the public health, safety, and general welfare.

Correctional institution – A facility for the detention, confinement, treatment or rehabilitation of persons arrested or convicted for the violation of civil or criminal law. Such facilities include an adult detention center, juvenile delinquency center, jail, and prison. These facilities house prisoners who are in the custody of city/county/law enforcement and the facilities are typically government owned.

Cultivation and sale of plant crops, commercial vegetable and flower gardening as well as plant nurseries and greenhouses – A farm, garden, cultivated land, or building together with accessory structure designed and intended to be used only for the cultivation and sale of live vegetation including flowers, shrubbery, vegetables, trees, and other horticultural and floricultural products.

Day care center – A facility providing care for (1) the elderly and/or functionally impaired adults (18 years of age or older); or (2) five (5) or more children under the age of 13, not including children of a family residing on the premises, for any part of a 24 hour day.

Day care home – A single family residence where an occupant of the residence provides care and supervision of adults or children for any part of the 24 hour day. For child day care homes, care shall be given to a maximum of 12 children, including children related to the day care provider, for any part of a 24 hour day.

Device for Energy Generation – Devices for the generation of energy, such as solar panels, wind generators, and similar devices as an accessory use.

Dormitory – A dwelling containing sleeping rooms without separate cooking facilities for a number of persons customarily unrelated but associated with an educational, religious, charitable or service institution.

Drug store and pharmacy – An establishment engaged in the retail sale of prescription drugs, nonprescription medicines, cosmetics, and related supplies.

Drug store and pharmacy, drive-thru – An establishment engaged in the retail sale of prescription drugs, nonprescription medicines, cosmetics, and related supplies in part, by means of a window designed to accommodate automobile traffic.

Dry cleaning establishment – An establishment which launders or dry cleans articles dropped off on the premises directly by the customer or where articles are dropped off, sorted, and picked up but where laundering or cleaning is done elsewhere.

Dry cleaning establishment, drive-thru – An establishment which launders or dry cleans articles dropped off in part, by means of a window designed to accommodate automobile traffic, directly by the customer or where articles are dropped off, sorted, and picked up but where laundering or cleaning is done elsewhere.

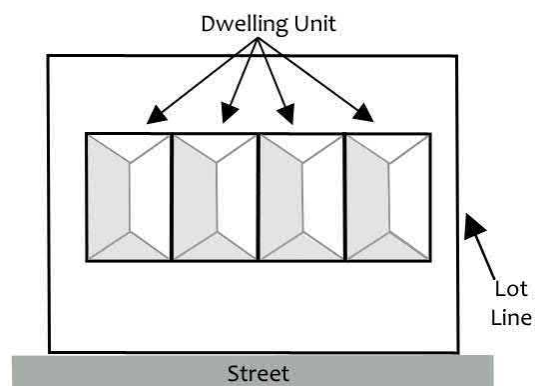
Dry cleaning plant – A building, portion of a building, or premises used or intended to be used for cleaning fabrics, textiles, wearing apparel, or articles of any sort, and the processes incidental thereto.

Dwelling – Any building, or portion thereof, used exclusively for human habitation, except hotels, motels, or mobile homes.

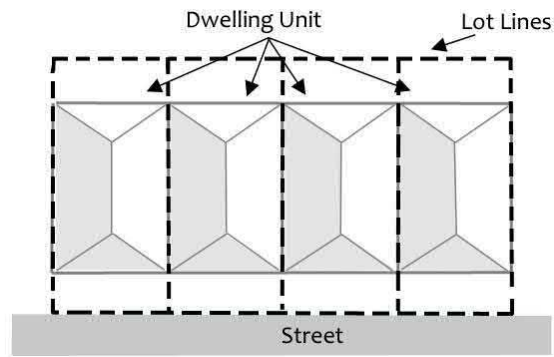
Dwelling unit – A room or group of rooms located within a structure forming a habitable unit for one (1) family.

Dwelling, employee – Units only for watchmen, caretakers, or other personnel whose residence on the premises is essential to the operation of the primary use.

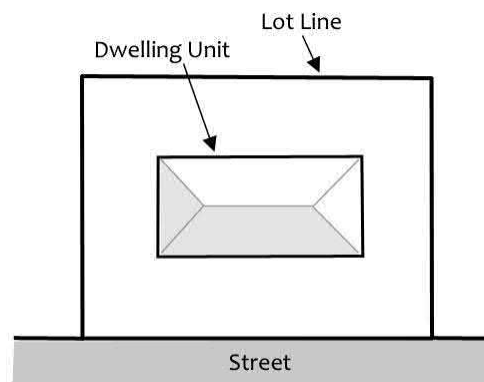
Dwelling, multiple family – A building or portion thereof designed for or occupied exclusively by two (2) or more families.



Dwelling, single family attached – Two (2) or more single-family dwellings sharing common wall areas, each on its own individual lot.



Dwelling, single family detached – A detached building, on a single lot, containing one (1) dwelling unit.



Education facility, college/university – An institution other than a trade school that provides full-time or part-time education beyond high school.

Education facility, kindergarten or nursery school – A school or class for children generally under the age of six (6).

Education facility, primary/secondary – A public, private, or parochial school offering instruction at the elementary, junior, and/or senior high school levels in the branches of learning and study required to be taught in the public schools of the state.

Education facility- specialized private school – An institution for students at the elementary, junior or senior high level who have physical or mental characteristics which require specialized or individual instruction.

Education facility- vocational school – A secretarial school or college, or business school or college, when not public and not owned or conducted by or under the sponsorship of a religious or charitable organization; school conducted as commercial enterprise for teaching instrumental music, dancing, barbering, or hairdressing, or for teaching industrial skills in which machinery is employed as a means of instruction only within buildings.

Education facility- vocational school, outdoor training – A secretarial school or college, or business school or college, when not public and not owned or conducted by or under the sponsorship of a religious or charitable organization; school conducted as commercial enterprise for teaching instrumental music, dancing, barbering, or hairdressing, or for teaching industrial skills in which machinery is employed as a means of instruction, whether indoors or outdoors.

Extraction / processing of raw materials – Any establishment primarily engaged in the process of the removal of physical matter in a solid, liquid, or gaseous state from its naturally occurring location, and the processing of said materials.

Fairground – An area of land use including but not limited to: agricultural related office buildings, animal shows and judging, carnivals, circuses, community meeting or recreational buildings and uses, concerts, food booths and stands, games, rides, rodeos, sales and auctions, storage, theaters. Such county fairs, exhibitions, and shows do not include racetracks or motorized contests of speed.

Farmers market – An occasional or periodic market held in an open area or in a structure where groups or individual sellers offer for sale to the public such items as fresh produce, seasonal fruits, fresh flowers, arts and crafts items, and food and beverages (but not to include second-hand goods) dispensed from booths located on-site.

Farming – The growing of crops, plants, and trees. The term also includes the maintaining of horses, livestock, or poultry for the residents' needs or use and the sale of agricultural products grown on the premises, plant crops or domestic animals.

Filling station and convenience store – A place where gasoline, motor oil, lubricants, or other minor accessories are retailed directly to the public on the premises in combination with the retailing of items typically found in a convenience market or supermarket.

Film drop-off and pick-up station – An establishment or business maintained for the drop-off and pick-up of film without the maintenance or operation of any film processing equipment or machinery on the premises.

Film processing plant – A building, portion of a building, or premises used or intended to be used for the development of film.

Financial institution – An establishment where the principal business is the receipt, disbursement or exchange of funds and currencies, such as: banks, savings and loans, or credit unions.

Financial institution, drive-thru – An establishment where the principal business is the receipt, disbursement or exchange of funds and currencies (such as: banks, savings and loans, or credit unions) and including provisions for the conduct of banking services directly to the occupants of motor vehicles.

Golf course – A tract of land laid out with at least nine (9) holes for playing a game of golf and improved with tees, greens, fairways, and hazards. A golf course may include a clubhouse, restrooms, driving range, and shelters as accessory uses.

Grocery, community – A retail establishment which primarily sells food, but also may sell other convenience and household goods, and which occupies at least 5,000 square feet but not more than 25,000 square feet of gross floor area.

Grocery, neighborhood – A retail establishment which primarily sells food, but also may sell other convenience and household goods, and which occupies less than 5,000 square feet of gross floor area.

Grocery, supercenter – A retail establishment which primarily sells food, but also may sell other convenience and household goods, and which occupies more than 25,000 square feet of gross floor area.

Group Home – A single family dwelling or single family residence in which eight or fewer unrelated mentally or physically handicapped persons reside, and may include two additional persons acting as houseparents or guardians who need not be related to each other or to any of the mentally or physically handicapped persons residing in the home.

Group residential facility – An establishment qualified for a license by the state which provides resident services to children or adults of whom one or more are unrelated. The individuals may be handicapped, aged, or disabled, are undergoing rehabilitation or extended care, and are provided services to meet their needs.

Gymnasium – A building or portion thereof used for athletic training or sports activities, including accessory seating for spectators.

Harbor, marina, and dock for water-borne vehicles – A dock or basin where slips, moorings and often supplies, repairs, and other services are available for craft.

Heliport – Any landing area used for the landing and taking off of helicopters, including all necessary passenger and cargo facilities, fueling, and emergency service facilities.

Highway department garage – A facility used by the Highway Department for the storage and maintenance of vehicles used by the Highway Department.

Historic sites or buildings – Sites or buildings with a Historic Designation as detailed elsewhere in this UDC.

Home occupation – Any activity conducted by a resident within a dwelling for financial gain which is incidental to, and clearly subordinate to, the residential use of the property. A home occupation has no employee that is not a resident on the premises, has no retail sales (except for goods and services produced on the premises) and occupies no more than 25% of the residence including the basement and attached garage.

Hospice – Any coordinated program of home care with provision for inpatient care for terminally ill patients and their families. This care is provided by a medically directed interdisciplinary team, directly or through an agreement under the direction of an identifiable hospice administration. A hospice program of care provides palliative and supportive medical and other health services to meet the physical, psychological, social, spiritual, and special needs of patients and their families, which are experienced during the final stages of terminal illness and during dying and bereavement.

Hospital – An institution providing medical and surgical care for humans only, for both inpatients and outpatients, including medical service, training, and research facilities.

Hotel and motel – An establishment providing, for a fee, sleeping accommodations and customary lodging services, including maid service, the furnishing and upkeep of furniture and bed linens, and telephone and desk service for transient occupancy. Related ancillary uses may include but shall not be limited to conference and meeting rooms, restaurants, bars, and recreational facilities.

Hotel and motel, extended stay – A building or structure intended as, used as, maintained as, or advertised as a place where sleeping accommodations are furnished to the public as regular roomers, primarily for periods of one week or more.

Incinerator – A plant designed to burn waste, often producing power as a by-product but primarily for disposal.

Independent living – A senior residence providing no regular assistance to residents either with activities of daily living or with daily medical needs.

Individual sewage treatment facility – Facilities serving an individual dwelling or non-residential use, as approved by the appropriate regulatory agency.

Industrial sales, service, and storage – Establishments providing industrial sales, services, repairs, and storage to individuals or businesses. This classification includes metal, machine, and welding shops; cabinetry and woodworking shops; furniture upholstery shops; and similar business engagements in custom fabrication and repair.

Junk/salvage yard – Any location whose primary use is where waste or scrap materials are stored, bought, sold, accumulated, exchanged, packaged, disassembled, or handled, including but not limited to materials such as scrap metals, paper, rags, tires, and bottles.

Kennel, boarding – The use of land or building for the purpose of boarding or keeping of five (5) or more dogs over four (4) months in age and not owned by the proprietor, or the boarding or keeping of six (6) or more cats over four (4) months of age and not owned by the proprietor or the keeping or boarding of a combination of six (6) or more dogs and cats which are sheltered, fed, and watered in return for a consideration.

Kennel, private – A private kennel is defined as:

- (1) The use of land or building for the purpose of selling and breeding of five (5) or more dogs over four (4) months in age or six (6) or more cats over four (4) months in age, or a combination of six (6) or more dogs and cats.
- (2) The word selling as herein used shall not be construed to include the sale of animals four (4) months of age or younger, which are the natural increase of animals kept by persons not operating a kennel as herein defined; nor shall selling be determined to include isolated sales of animals over four (4) months old by persons not operating a kennel as herein defined.

Laboratory – A facility for analysis of natural resources, medical resources, manufactured materials, or similar items.

Landing strip – An airstrip restricted, except for aircraft emergencies, to use by the owner and, on an infrequent and occasional basis, by invited guests and by commercial aviation activities in connection with permitted uses of the land.

Laundromat – A business that provides washing, drying, and/or ironing machines for hire to be used by customers on the premises.

Library – A public facility for the use, but not sale, of literary, musical, artistic, or reference materials.

Livestock, raising and keeping of animals – An agricultural operation where domestic animals are kept for use as part of a farm or raised for sale.

Local public utility facility – A facility owned by any person, firm, corporation, municipal department, or board duly authorized to furnish, and furnishing under state or municipal regulations, to the public services including electricity, gas, steam, communication, telegraph, transportation, or water.

Local public utility facility, over 60 feet in height – A facility over 60 feet in height that is owned by any person, firm, corporation, municipal department, or board duly authorized to furnish, and furnishing under state or municipal regulations, to the public services including electricity, gas, steam, communication, telegraph, transportation, or water. This use does not include telecommunications structures.

Lumberyard – An area used for the storage, distribution, and sale of finished or rough-cut lumber and lumber products, but not including the manufacture or fabrication of lumber, lumber products, or firewood.

Mail order sale warehouse – A business establishment that is primarily organized to warehouse and fill requests for merchandise or services through the mail.

Manufacturing, fabrication, assembly, processing, or packaging facility – The use of any building, land area, or other premises or portion thereof used for the manufacture, fabrication, assembly, processing, or packaging of goods. This use does not include:

- (1) Facilities producing or processing explosives or flammable gases or liquids;
- (2) Facilities for animal slaughtering, meat packing, or rendering;
- (3) Sulphur plants, rubber reclamation plants, or cement plants; or
- (4) Steel mills, foundries, or smelters.

Meat packing facility – A building where meat, poultry, or eggs are cooked, smoked, or otherwise processed or packed.

Mobile home park – Any area or tract of land designed for the parking or other type of installation of mobile homes on spaces or lots offered for lease or rent, including all improvements, buildings, structures, recreation areas, or other facilities for the use of the residents of such development.

Mortuary – An establishment in which the deceased are prepared for burial or cremation. The facility may include a chapel for the conduct of funeral services and spaces for funeral services and informal gatherings or display of funeral equipment.

Motorcycle, ATV, and similar motor vehicles dealership – A retail business primarily engaged in the marketing of new or used motorcycles, motor scooters, motorbikes, mopeds, off-road all-terrain vehicles (ATV), jet skis, and other motor vehicles (except passenger cars, trucks, recreational vehicles, and boats). Secondary supporting uses may also exist upon the same site, such as maintenance, repair, and service areas, parts storage areas, and financial service areas.

Motorcycle, ATV, and similar motor vehicles storage – A business engaged in the storage of motorcycles, motor scooters, motorbikes, mopeds, off-road all-terrain vehicles (ATV), jet skis, and other motor vehicles that are not sold on the premises.

Museum – A building having public significance by reason of its architecture or former use or occupancy or a building serving as a repository for a collection of natural, scientific, or literary curiosities or objects of interest, or works of art, and arranged, intended, and designed to be used by members of the public for viewing, with or without an admission charge, and which may include as an accessory use art galleries; associated work and storage areas required by a business, firm, or service to carry on business operations of the primary use; bookstores; educational facilities, including, but not limited to: schools, service facilities, studios, or work areas; employee cafeterias; offices; outdoor art displays (said displays must be related to the use of the property, but must not be utilized for advertisement); parking areas, including garages, for automobiles, but not including any sales of automobiles, or the storage of wrecked or otherwise damaged and immobilized automotive vehicles for a period in excess of 72 hours; and the sale of goods to the public.

Newspaper stand – A temporary structure, manned by a vendor that sells newspapers, magazines, and other periodicals.

Nursing home – A building intended for use as a medical care facility for persons who need nursing care and medical service, but do not require intensive hospital care. A nursing home may also include some assisted and independent living uses.

Office, dental – A room, suite of rooms, or building operated by one or more licensed dentists for the examination and treatment of persons solely on an outpatient basis.

Office, general – A room, suite of rooms, or building in which a person transacts the affairs of a business, profession, service, industry, or government.

Office, medical – A room, suite of rooms, or building used by one or more physicians, chiropractors, nurses, or similar personnel for the examination and treatment of persons solely on an outpatient basis.

Oil change facility – Operations that provided lubrication and/or checking, changing, or additions of those fluids and filters necessary to the maintenance of a vehicle. It is intended that these services will be provided while customers wait, generally within a 15- to 20-minute time period.

Pawnshop – Any business that loans money on deposit of personal property or deals in the purchase or possession of personal property on condition of selling the same back again to the pledger or depositor, or loans or advances money on personal property by taking chattel mortgage security thereon, and takes or receives such personal property.

Permitted use – A use allowed in the zoning district in which it is listed, subject to compliance with the dimensional requirements, development standards, and any other special requirement of the zoning district and the general requirements of this UDC.

Plumbing, electrical, air conditioning, and heating equipment sales, warehousing and repair facility – Any establishment that includes the retail sale, repair service, and/or warehousing of equipment for a plumbing, electric, air conditioning, or heating business.

Professional and technical service facility – An establishment where work is done for others, predominately on the premises of the office, by someone trained and engaged in such work for a career; e.g. lawyers, accountants.

Public safety facility – A government facility for public safety and emergency services, including a facility that provides police or fire protection and related administrative facilities.

Railroad switching yard – An area that contains equipment enabling railway trains to be guided from one track to another.

Reading room – A public or private facility for the use and sale of literary, musical, artistic, or reference materials.

Recreation facility – Any establishment whose main purpose is to provide the general public with an amusing or entertaining activity. Includes, but not limited to, skating rinks, water slides, miniature golf courses, arcades, tennis courts, swimming pools, billiard halls, and fitness center but not movie theaters.

Recreational vehicle dealership – A retail business primarily engaged in the marketing of new or used recreational vehicles, commonly referred to as RVs. Secondary supporting uses may also exist upon the same site, such as maintenance, repair, and service areas, parts storage areas, and financial service areas.

Recreational vehicle storage – A business engaged in the storage of recreational vehicles, commonly referred to as RVs, that are not sold on the premises.

Research facility – A structure or complex of structures designed or used primarily for research development functions related to industry and similar fields of endeavor.

Restaurant, fast food – An establishment engaged primarily in the business of preparing food and purveying it on a self-serve or semi self-serve basis. Customer orders and/or service are generally by means of a walk-up counter. Consumption may be either on or off the premises.

Restaurant, sit down – An establishment maintained, operated, and/or advertised or held out to the public as a place where food and beverage are served to the public on demand from a menu during stated business hours, served in and on reusable containers and dinnerware, to be consumed on the premises primarily inside the building at tables, booths, or counters, with chairs, benches, or stools.

Retail sales establishment, community – Retail shops and stores (excluding autos, boats, machinery, groceries, etc.) such as apparel, books, hardware, jewelry, paint, sporting goods, and electronics having between 4,000 square feet and 25,000 square feet of floor space.

Retail sales establishment, neighborhood – Retail shops and stores (excluding autos, boats, machinery, groceries, etc.) such as apparel, books, hardware, jewelry, paint, sporting goods, and electronics having 4,000 square feet or less of floor space.

Retail sales establishment, regional – Retail shops and stores (excluding autos, boats, machinery, groceries, etc.) such as apparel, books, hardware, jewelry, paint, sporting goods, and electronics having more than 25,000 square feet of floor space.

Retail sales, outdoor – The placement of goods for sale or for advertisement, outside of the building or structure, including but not limited to garden supplies, tires, motor oil, and clothes but not including vending machines.

Retreat center – A facility which is operated by a nonprofit organization, provides opportunities for small groups of people to congregate temporarily on a site for such purposes as education, enlightenment, contemplation, renewal, or solitude; and by its nature needs to be located in a quiet, sparsely populated, natural environment.

Riding stable – A building and designated site, whether indoors or outdoors, intended or used as a shelter for horses or ponies, which provides for commercial boarding, hire, sale, or training of such animals.

Sales yard operated by a church, school, or other not-for-profit organization – The use of any building, land area, or other premises or portion thereof, operated by a church or other place of worship, school, or not-for-profit organization for the outdoor sale and display of items for sale.

Sanitary landfill – A disposal site and related facilities at which the method of disposing non-hazardous solid waste is by landfill.

Self-storage facility – A building or group of buildings divided into separate compartments used to meet the temporary storage needs of small businesses, apartment dwellers, and other residential uses.

Sewage system – A wastewater treatment system, approved by the appropriate county, state, city, or federal agencies, which provides collection networks and a central wastewater treatment facility.

Sheet metal shop – Any establishment involved in the fabrication of sheet metal products on the premises.

Shooting range, indoor – The use of a structure for archery and/or the discharging of firearms for the purposes of target practice or temporary competitions.

Shooting range, outdoor – The use of any building, land area, or other premises or portion thereof for archery and/or the discharging of firearms for the purposes of target practice or temporary competitions.

Solid waste, compost facility – A site that has been approved by the city, county, and the state pollution control agency for the storage, transfer, or composting of specifically identified types of solid waste materials.

Solid waste, facility – Establishment for the disposition of unwanted or discarded material, including garbage with insufficient liquid content to be free flowing.

Solid waste, transfer facility – A facility that receives primarily solid waste materials, from commercial vehicles for the purpose of storing and handling prior to transferring to another facility.

Stable, private – An accessory structure or land use that is designed, arranged, used, or intended to be used for the keeping of equines for the private use of the occupants of a principle dwelling and their guests, but in no event for hire. This use includes an indoor riding arena.

Steel mill, foundry, and smelter – The use of any building, land area, or other premises or portion thereof, engaging in the milling, foundry, or smelting of steel.

Substance abuse facility, inpatient – Structures and land used for the treatment of alcohol or other drug abuse where one or more patients are provided with care, meals, and lodging.

Substance abuse facility, outpatient – Structures and land used for the treatment of alcohol or other drug abuse where neither meals nor lodging is provided.

Sulfur, cement, or rubber reclamation plants – Any plant engaged in the reclamation of sulfur, cement, and/or rubber.

Tackle and bait shop – The use of any building, land area, or other premises or portion thereof engaged in the retail sale of tackle supplies and/or bait for fishing.

Tattoo parlor / body piercing studio – An establishment whose principal business activity, either in terms of operation or as held out to the public, is the practice of one or more of the following: (1) placing of designs, letters, figures, symbols, or other marks upon or under the skin of any person, using ink or other substances that result in the permanent coloration of the skin by means of the use of needles or other instruments designed to contact or puncture the skin; (2) creation of an opening in the body of a person for the purpose of inserting jewelry or other decoration.

Theater, indoor – A building or part of a building devoted to showing motion pictures, or for dramatic, dance, musical, or other live performances.

Theater, outdoor – An establishment with open air seating devoted to showing motion pictures, or for dramatic, dance, musical, or other live performances.

Tow yard – An outdoor storage facility for the temporary storage of towed vehicles.

Transit storage yard – The use of any building, land area, or other premises or portion thereof, whether inside or outside, for the storage, maintenance, and repair of vehicles and equipment used for public or private transit service.

Transit transfer station – The property, equipment, and improvements of whatever nature owned, used, constructed, maintained, controlled, or operated to provide mass transportation for passengers or to provide for the movement of people, including park-and-ride stations, transfer stations, parking lots, malls, and skyways.

Trucks, trailers, construction equipment, and agricultural equipment outdoor storage – The use of any building, land area, or other premises or portion thereof used for the storage of medium and heavy duty trucks, trailers, construction equipment, or agricultural equipment.

Trucks, trailers, construction equipment, agricultural equipment sales, rental, and leasing – The use of any building, land area, or other premises or portion thereof used for the sale, rental, or leasing of medium and heavy duty trucks, trailers, construction equipment, or agricultural equipment. Secondary supporting uses may also exist upon the same site, such as maintenance, repair, and service areas, parts storage areas, and financial service areas.

Use – The purpose for which a building, lot, sign, or other structure is arranged, intended, designed, occupied, or maintained.

Vehicle repair and services facility – A facility for the general repair, rebuilding, or reconditioning of engines, motor vehicles, or trailers, or providing collision services, including body, frame, or fender repair, and overall painting.

Veterinary clinic – An establishment for the care and treatment of the diseases and injuries of animals and where animals may be boarded during their convalescence.

Warehouse, wholesale or storage- general – A use engaged in storage and transporting manufactured products, supplies, and equipment, excluding bulk storage of materials that are inflammable or explosive or that present hazards or conditions commonly recognized as offensive.

Warehouse, wholesale or storage- live animals, explosives, or flammable gases and liquids – Any establishment that includes transporting or storage of manufactured commodities, live animals, explosives, or flammable gases and liquids.

Welding shop – Any establishment involved in the joining of materials, primarily metals by applying heat, sometimes with pressure and sometimes with an intermediate or filler metal having a high melting point.

Wildlife reservation and conservation project – Lands that contain significant food, water, or cover for native terrestrial and aquatic species of animals. Examples include forests, fields, riparian areas, wetlands, and water bodies. Conservation projects: A project designed for the management of natural resources to prevent waste, destruction, or degradation.

Yard for storage of contractors' equipment, materials, and supplies – Storage yards operated by, or on behalf of, a contractor for storage of large equipment, vehicles, or other materials commonly used in the individual contractor's type of business; storage of scrap materials used for repair and maintenance of contractor's own equipment; and buildings or structures for uses such as offices and repair facilities.

Zoological garden – An area, building, or structures which contain wild animals on exhibition for viewing by the public.

BILL NO. 3337

ORDINANCE NO. _____

AN ORDINANCE AMENDING ARTICLE 4 OF THE UNIFIED DEVELOPMENT CODE TO REVISE LANGUAGE PERTAINING TO ARCHITECTURAL REVIEW DESIGN STANDARDS {P.Z. 13-2020 CITY OF CHESTERFIELD (UNIFIED DEVELOPMENT CODE – ARTICLE 4)}.

WHEREAS, the City of Chesterfield Unified Development Code contains regulations and requirements pertaining to the development of land within the City; and,

WHEREAS, the Unified Development Code serves to promote the public health, safety, and general welfare of the citizens of the City of Chesterfield; and,

WHEREAS, the City of Chesterfield seeks to update the regulations and requirements pertaining to Architectural Review Design Standards; and,

WHEREAS, a Public Hearing was held before the Planning Commission on January 11, 2021; and,

WHEREAS, the Planning Commission, having considered said request, recommended approval of two amendments; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of said amendments; and,

WHEREAS, the City Council, having considered said request, voted to approve the updates to Article 4 of the Unified Development Code pertaining to Architectural Review Design Standards.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. The City of Chesterfield hereby approves the updates to Article 4 of the Unified Development Code pertaining to Architectural Review Design Standards as set out in Attachment “A” which is attached hereto and made part thereof.

Section 2. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of this Ordinance as whole, or any part thereof.

Section 3. The provisions of the Ordinance may be amended in the future by the City Council of the City of Chesterfield.

Section 4. Where this Ordinance differs or conflicts with other laws, rules and regulations, unless the right to do so is preempted or prohibited by the County, State, or Federal government, the more restrictive or protective of the City and the public shall apply.

Section 5. This Ordinance shall be codified within the Municipal Code of the City of Chesterfield.

Section 6. This Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2021.

PRESIDING OFFICER

Bob Nation, MAYOR

ATTEST:

Vickie McGownd, CITY CLERK

FIRST READING HELD: <u>02/01/2021</u>

ATTACHMENT A

Sec. 04-01. ARCHITECTURAL REVIEW DESIGN STANDARDS

A. Applicability and Compliance.

1. Applicability. The City of Chesterfield Architectural Review Design Standards shall apply to all vacant or undeveloped land and all property to be redeveloped including additions and alterations. Applications for Site Plan, Site Development Plan and Site Development Section Plan shall be reviewed by the Architectural Review Board (ARB) unless otherwise specified in any Planned District Ordinance or Special Procedure Approval. The ARB will provide recommendations to the City on projects they have reviewed. Projects which are exempt from being reviewed by the ARB are reviewed by Staff to meet the Design Standards.
2. Unless otherwise required by the City of Chesterfield to be reviewed by the ARB, new single family residential subdivisions shall be reviewed by the Director of Planning (the Department) during site plan, site development plan or site development section plan review.
3. Exemptions.
 - a.) Single residential lots are exempt from the provisions of these ARB Design Standards, provided no construction, addition or alteration of a non-residential building is proposed.
 - b.) Residential additions and tear downs are reviewed under Section 405.20.160 of this UDC.
 - c.) Non-residential additions and architectural amendments that meet the following criteria may be considered for administrative approval by the Director of Planning. Said approval shall be at the discretion of the Director of Planning if:
 - (1) The proposed addition is less than 5,000 sq. ft.; or
 - (2) The proposed addition or amendment does not significantly impact architectural elements previously approved by the Planning Commission or the ARB.
4. Compliance. For projects that are not administratively approved, upon review by Staff after receiving recommendation from ARB, projects will be forwarded to the Planning Commission for review and consideration.
5. Alternative Compliance. The Design Standards may be modified if it may be demonstrated said amendment is necessary to provide creative or imaginative design that exceeds the minimum performance standard requirements. Said amendment shall require two-thirds (2/3) vote of the Planning Commission. Use of sustainability features in regards to items such as, but not limited to, building mass, building orientation, building materials, and energy source and usage, shall be considered when

determining if a modification is warranted. Notwithstanding, the recommendation of the Planning Commission, the Council may modify the standards contained in this Section by a majority vote.

B. Submittal Requirements and Procedures.

1. Submittal Requirements. When an application is required to be reviewed by the ARB, the following shall be submitted for review:
 - a.) Color site plan with contours, site location map, and identification of adjacent uses.
 - b.) Color elevations for all building faces.
 - c.) Color rendering or model reflecting proposed topography.
 - d.) Photos reflecting all views of adjacent uses and sites.
 - e.) Details of screening and retaining walls.
 - f.) Section plans highlighting any building off-sets.
 - g.) Architect's Statement of Design which clearly identifies how each section in the design standards has been addressed and the intent of the project.
 - h.) Landscape Plan.
 - i.) Lighting cut sheets for any proposed building lighting fixtures.
 - j.) Large exterior material samples.
 - k.) Any other exhibits which would aid understanding of the design proposal as required by the City of Chesterfield.
 - l.) Electronic files of each document required shall also be submitted in a format as specified by the City.
2. Alternative Compliance to Submittal Requirements. In some cases, atypical projects may benefit by the use of alternate submittals; including additional items or less than those items as provided above. The Director of Planning shall review and approve the use of alternate submittals prior to submission for review by the ARB.
3. Procedures.
 - a.) All applicable development as provided in Section 04-01.A. of this Article shall submit the appropriate materials for review by the City of Chesterfield.
 - b.) When required, these submittal materials shall be reviewed by the ARB and/or the Planning Commission.

- c.) Any amendments or proposed modifications to previously approved architectural elevations shall be reviewed for compliance to the standards set forth in this Section by the Director of Planning. However, when the Director of Planning deems the requested amendment or modification to be a major change, they may require that the request be reviewed by the ARB for the purpose of obtaining a recommendation.
- d.) When a Planned District Ordinance or Special Procedure Approval requires that all architecture be reviewed by the ARB and/or the Planning Commission, all amendments and proposed modifications shall also be reviewed by said Board and/or Commission.

C. General Requirements for Site Design.

All projects should address the following requirements as directed by the City of Chesterfield:

1. Site Relationships. Developments should emphasize site relationships to provide a seamless transition between phases of a project, which are compatible with neighboring developments, and which also provide a transition from the street to the building.

Desirable Practices	Undesirable Practices
Provide safe pedestrian movement between elements.	Site design that impairs or interferes with other properties or developments.
Provide public plazas, courtyards, assembly areas etc.	Excessive noise, lighting, glare.
Incorporate scenic views, fountains, public art etc. within outdoor spaces.	Delivery zones, trash enclosures, storage areas, transformers and generators that are not screened and are visible by the public.
Consider climate, solar angles, and outdoor activities when designing elements within outdoor spaces.	Above ground public utilities.

2. Circulation System and Access. Circulation systems shall be designed to avoid conflicts between vehicular, bicycle, and pedestrian traffic to and from buildings on the site. Circulation patterns shall be safe, obvious, and simple as described in the standards below.

Bicycle Circulation	• Provide bicycle parking in highly visible locations. • Provide racks with a locking opportunity.
Pedestrian Circulation	• Give precedence to pedestrian circulation over vehicular circulation. • Provide pedestrian access from large parking areas. • Design open and attractive circulation systems between buildings, blocks, and adjacent developments. • Utilize materials, textures and/or colors to improve safety and visibility at points of conflict with vehicular routes. • Surface routes with durable materials in order to eliminate "short cuts" which damage landscape areas.
Vehicular Circulation	• Provide accommodations for public transportation as directed by the City of Chesterfield and transportation agencies.
Parking	• Encourage rear and side parking areas. Front parking may be considered if appropriate landscaping and setbacks are incorporated into the parking design. • Provide landscaped separation of parking areas and buildings and create a landscaped foreground for buildings.
Pedestrian Orientation	• Establish areas with visual interest such as outdoor dining areas or outdoor seating areas which face the street and pedestrian ways. • Provide open spaces, such as covered walkways, courtyards and plazas. • Provide connections to public transportation, bus stops, future light rail stations and commuter lots.

3. Topography.

- a.) Utilize topography for screening, buffering, and transition between uses and developments.
- b.) Retain the natural slope and topography while minimizing changes to the existing topography. Avoid abrupt or unnatural appearing grading design.
- c.) Round proposed cut and fill slopes, both horizontally and vertically.

4. Retaining Walls.

- a.) Minimize the height and length of retaining walls. Screen with appropriate landscaping, where appropriate.
- b.) Incorporate design elements of other architectural or natural features of the project.

- c.) Use terracing as an alternative to tall or prominent retaining walls, particularly in highly visible areas on hillsides.
- d.) Use stone, masonry or textured concrete walls or other similar materials.
- e.) Use of timber tie walls is not permitted.

D. General Requirements for Building Design.

These requirements shall apply to all structures.

1. Scale.

Building Scale	• Demonstrate through elevations and renderings that the size, proportion, design and orientation of buildings are compatible with the adjacent or predominant development in the area. • Provide transitions between buildings and uses to visually reduce differences in scale and proportion.
Human Scale	• Design to achieve a sense of human scale through the use of wall insets, balconies, window projections or other architectural elements.
Generic Scale	• Respect and/or improve the rhythm established by adjacent or predominant buildings and development. • Coordinate the actual and apparent height of adjacent structures. Adjust apparent height by placing window lines, belt courses and other horizontal elements in a pattern that complements the same elements on neighboring buildings.

2. Design.

- a.) Design and coordinate all façades with regard to color, types and numbers of materials, architectural form and detailing.
- b.) Avoid linear repetitive streetscapes.
- c.) Avoid stylized, "corporate" and/or franchise designs that use the building as advertising.
- d.) Provide architectural details particularly on façades at street level.
- e.) Encourage art elements such as wall sculptures, murals, and artisan created details etc. throughout a project.
- f.) Encourage designs that enhance energy efficiency.
- g.) Encourage the use of environmentally conscious building techniques and materials.

- h.) Provide entry recesses, plazas, roof overhangs, wall fins, projecting canopies or other similar features indicating the building's entry points while providing protection.
- i.) Paint and trim temporary barriers/walls to complement the permanent construction excluding tree protection fencing.
- j.) Screen rooftop equipment on all visible sides with materials that are an integral part of the architecture. Parapet walls or screen walls shall be treated as an integral part of the architecture and shall not visually weaken the design of the structure.

3. Materials and Colors.

Desirable Practices	Undesirable Practices
Use compatible colors, materials and detailing on a building. Colors, materials and detailing should also be compatible with adjacent buildings and properties. Encourage the use of integral color where practical.	False or decorative façade treatments, inconsistent adornment and overly frequent material changes should be avoided.
Utilize durable materials.	Highly reflective materials and prefabricated buildings are discouraged.
Utilize contrasting paving surfaces for pedestrian access in large paved areas.	

4. Landscape Design and Screening.

Development Landscaping	• Use a consistent theme throughout each development. Variations may be used to create distinction between spaces but such themes shall be internally consistent. • Use landscape design to accentuate significant views. • Incorporate or include landscaped areas throughout the site design. Tree and shrub plantings should be grouped together to create strong accent points. • Incorporate existing landscape elements into design. Mature trees, tree groupings and rock outcroppings shall be considered as design determinants. • Provide for screening of unfavorable views either to or from the subject site.
Building Landscaping	• Incorporate landscaping into building design. • Incorporate landscaped setbacks to buffer adjacent buildings and uses and to create separation between the building and the street. • Include works of art in landscape plans.
Parking Area Landscaping	• Protect landscape materials from pedestrian or motor traffic with curbs, tree guards, or other devices. • Enhance paved access, parking, and circulation spaces with berms, islands or other landscaped spaces. Provide trees and tree groupings. • Screen parking structures with dense landscaping on all sides.
Walls and Fences	• Design sound walls, masonry walls, and fences to minimize visual monotony through changes in plane, height, material or material texture. • Present fencing design and materials in the Architect's Letter of Intent submitted for review. Chain link fencing is discouraged; additionally, chain link fencing with wood or any type of inserts or lining is not considered suitable.
Screening	• Use screening materials for exterior trash and storage areas, service yards, loading docks and ramps, wood service poles, electric and gas meters, irrigation back flow prevention devices, and transformers that are substantial, durable, opaque, and well designed. • Integrate the design of fencing, sound walls, carports, trash enclosures, rooftop screening, and similar site elements into the building design and construct with similar materials.

5. Signage. Signs and sign packages are reviewed through a separate process. All signs shall adhere to the Unified Development Code (UDC) and/or the Sign Package for the site.
6. Lighting. Site Lighting is reviewed through a separate process. All lighting including architectural lighting and building light fixtures shall adhere to the UDC.
7. Existing Structures. All additions and exterior renovations to existing structures shall advance such structures toward further compliance with the provisions of Section 405.04.010 D. of the Unified Development Code. Exterior additions shall be incorporated into one cohesive design with the existing structure.

E. Specific Requirements for the Chesterfield Valley.

These requirements for Chesterfield Valley are to be applied to commercial and industrial development in addition to addressing all other applicable design standards in the UDC.

Facades	- Utilize architectural elements from the Front Façade on the side and rear of the structure. - Utilize accent lighting and avoid flood lighting for facades of buildings facing I-64/US 40. - Screen trash enclosures and construct with materials consistent to the building.
Storage	Screen outdoor storage of goods, equipment or automobiles for sale or service from I-64/US 40.
Utilities	Install all new and existing site utilities underground.
Parking	- Locate parking primarily to the side or rear of any building facade facing I-64/US 40 or along North Outer 40. - Screen loading areas and construct with material consistent to the building.

Article 04. Development Requirements and Design Standards

	Access	Exterior Elements	Landscaping and Screening	Scale	Site Design
Residential Architecture	See "General Requirements for Building Design" Section 04-01.D. of this Article.	Use architectural elements and materials matching the front façade on the sides and rear of the structure where the façade is visible from streets external to the subdivision. Avoid long uninterrupted building surfaces and materials or designs that cause glare. Primary building material shall be extended and installed so that no more than twelve (12) inches of concrete foundation wall is exposed.	See "General Requirements for Building Design" Section 04-01.D. of this Article.	Design to fit appropriately with the natural landscape. Design infill development to reinforce functional relationships and patterns of development within the existing neighborhood.	Utilize setbacks, screening, building massing or driveway parking locations to provide transitions when adjacent to a different land use or residential density.
Multi-Family Architecture	Provide an on-site pedestrian system with access to common ground areas.	Express architecturally the individual dwelling units within the building. Utilize color, material and plane changes to articulate facades. Avoid monotonous or institutional designs. Primary building material shall be extended and installed so that no more than twelve (12) inches of concrete foundation wall is exposed.	See "General Requirements for Building Design" Section 04-01.D. of this Article.	Respect the scale, proportion and character of the adjacent or predominant neighborhood.	Provide functional recreation areas. Provide private outdoor space for each dwelling. Provide visual transitions between the street and the dwelling units.
Commercial and Industrial Architecture	Locate service and loading areas away from public streets and out of the main circulation system and parking areas. Provide access for service vehicles, trash collection and storage areas from alleys when possible. If not possible, utilize the street with the least traffic volume and visual impact.	See "General Requirements for Building Design" Section 04-01.D. of this Article.	Screen utility meters, and surface transformer switching pads.	See "General Requirements for Building Design" Section 04-01.D. of this Article.	Design and locate building equipment and utilities to minimize visibility from public streets, surface parking lots, and neighboring properties.

Article 04. Development Requirements and Design Standards

	Access	Exterior Elements	Landscaping and Screening	Scale	Site Design
Fast Food Restaurants	Create a circulation system that provides adequate space for drive-thru queuing lines. Direct drive-thru queuing lines so as to not conflict with pedestrian circulation or on-site parking.	Adapt franchise or corporate style architecture to complement the style of adjacent developments. Apply color schemes that coordinate with adjacent developments' color schemes. Utilize similar architectural designs and palettes as the commercial development in which the building will be located. Integrate drive-thru elements, outdoor seating areas and play equipment architecturally into the building design.	Utilize perimeter fencing that is attractive and compatible with the building design.	Adapt franchise or corporate style architecture to fit in with the scale and proportion of adjacent development.	Locate drive-thru elements away from the primary street frontage.
Auto Service and Fuel Stations	See "General Requirements for Building Design" Section 04-01.D. of this Article.	Provide a structural or strong design element to anchor corner stores. Create building(s) designs compatible with surrounding developments. Use of prefabricated or pre-designed buildings is discouraged. If used, adapt the design so as to be compatible with adjacent development.	Provide landscaping and/or pathways in an alternate paving material to break up expanses of pavement and/or asphalt. Screen or architecturally incorporate tank vents into the design.	Design prefabricated or pre-designed buildings, if used, so as to have a scale and proportions compatible with adjacent development.	Avoid multiple structures on the site. Situate car wash openings away from the street.
Shopping Center and Office Complex	Create separate circulation routes for truck deliveries and customers. Access for deliveries shall be from the least traveled or impacted street. Avoid when possible, large parking areas adjacent to the street.	Provide consistent design styles, details and palettes throughout the development including outlot buildings. Design outdoor retail sales areas, if allowed, to be complementary and integrated into the overall building design.	Screen or architecturally incorporate outdoor shopping cart storage into the design.	See "General Requirements for Building Design" Section 04-01.D. of this Article.	Provide outdoor gathering areas. Outdoor retail sales space must be shown and approved on the site plan if allowed.

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, P.E. *JAE*
Public Works Dir. / City Engineer

DATE: January 20, 2021

RE: Wilson Avenue Sidewalk

On November 5, 2020 the Planning and Public Works Committee directed City Staff to determine the cost and feasibility of constructing a missing section of sidewalk on the west side of Wilson Avenue north of Buchholz Mortuary. After investigating the matter, the Public Works Staff believes that in order to fill this sidewalk gap (approximately 70 feet) we would need to construct approximately 200 feet of sidewalk at a cost of \$48,000. As detailed in the attached memorandum from Senior Civil Engineer Jeff Paskiewicz, we have concerns regarding the sidewalk construction related to available right of way and downstream erosion. In order to ensure the work can occur within the existing public right of way we will need to obtain survey data, which is included in the cost above. Depending upon the survey, we may need to acquire temporary or permanent easements which would likely necessitate an additional cost. That said, it *appears* at this time that the project can be constructed within existing right of way.

The missing section of sidewalk was likely never constructed due to the existing storm water drainage path in that area. In order to accommodate the storm water drainage, we are proposing the construction of a “scupper” which will allow water to pass underneath the proposed sidewalk. Photos of existing scuppers are contained within the attached memorandum from Senior Civil Engineer Jeff Paskiewicz. Mr. Paskiewicz’s memo also details erosion concerns downstream from the proposed sidewalk. However, because we are not proposing a change to the drainage pattern nor increasing the amount of runoff, there are no plans to address the erosion problem (which is at least partially located in Clarkson Valley) unless directed by PPW or City Council.

If the Planning and Public Works Committee determines that this project should be constructed, it could proceed in one of two ways:

- 1) Direct Staff to include the sidewalk project in the 2022 Capital Projects Budget submittal. If this direction is chosen Staff will acquire the necessary survey data in 2021 using existing budgeted funds.
- 2) Approve a 2021 Budget Amendment in the Capital Projects Fund in the amount of \$48,000.

Should you have questions or require additional information, please contact me. Otherwise, I will prepare a short presentation, with photos, for the Planning and Public Works Committee.

Action Recommended

This matter should be forwarded to the Planning and Public Works Committee for consideration. Should the PPW Committee determine that the sidewalk gap should be filled, it should determine whether the project should be constructed in 2021 or 2022. If the project is to be constructed in 2021, the matter should be forwarded to the full City Council for authorization of a Budget Amendment in the amount of \$48,000. If the project is to be constructed in 2022, the PPW Committee should direct Public Works Staff to include this project in the 2022 Capital Projects Budget submittal.

Please forward to PPW for review and recommendation.

 **2021-1-20**

Memorandum

Department of Public Works



TO: James A. Eckrich, PE - Director of Public Works/City Engineer

FROM: Jeff Paskiewicz, PE – Senior Civil Engineer JSP

DATE: January 20, 2021

RE: Wilson Avenue Sidewalk Gap

Per direction from the Planning and Public Works Committee at the November 5, 2020 meeting, Staff was directed to look into the feasibility of constructing a 5 foot wide sidewalk along the western side of Wilson Avenue to complete a gap between Buchholz Mortuary and the Sea Beauty Farms subdivision.

The gap is primarily located along the frontage of 2153 Wilson Avenue which is located in Clarkson Valley. This is a 39.7 acre undeveloped tract of land.

The actual gap in sidewalk that currently exists is approximately 70 feet in length. There are sections of the existing sidewalk on both sides of the gap that would require replacement should new sidewalk be constructed to fill the gap. The total length of sidewalk necessary to fill in the gap and replace deficient sidewalk slabs equates to approximately 200 feet. Please see the attached photos of the existing sidewalk.

For Staff's analysis, the City's GIS information was utilized. While the GIS information depicts the property lines and aerial photos, they are not depicted to the accuracy level necessary to determine the exact location of ROW and extent of easements that may be needed. Please keep in mind that the easement needs discussed below, and estimates, are based on this information. In order to accurately determine property line locations, it would be necessary to hire a land surveyor to stake the existing property lines.

The area in which the gap exists contains a paved approach and asphalt drive that are remnants of the old Wilson Avenue alignment. The right of way was vacated in 2014 and there is currently an access easement over the drive that provides access rights to 2153 Wilson Avenue. The paved approach and a portion of the asphalt drive will require removal and replacement to facilitate construction of the sidewalk.

The gap in the sidewalk is located in topographic low point with approximately 1.09 acres tributary. A map of the storm water tributary area is attached. During a 15-year, 20 minute storm event this area would generate a flow of approximately 2.57

cubic feet per second. The flow is large enough that it would not be allowed to flow over the sidewalk and must be addressed by other means. Currently, storm water runoff flows overland and into a channel located on 2153 Wilson Avenue. The channel is incised and the banks are steep and unstable. Storm water runoff flows over the channel bank and has created a sizable head cut. The attached photos depict the existing drainage way conditions. Based on the current channel conditions, it is difficult to identify a clean starting and stopping point for stabilization of the existing banks. The erosion is something to consider as part of any sidewalk construction and options. It should be noted that the addition of the sidewalk would not change the drainage characteristics as storm water would still discharge to the same point.

Based on field observations, electric and communications are overhead along the west side of Wilson Avenue, but the Buchholz Mortuary plans indicated underground telephone through that same area. That same plan also indicates a gas line along the western edge of Wilson Avenue. GIS does not indicate water main in the area but there is a fire hydrant on the south side of the mortuary entrance. Utility locations would need to be more accurately determined as the proposed options for addressing storm water could have an effect.

As part of construction of a sidewalk, it will be necessary to remove areas of honey suckle and brush. Currently, no maintenance is required in this area, but after the existing honey suckle and brush is removed these areas would be sodded with turf grass that would require mowing. While these will not be large areas, this is something to note as it will need to be addressed.

The key aspect to completing the sidewalk gap will be properly addressing storm water runoff. Staff analyzed two options for addressing this. One option involves construction of an area inlet and a piped storm sewer and the other option is a concrete scupper. The concrete scupper would allow drainage under the sidewalk and then maintain the existing overland flow path. The scupper option carries with it less risk for utility conflicts as excavation for storm sewer pipe is not required. The storm sewer option would also require easements where the scupper option could be constructed entirely within ROW. When comparing the two options from an estimated cost perspective, the cost estimates are within a few thousand dollars of each other. The scupper option would not require MSD review and approval. With costs being close to equal, and the scupper option not requiring offsite easements or MSD approval and less chance for utility conflicts, the scupper option is the more favorable option. Concrete scuppers were utilized on the Pfizer Office/Laboratory project along the Olive Blvd. frontage and on the Schoettler Road Bridge project along the eastern side of Schoettler Road. Photos of the concrete scuppers along with the details are attached.

When considering the installation of a scupper, the condition of the existing channel erosion as discussed above can be approached in one of two ways.

Option 1 would maintain the existing separation between the edge of pavement and sidewalk which is approximately 15 feet. This option would also address the channel erosion located on private property which is associated with the drainage area for the sidewalk. It should be noted that by constructing the sidewalk the drainage

characteristics are not being altered and the City would not be obligated to address the current channel erosion. This is being included in the analysis should it be decided to address the channel erosion outside the ROW. In order to address the channel erosion, a rock blanket would be required between the downstream side of the scupper and the existing channel. It would be necessary to regrade a portion of the channel bank to provide a stable overland drainage path for storm water flows. In order to accomplish this, a permanent drainage easement along with temporary construction easements would be needed from 2153 Wilson Avenue. Easement acquisition can be a time consuming endeavor should the existing property owner not be willing to grant the necessary easements. With this option it would be necessary to contract with an engineering consultant for topographic survey, construction plans, and creation of easement documents.

Option 2 would shift the alignment of the sidewalk closer to the edge of pavement thereby decreasing the separation between the sidewalk and pavement from 15 feet to 5 feet. The area between the downstream side of the scupper and ROW line would be rock lined to decrease the erosive potential of the storm water runoff. Under this option, no improvements would be made outside the ROW. This option excludes any improvements to the existing channel conditions located on private property. This option eliminates having to acquire easements as, based on GIS data, all the work would be contained in the ROW. It would be necessary to hire a land surveyor to stake the existing property corners to verify locations. For this option Staff could compile general design documents from which the project could be constructed.

Detailed estimates for both scupper options are attached and a summary for each is listed below.

Option 1 - Scupper

Construction	\$50,317
Engineering	\$23,000
Easements	\$3,617
Contingency (15%)	\$11,540
Total	\$88,474

Option 2 - Scupper

Construction	\$36,125
Surveying	\$5,000
Contingency (15%)	\$6,169
Total	\$47,294

cc: Zach Wolff, Assistant City Engineer



Scupper at Pfizer Office/Laboratory Along Olive Blvd.



Scupper on East Side of Schoettler Road south of the Schoettler Road Bridge.



Eroded Banks of Existing Drainage way.



Top of Eroded Bank Showing Direction of Surface Flow.



Unstable Bank of Existing Drainage Way. Looking From Flow Line of Drainage Way.



Existing Sidewalk on Buchholz Mortuary.



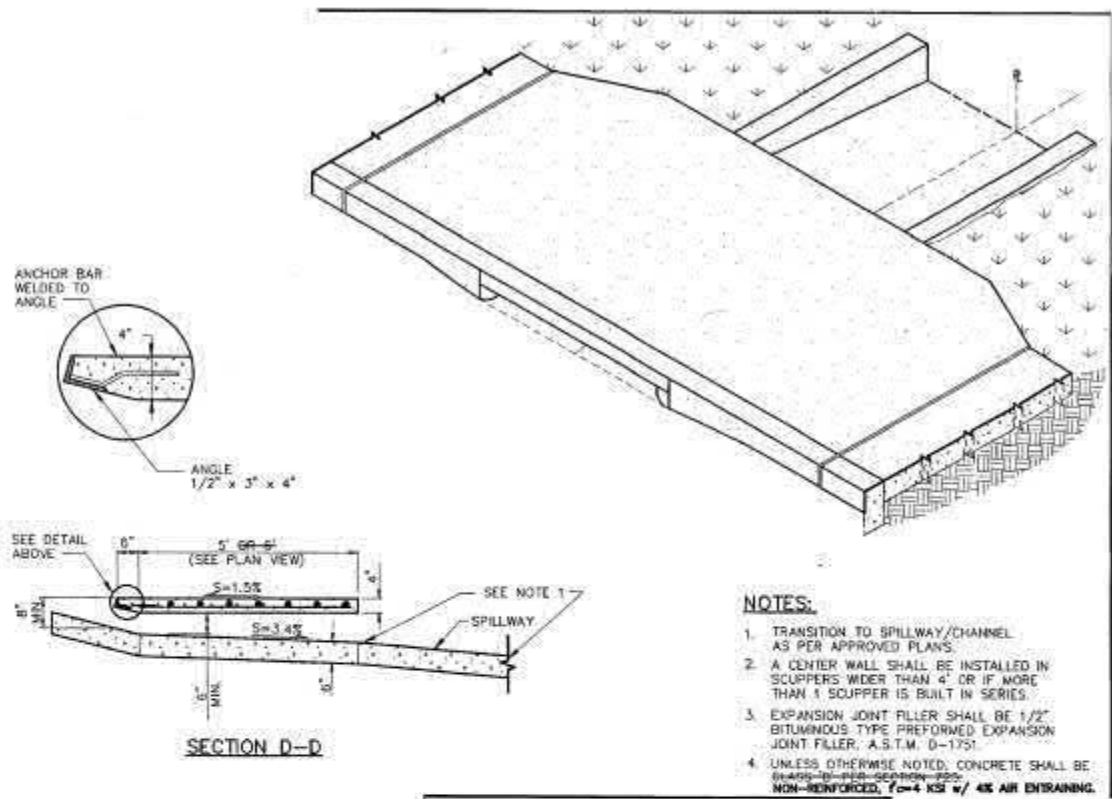
Existing Access Drive to 2153 Wilson Ave.



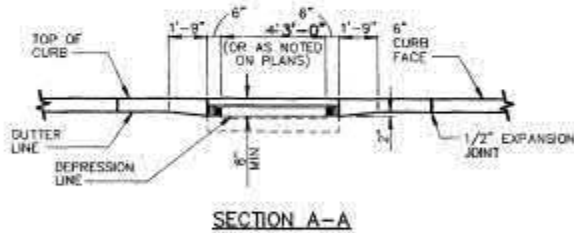
Existing Sidewalk Termination Point along Sea Beauty Farm.



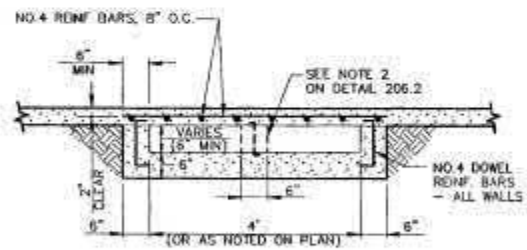
Concrete Approach and Existing Sidewalk Looking North From Buchholz Mortuary.



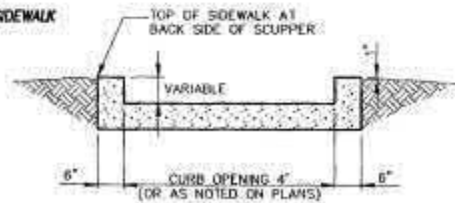
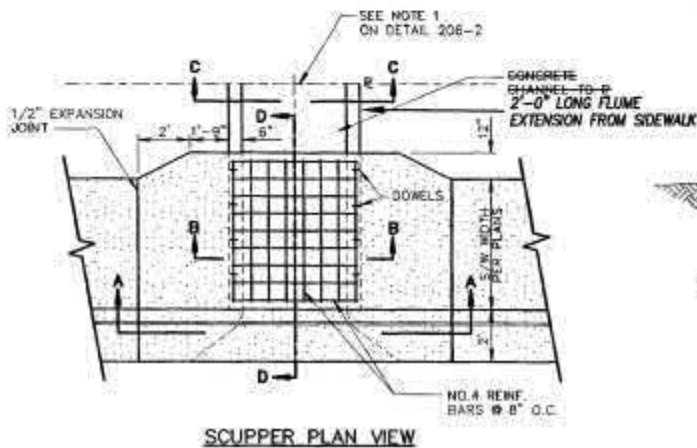
CONCRETE SCUPPER



SECTION A-A



SECTION B-B

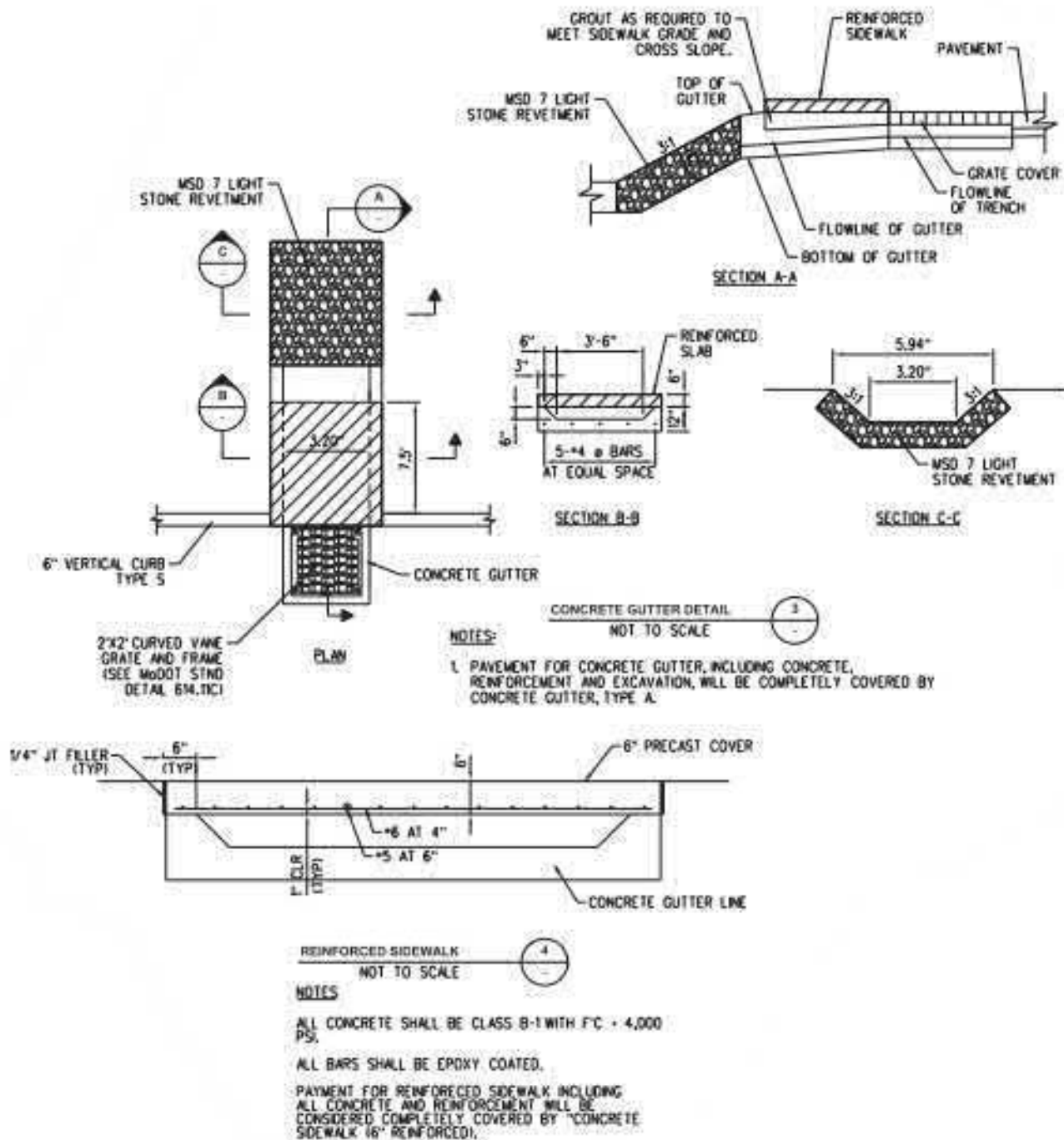


**SECTION C-C
SPILLWAY**

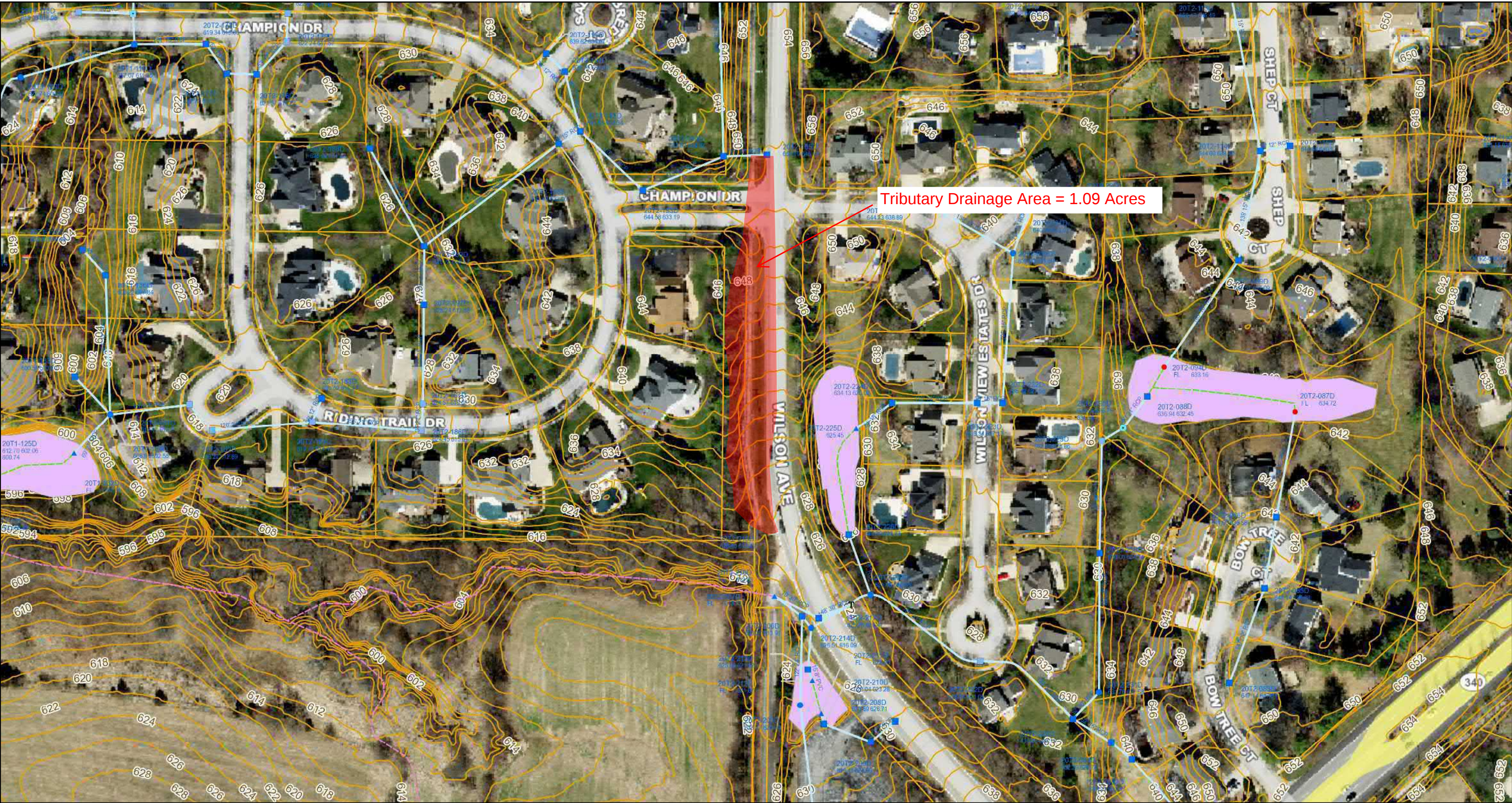
NOTE:

1. UNLESS OTHERWISE NOTED, CONCRETE SHALL BE CLASS "B" PER SECTION 725.

Scupper Detail from Pfizer Office/Laboratory Project



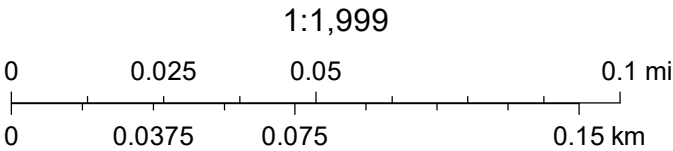
Scupper Detail from Schoettler Road Bridge Project



December 23, 2020

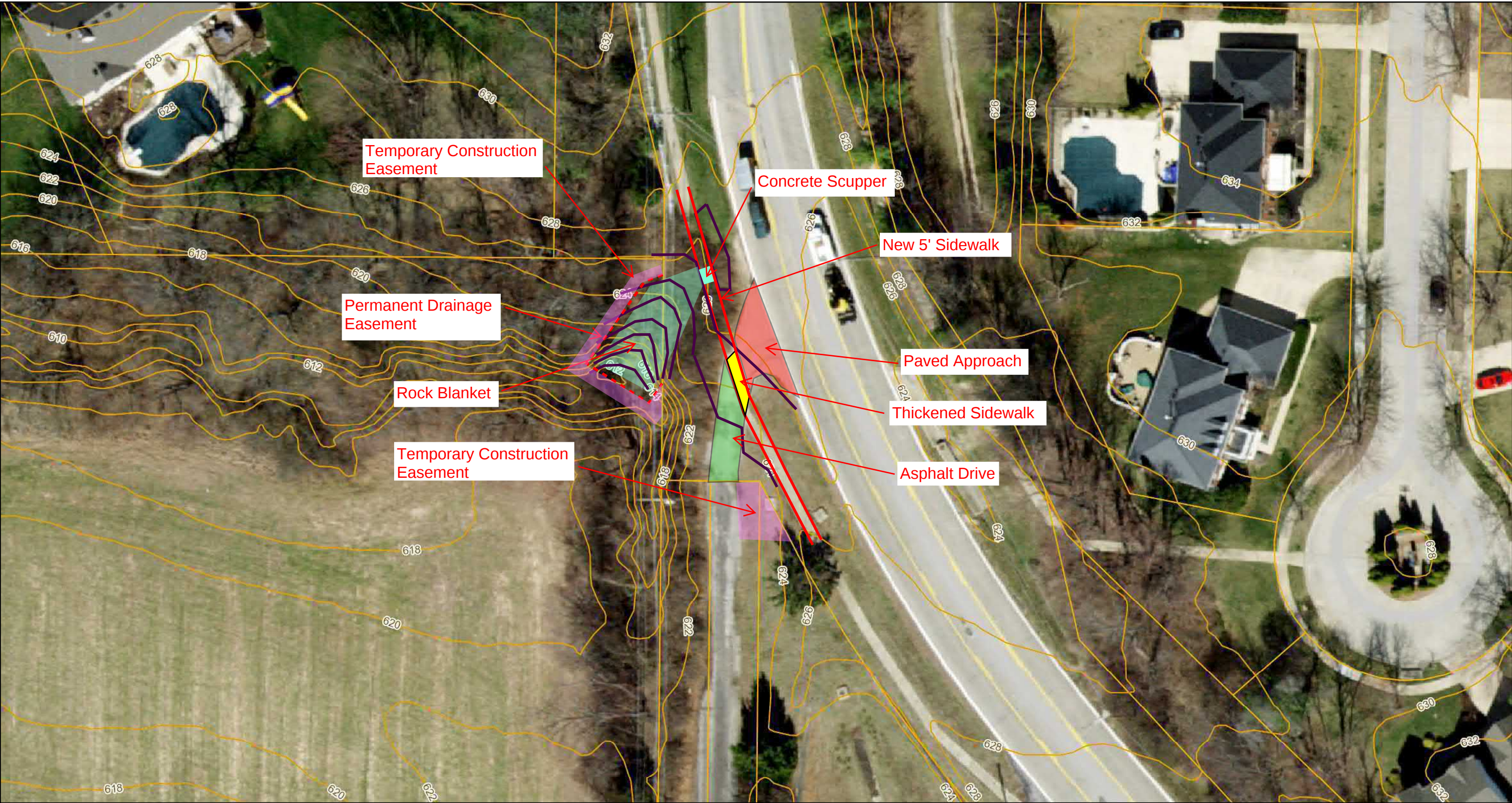
- Stormwater Network Junction
- Stormwater Inlet**
 - Double
 - Multiple
 - Single
- Stormwater Cleanout**
 - Cleanout
 - Stormwater Potential Sinkhole

Wilson Avenue Sidewalk Gap - Drainage Area Map



Esri., Inc., City of Chesterfield, Missouri

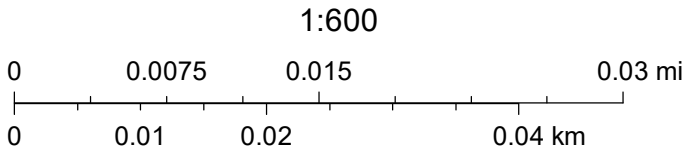
This Map has been prepared from the most reliable information obtainable. We cannot, however, due to circumstances beyond our control, guarantee complete accuracy. Any errors or omissions brought to our attention will be appreciated and will be corrected in subsequent updates.



December 22, 2020

- City 2ft, Valley 1ft
- Parcels
- Preliminary Parcels

Wilson Avenue Sidewalk Gap - Scupper, Option 1



Esri., Inc., City of Chesterfield, Missouri

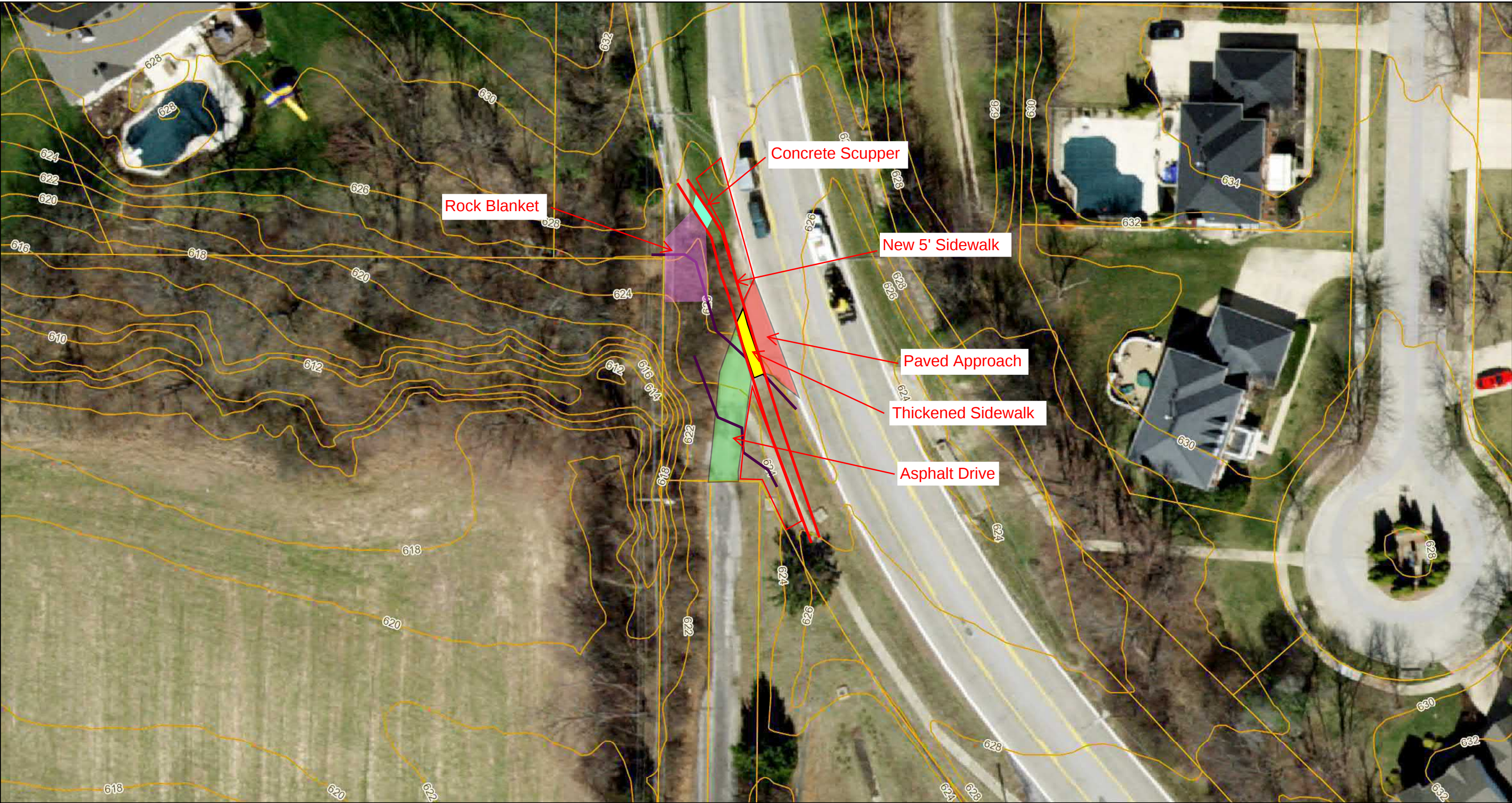
Wilson Avenue Sidewalk Gap (Sea Beauty/Buckholtz Mortuary)

Option 1 - Scupper Cost Estimate

Line Item					Unit Totals
	Quantity		Unit Price		
Earthwork	360	CY	\$ 25.00	CY	\$ 9,000.00
Concrete Scupper	1	EA	\$ 3,000.00	EA	\$ 3,000.00
Concrete Sidewalk (4" thick)	95	SY	\$ 45.00	SY	\$ 4,275.00
Concrete Sidewalk (6" thick)	17	SY	\$ 55.00	SY	\$ 935.00
4" Aggregate Base	221	SY	\$ 7.00	SY	\$ 1,547.00
8" Paved Concrete Approach	109	SY	\$ 70.00	SY	\$ 7,630.00
Asphalt Drive (6" Agg Base, 3" Type C)	92	SY	\$ 35.00	SY	\$ 3,220.00
Rock Blanket (6-8" Gabion Stone)	250	SY	\$ 55.00	SY	\$ 13,750.00
Geo-Grid for Rock Blanket	250	SY	\$ 5.00	SY	\$ 1,250.00
Clearing	1	LS	\$ 900.00	LS	\$ 900.00
Removals	1	LS	\$ 1,500.00	LS	\$ 1,500.00
Sodding	330	SY	\$ 7.00	SY	\$ 2,310.00
Seed and Straw	200	SY	\$ 5.00	SY	\$ 1,000.00

Construction = \$ 50,317.00
Engineering Consultant = \$ 23,000.00
Easement Acquisition = \$ 3,616.80
Subtotal = \$ 76,933.80
15% Contingency = \$ 11,540.07

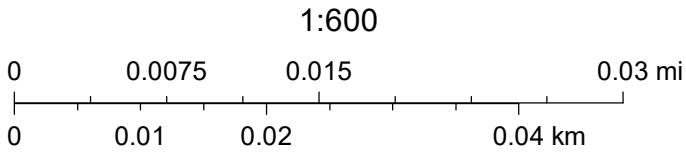
TOTAL = \$88,473.87



December 22, 2020

- City 2ft, Valley 1ft
- Parcels
- Preliminary Parcels

Wilson Avenue Sidewalk Gap - Scupper, Option 2



Esri, Inc., City of Chesterfield, Missouri

Wilson Avenue Sidewalk Gap (Sea Beauty/Buckholtz Mortuary)

Option 2 - Scupper Cost Estimate

Line Item					Unit Totals
	Quantity		Unit Price		
Earthwork	100	CY	\$ 25.00	CY	\$ 2,500.00
Concrete Scupper	1	EA	\$ 4,500.00	EA	\$ 4,500.00
Concrete Sidewalk (4" thick)	95	SY	\$ 45.00	SY	\$ 4,275.00
Concrete Sidewalk (6" thick)	17	SY	\$ 55.00	SY	\$ 935.00
4" Aggregate Base	221	SY	\$ 7.00	SY	\$ 1,547.00
8" Paved Concrete Approach	109	SY	\$ 70.00	SY	\$ 7,630.00
Asphalt Drive (6" Agg Base, 3" Type C)	92	SY	\$ 35.00	SY	\$ 3,220.00
Rock Blanket (6-8" Gabion Stone)	105	SY	\$ 50.00	SY	\$ 5,250.00
Geo-Grid for Rock Blanket	105	SY	\$ 5.00	SY	\$ 525.00
Clearing	1	LS	\$ 900.00	LS	\$ 900.00
Removals	1	LS	\$ 1,500.00	LS	\$ 1,500.00
Sodding	424	SY	\$ 7.00	SY	\$ 2,968.00
Seed and Straw	75	SY	\$ 5.00	SY	\$ 375.00

Construction = \$ 36,125.00
Land Surveyor = \$ 5,000.00
Easement Acquisition = \$ -
Subtotal = \$ 41,125.00
15% Contingency = \$ 6,168.75

TOTAL = \$47,293.75

Memorandum

Department of Planning

To: Michael O. Geisel

From: Justin Wyse, Director of Planning

Date: February 16, 2021

JW



RE: **P.Z. 09-2020 Total Access Urgent Care (13426 Olive Blvd)**: A request for a change in zoning from a “C-8” Planned Commercial District to a “PC” Planned Commercial District for a 3.19 acre tract of land located south of Olive Boulevard, east of North Woods Mill Road (16Q330911).

Summary

Total Access Urgent Care, LLC has submitted a request for a zoning map amendment from the “C-8” Planned Commercial District to the “PC” Planned Commercial District. This request is to allow for the development of an urgent care facility. The applicant is requesting one use (medical office), a maximum building height of 30 ft, and limited hours of operation from 8AM – 8PM CST.

A Public Hearing was held on December 14, 2020, and there were two issues raised by the Planning Commission pertaining to this petition: 1) The proposed right-of-way setback of 10’ and 2) the proposed landscape buffer of 10’.

On January 25, 2021 this petition was next brought before the Planning Commission. The applicant revised their request to reflect a right-of-way setback of 20’ and a landscape buffer of 20’. Planning Commission made a motion to approve PZ 09-2020 Total Access Urgent Care (13426 Olive Blvd) as presented in the Draft Attachment A, with a 30’ right-of-way setback and landscape buffer. Planning Commission also amended the motion to allow for a larger gross floor area of 6,680 sf. This motion passed by a vote of 9-0.

On February 4th, 2021 this petition was next brought before the Planning & Public Works Committee. The Planning & Public Works Committee recommended approval by a vote of 4-0, with an amendment proposing that the maximum allowable area for window signs shall be in accordance with § 405.04.050(F)(8)(c) of the Unified Development Code. No Sign Package request may be submitted for an increase to the maximum amount per § 405.04.050(F)(8)(c) of the Unified Development Code.

Attached to this report please find a copy of staff’s Planning Commission Report, draft Attachment A, applicant’s narrative statement, Preliminary Development Plan, and Out Boundary Survey.

Attachments: Legislation
Green Sheet
Attachment A

Preliminary Development Plan



Figure 1: Subject Site Aerial

AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN EXISTING “C-8” PLANNED COMMERCIAL DISTRICT TO A “PC” PLANNED COMMERCIAL DISTRICT FOR A 3.19 ACRE TRACT OF LAND LOCATED SOUTH OF OLIVE BOULEVARD, EAST OF NORTH WOODS MILL ROAD (P.Z. 09-2020 TOTAL ACCESS URGENT CARE [13426 OLIVE BLVD] 16Q330911).

WHEREAS, the petitioner, Total Access Urgent Care, LLC, has requested a zoning map amendment from the current C8 - Planned Commercial District to a PC – Planned Commercial District for a 3.19 acre tract of land south of Olive Blvd., east of its intersection with North Woods Mill Rd; and,

WHEREAS, a Public Hearing was held before the Planning Commission on December 14, 2020; and,

WHEREAS, the Planning Commission having considered said request, recommended approval of the request with one amendment by a vote of 9-0; and

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the request with one amendment by a vote of 4-0; and,

WHEREAS, the City Council, having considered said request, voted to approve the change of zoning request.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a “PC” Planned Commercial District designation for a 3.19 acre tract located south of Olive Blvd., east of its intersection with North Woods Mill Rd and as described as follows:

A tract of land being part of U.S. Survey No. 367, Township 46 North, Range 5 East of the 5th P.M., City of Chesterfield, St. Louis County, Missouri to wit:

Beginning at a set iron rod at the Northeast Corner of Condominium Plat 4 of The Pines, recorded in Plat Book 280, Pages 72 and 73 of the St. Louis County Recorder of Deeds Office; thence along the north line of said Plat 4 S80°49’53”W 275.56 ft. to a set iron rod on the east line of Continental Subdivision, recorded in Plat Book 154, Page 53 of said recorder’s office; thence leaving said line along said east line and the northerly projection thereof N09°-48’-03”W 504.03 ft. to a found iron rod in the south right of way line of Olive Boulevard; thence leaving said line along said south right of way line N81°-01’-19”E 275.57 ft. to a found iron rod; thence leaving said line S09°48’-03”E 503.11 ft. to the point of beginning, containing 3.19 acres.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the “Attachment A” and the Preliminary Development Plan indicated as “Attachment B” which is attached hereto as and made part of.

Section 3. The City Council, pursuant to the petition filed by Total Access Urgent Care, LLC in P.Z. 09-2020, requesting the rezoning embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 14th day of December 2020, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

Section 5. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2021.

PRESIDING OFFICER

Bob Nation, MAYOR

ATTEST:

Vickie McGownd, CITY CLERK

FIRST READING HELD: 02/16/2021

GREEN SHEET AMENDMENT

The Planning and Public Works Committee recommended that the following change be made to the Attachment A by a vote of 4-0:

AMENDMENT 1:

Section I. Specific Criteria, F. Sign Requirements. Add the following language:

2. The maximum amount permissible area for window signs shall forever be as defined in § 405.04.050(F)(8)(c) of the Unified Development Code. No Sign Package request may be submitted for an increase to the maximum amount on window sign area per § 405.04.050(F)(8)(c) of the Unified Development Code.

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

1. The use allowed in this "PC" Planned Commercial District shall be Office, Medical.
2. Hours of Operation.
 - a. Hours of operation for this "PC" District shall be from 8:00 AM to 8:00 PM.
3. Telecommunication siting permits may be issued for wireless telecommunications facilities per the requirements of the City Code.

B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

1. Floor Area
 - a. Total building floor area shall not exceed 6,680 square feet.
2. Height
 - a. The maximum height of the building, exclusive of roof screening, shall not exceed 30 feet.
3. Building Requirements
 - a. A minimum of thirty-five percent (35%) openspace is required for this development.
 - b. This development shall have a maximum F.A.R. of 0.55.

C. SETBACKS

1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, playground, or flag poles will be located within the following setbacks:

- a. Thirty (30) feet from the right-of-way of Olive Boulevard on the northern boundary of this “PC” District.
 - b. Thirty-five (35) feet from the eastern boundary of this “PC” District.
 - c. Thirty-five (35) feet from the southern boundary of this “PC” District.
 - d. Thirty-five (35) feet from the western boundary of this “PC” District.
2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Thirty (30) feet from the right-of-way of Olive Boulevard on the northern boundary of this “PC” District.
- b. Ten (10) feet from the eastern boundary of this “PC” District.
- c. Twenty-five (25) feet from the southern boundary of this “PC” District.
- d. Ten (10) feet from the western boundary of this “PC” District.

D. PARKING AND LOADING REQUIREMENTS

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. No construction related parking shall be permitted within right-of-way or on any existing roadways. All construction related parking shall be confined to the development.
3. Parking lots shall not be used as streets.

E. LANDSCAPE AND TREE REQUIREMENTS

The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

F. SIGN REQUIREMENTS

1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the planned district. Sign Packages shall adhere to the City Code and are reviewed and approved by the City of Chesterfield Planning Commission.

2. The maximum amount permissible for window signs shall forever be as defined in § 405.04.050(F)(8)(c) of the Unified Development Code. No Sign Package request may be submitted for an increase to the maximum amount per § 405.04.050(F)(8)(c) of the Unified Development Code.
3. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Highways and Traffic (or MoDOT), for sight distance considerations prior to installation or construction.
4. Prior to approval of the Site Development Plan, confirmation that the existing non-conforming pole sign will be removed is required.

G. LIGHT REQUIREMENTS

Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

H. ARCHITECTURAL

1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.
2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

I. ACCESS/ACCESS MANAGEMENT

1. Access to the development shall be as shown on the Preliminary Site Plan and adequate sight distance shall be provided, as directed by the City of Chesterfield, the Missouri Department of Transportation and St. Louis County Department of Transportation, as applicable.
2. If adequate sight distance cannot be provided at the access location(s), acquisition of right-of-way, reconstruction of pavement and other off-site improvements may be required to provide the required sight distance as required by the City of Chesterfield and the agency in control of the right of way off which the access is proposed.
3. Provide cross access to adjoining properties as required by the City of Chesterfield.

J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the agency in control of the right of way off which the entrance is constructed. No gate installation will be permitted on public right-of-way.
2. Provide a 5 foot wide sidewalk, conforming to ADA standards, along the Olive Boulevard frontage of the site. The sidewalk shall be coordinated with the Missouri Department of Transportation Project J6S3255 which is planned along the MO 340 corridor. The sidewalk may be located within Missouri Department of Transportation right-of-way, if permitted by that agency, or on private property within an easement dedicating the sidewalk for public use and identifying the property owner as the responsible party for maintenance of the sidewalk.
3. Obtain approvals from the City of Chesterfield and the Missouri Department of Transportation as necessary for locations of proposed curb cuts and access points, areas of new dedication, and roadway improvements.
4. Additional right-of-way and road improvements shall be provided, as required by the Missouri Department of Transportation and the City of Chesterfield.

K. TRAFFIC STUDY

1. Provide a traffic study as directed by the City of Chesterfield and/or the Missouri Department of Transportation. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.
2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto Olive Boulevard. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Missouri Department of Transportation.

L. POWER OF REVIEW

The development shall adhere to the Power of Review Requirements of the City of Chesterfield Code.

M. STORM WATER

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential development or issuance of building permits exceeding sixty percent (60%) of approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on the Site Development Plan(s).
3. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.
4. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
5. The lowest opening of all structures shall be set at least two (2) feet higher than the one hundred (100) year high water elevation in detention/retention facilities. All structures shall be set at least 30 feet horizontally from the limits of the one hundred (100) year high water.
6. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield and the Metropolitan Saint Louis Sewer District.

N. SANITARY SEWER

Sanitary sewers shall be as approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.

O. GEOTECHNICAL REPORT

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Services. The report shall verify the suitability of grading and proposed improvements

with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

P. MISCELLANEOUS

1. All utilities will be installed underground.
2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.
3. Prior to record plat approval, the developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the out boundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the United States Public Land Survey Corners, as necessary.
4. Any retaining walls along public right of way shall be private and remain private forever and shall be located such that it is not necessary to support any public improvements.
5. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.
6. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and the Missouri Department of Transportation. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.

II. GENERAL CRITERIA

A. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.
4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.
8. A note indicating signage approval is a separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.

16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

III. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

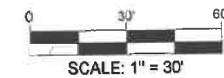
IV. ENFORCEMENT

- A.** The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B.** Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C.** Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the

City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.

- D.** Waiver of Notice of Violation per the City of Chesterfield Code.
- E.** This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

CITY OF CHESTERFIELD

PLANNED DISTRICT ORDINANCE
ATTACHMENT BPRELIMINARY
DEVELOPMENT PLAN

NOTES:

1. The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.

2. Bearing referenced to Grid North of the Missouri Coordinate System 1983, East Zone per GPS observations utilizing the MoDOT VRS RTK Network.

3. Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.

Bearing referenced to Grid North of the Missouri Coordinate System 1983, East Zone per GPS observations utilizing the MoDOT VRS RTK Network.

Temporary Benchmark No. 1 - Found Iron Rod at the northwest corner of the site
EL=534.49'

Temporary Benchmark No. 2 - Found Iron Rod at the northeast corner of the site
EL=532.63'

4. This site scales within Zone "X", areas determined to be outside of the 0.2% annual chance floodplain as per Federal Emergency Management Agency Flood Insurance Rate Map, Panel No. 186 of 445, Map No. 29189C0186K, effective date February 4th, 2015.

5. All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.

6. Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.

7. Contractor shall refer to architectural plans for exact locations, dimensions and material types of downspouts, roof drains, and utility services into the building.

8. The Contractor is responsible for keeping stormwater run-off and sedimentation under control during construction.

9. All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractors expense.

10. The sitework for this project shall meet applicable AHJ specifications, permit requirements, and manufacturer specifications.

11. The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.

12. All new parking lot lighting poles and fixtures with lamps and paint will be provided by the Owner and installed by the Electrical Contractor. The Electrical Contractor shall provide the Owner a one-year warranty certificate. All incurred costs for receiving, storage, liability, and warranty labor shall be included in the installation and contract price. Refer to architectural plans for site lighting conduit routing.

13. All dimensions are to the face of curb and all radii are to the back of curb, unless otherwise shown.

14. Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drains, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.

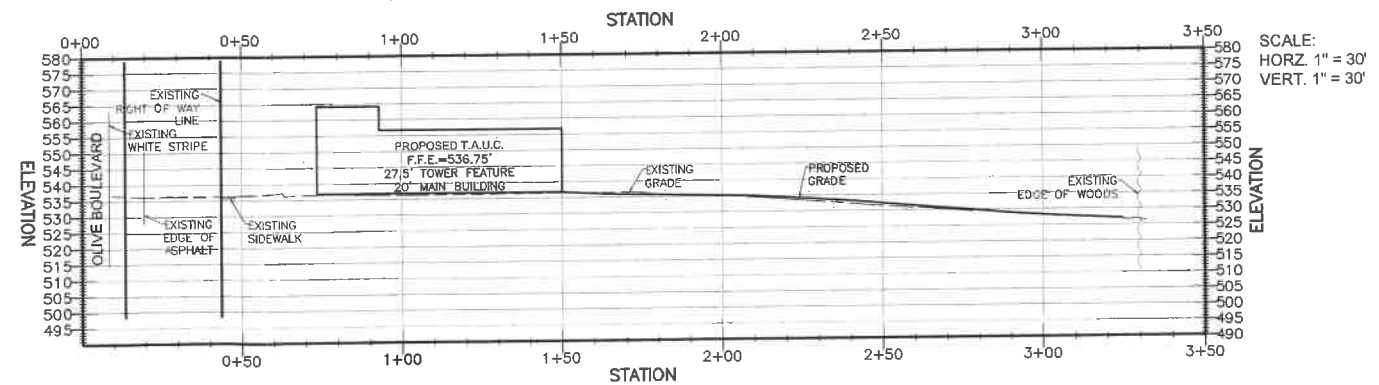
15. Sidewalks and designated walkways are to be accessible. Passenger loading and landing areas are to be 2% maximum grade in any direction. Outside of the loading and landing areas, longitudinal running slopes are to be a maximum of 5% grade with a maximum of a 2% running slope. Ramps are to be a maximum of 1:12 slope with a maximum of 6" rise.

SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
FIBER OPTIC LINE	—FO—	—FO—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	=====	=====
PROPERTY LINE	=====	=====
CHAINLINK FENCE	—○—	—○—
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	●	○
WATER VALVE	•	•
FIRE HYDRANT	+	•
CATCH BASIN/AREA INLET	■	■
JUNCTION BOX	●	○
GRATED INLET	■	■
CLEANOUT	•	•

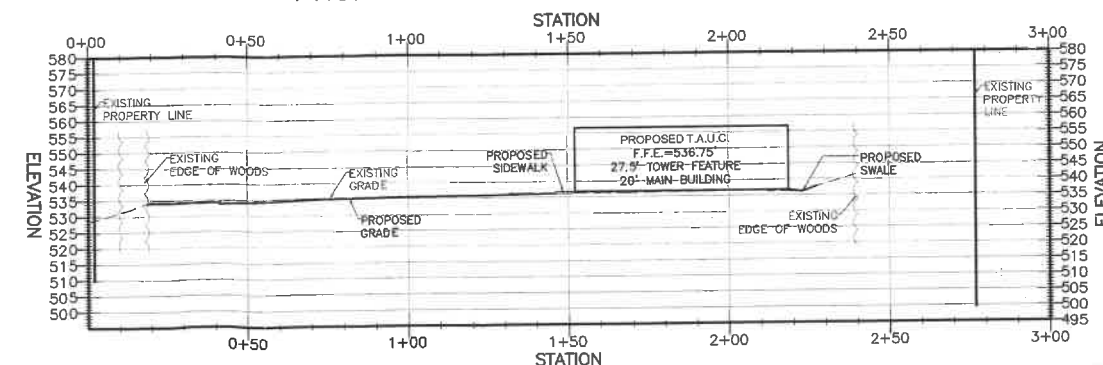
PARKING DATA	
PROPOSED MEDICAL OFFICE	5,080 G.F.A.
CITY REQUIRED PARKING MEDICAL OFFICE:	
4.0 SPACES FOR EACH 1,000 G.F.A. MINIMUM = 20 SPACES	
5.0 SPACES FOR EACH 1,000 G.F.A. MAXIMUM = 25 SPACES	
TOTAL PARKING PROVIDED: 23 SPACES (INCLUDING 2 H.C. SPACES)	
REQUIRED:	
9' WIDE X 18' DEEP, 90° SPACE WITH 22' WIDE DRIVES	
PROVIDED:	
9' WIDE X 18' DEEP, 90° SPACE WITH 24' WIDE DRIVES	

SITE DATA	
CURRENT ZONING: "C-8" PLANNED COMMERCIAL	
PROPOSED ZONING: "PC" PLANNED COMMERCIAL	
PROPOSED USE: MEDICAL OFFICE	
PROPOSED BUILDING SETBACKS:	
30 FEET FROM THE NORTHERN BOUNDARY OF THIS PC DISTRICT (SOUTH RIGHT OF WAY LINE OF OLIVE BOULEVARD)	
35 FEET FROM THE EASTERN BOUNDARY OF THIS PC DISTRICT	
35 FEET FROM THE SOUTHERN BOUNDARY OF THIS PC DISTRICT	
35 FEET FROM THE WESTERN BOUNDARY OF THIS PC DISTRICT	
PROPOSED PARKING SETBACKS:	
30 FEET FROM THE NORTHERN BOUNDARY OF THIS PC DISTRICT (SOUTH RIGHT OF WAY LINE OF OLIVE BOULEVARD)	
10 FEET FROM THE EASTERN BOUNDARY OF THIS PC DISTRICT	
25 FEET FROM THE SOUTHERN BOUNDARY OF THIS PC DISTRICT	
10 FEET FROM THE WESTERN BOUNDARY OF THIS PC DISTRICT	
ESTIMATED TREE CANOPY ON PROPERTY: 63,910 S.F.	
MAXIMUM BUILDING HEIGHT: 30 FEET	

PROFILE VIEW OF SITE ALIGNMENT



PROFILE VIEW OF SITE B ALIGNMENT



Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or DSHA approved state-plan regulations established for the type of construction required by these plans.

M.S.D. #20MSD-xxxxx
BASE MAP #16Q

Owner/Developer
TAUC PROPERTIES, LLC
13861 Manchester Road
Ballwin, MO 63011
(314) 961-2255

Owner's Representative
John Schebaum, P.E.
for BFA, Inc.
103 Elm Street,
Washington, Mo 63090
(636) 231-4337

REVISIONS

NO.	REVISION	DATE	BY	APP.
1				
2				
3				
4				

OLIVE BOULEVARD

ASPHALT P.W.T. 84' WIDE
40 M.P.H.

N80°28'30"E 275.00'(R)

290'± TO
N. WOODS MILL RD.

EXISTING
WHITE STRIPE

R.O.W. TAKING
BK. 8853, PG. 1200

R.O.W. TAKING
BK. 8853, PG. 1200

EXISTING GRATED INLET

EXISTING
UTILITY POLE
W/GUY WIRE

N81°01'11"E 275.57'(M)

EXISTING
CONCRETE
SIDEWALK

EXISTING
UTILITY POLE
W/GUY WIRE

EXISTING BRICK WALL

EXISTING
WOODED
AREA

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See Bill No. 3339

Memorandum

Department of Public Works



TO: Michael O. Geisel, PE
City Administrator

cc: James A. Eckrich, PE
Director of Public Works / City Engineer

Justin Wyse, AICP, PTP
Director of Planning

FROM: Steven J. Merk, PE *SM*
Civil Engineer

DATE: January 29, 2021

RE: Public Street Acceptance
The Arbors at Wilmas Farm – Plats 1 and 2

*Please forward to
PPW for review &
recommendation
JMK
1/29/2021*

Public Works staff recently conducted inspections of The Arbors at Wilmas Farm subdivision. As part of these inspections we have determined that the following streets meet the City of Chesterfield's design and construction standards for acceptance as a public street:

- | | |
|--------------------------|--|
| (1) Wilmas Farm Drive: | Approximately 2,340 feet; from
Wild Horse Creek Road to Cul-de-Sac |
| (2) Wilmas Hollow Drive: | Approximately 965 feet; from
Wilmas Farm Drive to Deep Forest Drive |
| (2) Wilmas Valley Court: | Approximately 1,200 feet; from
Wilmas Farm Drive to Cul-de-Sac |

A draft ordinance and a map showing the location of the above referenced streets are attached. Please let me know if you have questions or need additional information.

Action Recommended

I recommend forwarding the acceptance of the above-referenced streets and associated sidewalks to the Planning and Public Works Committee for its consideration. If the Planning and Public Works Committee recommends approval, the matter should be forwarded to City Council for consideration.

BILL NO. 3339

ORDINANCE NO. _____

AN ORDINANCE PERTAINING TO THE ACCEPTANCE OF WILMAS FARM DRIVE, WILMAS HOLLOW DRIVE, AND WILMAS VALLEY COURT AS PUBLIC STREETS IN THE CITY OF CHESTERFIELD

WHEREAS, the City of Chesterfield has approved the construction of Wilmas Farm Drive, Wilmas Hollow Drive, and Wilmas Valley Court; and

WHEREAS, the streets were intended to be public streets and were therefore constructed to the design standards of the Department of Public Works of the City of Chesterfield.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, AS FOLLOWS:

Section 1. The following streets are hereby accepted by the City of Chesterfield for future care and maintenance:

- | | |
|--------------------------|--|
| (1) Wilmas Farm Drive: | Approximately 2,340 feet; from
Wild Horse Creek Road to Cul-de-Sac
Book 364, Page 572-575 |
| (2) Wilmas Hollow Drive: | Approximately 965 feet; from
Wilmas Farm Drive to Deep Forest Drive
Book 364, Page 576-577 |
| (2) Wilmas Valley Court: | Approximately 1,200 feet; from
Wilmas Farm Drive to Cul-de-Sac
Book 364, Page 572-575 |

Section 2. This Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2020.

PRESIDING OFFICER

MAYOR

ATTEST:

CITY CLERK

FIRST READING HELD: <u>02/16/2021</u>
--

Public Street Acceptance - Arbors at Wilmas Farm Subdivision



FINANCE AND ADMINISTRATION COMMITTEE

Chair: Councilmember McGuinness

Vice-Chair: Councilmember Moore

There are no Finance and Administration Committee action items scheduled on the agenda for this meeting.

NEXT MEETING

The next meeting of the Finance and Administration Committee has not yet been scheduled.

If you have any questions or require additional information, please contact Finance Director Jeannette Kelly or me prior to Tuesday's meeting.

PARKS, RECREATION AND ARTS COMMITTEE

Chair: Councilmember Ohley

Vice Chair: Councilmember Moore

Eberwein Park Trail – The Parks, Recreation and Arts Committee recommended approval of a multi-year plan to design and rehabilitate the entire trail system in Eberwein Park. The first phase will involve contracting for engineering design and surveying services for the entire project. After the design is completed, it is anticipated that the project would be broken down into four phases to be constructed over four years. The design services contract is estimated to cost \$70,000 and staff recommends a supplemental 2021 allocation of \$70,000 from the General Fund – Fund Reserves. **(Roll Call Vote) Parks, Recreation and Arts Committee recommends approval**

NEXT MEETING

The next meeting of the Parks, Recreation and Arts Committee has not yet been scheduled.

If you have any questions or require additional information, please contact Parks, Recreation and Arts Director Thomas McCarthy or me prior to Tuesday's meeting.

Memorandum



To: Mike Geisel, City Administrator
From: Tom McCarthy 
Director of Parks, Recreation & Arts
Date: 2/9/2021
Re: Eberwein Park Trail Update

As you are aware we had a guest presenter at our last Parks, Recreations & Arts Committee of Council meeting on February 2, 2021. Mr. Eckrich, Director of Public Works, presented the update on the Eberwein Trail project. There was ample discussion on the condition of the trail, how it has failed over the years, what led to this situation and most importantly, what are the recommendations for repairing the trail and getting it back open and usable to our residents. In the end a motion was made by Councilmember Moore to accept the recommendation that was presented by Mr. Eckrich for a three-phase approach for the repair of the trail at Eberwein Park over three years starting with the initial allocation of \$70,000 for the preliminary design to be awarded to Horner & Shifrin Inc. Councilmember McGuinness seconded the motion. There being no further discussion the motion was passed by a voice vote of 4-0.

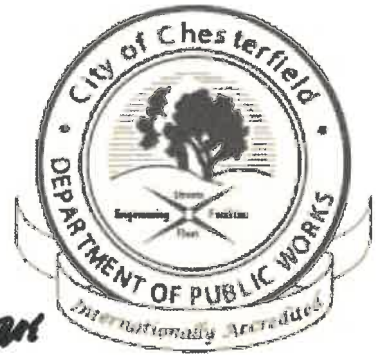
I would like to move this forward to the full Council for the February 16th meeting if this meets with your approval.

Attachments

1. Draft Minutes from the meeting on February 2, 2021
2. Eberwein Park Trails Update Memo

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, Public Works Director
Tom McCarthy, Parks Director

DATE: January 14, 2021

RE: Eberwein Park Trails

As you know, in 2011 the City of Chesterfield constructed improvements to Eberwein Park using a matching Municipal Parks Grant. These improvements included a dog park and aggregate trail system. The dog park has been a great addition to the City and is very popular with dogs and residents. An average of 410 dogs use the dog park each year.





The City of Chesterfield also constructed its first Community Garden at Eberwein park. The Community Garden was created in 2012 and is an exceptional amenity containing 53 plots.



Granny watching over the Eberwein Community Garden



An inside look at the Eberwein Garden

Other amenities in Eberwein Park include:

- A pond enhancement area with an educational signage component that explains pond life and creatures that benefit from the pond.
- A dock over-looking the pond.
- The original barn from the Eberwein Family Farmstead.
- Shuffle board courts.
- A native prairie that was developed in cooperation with the Missouri Department of Conservation.
- Pollinator gardens.
- A large open space for play, picnics and other activities.

While the improvements to Eberwein Park have been very popular, the aggregate trails have experienced a myriad of problems beginning with their original construction, primarily associated with erosion. The trail erosion has been investigated by several members of the Parks and Public Works Staff, and numerous substantial attempts have been made to correct the erosion. These have ranged from adding rock, grading swales, installing storm water collection facilities, and recompacting the trail itself. These corrective actions have been successful for short periods, but the erosion has inevitably returned. Unfortunately, the rain event in August of 2020 resulted in significant erosion throughout the park and the trail being closed in multiple locations.





Eastern loop east side of trail along Baxter Rd.



Western loop on northwest portion of trail



Western loop southwest side of trail



Western loop west side of the dog park



After reviewing the matter at length, we have concluded that there is simply no way to stop the trail erosion without redesigning the trails. The existing trails were constructed at too steep of a grade for a rock trail, with insufficient consideration for storm water drainage. The City could continue to clean up after every large storm event, remove piles of displaced rock, and recompact the trail. However, this is not the best use of City resources and will result in resident frustration as the trails are closed after every large rain event.

After the August 2020 rain event caused the closure of the trails, the City contracted with Horner and Shifrin to investigate the trail erosion and determine how the City could correct the trails. This has resulted in the attached Eberwein Park Erosion Conceptual Planning Report (Report). Within the Report Horner and Shifrin effectively details the problems of the existing trails and provides conceptual solutions for repairing the trail system, including costs.

After reviewing the Report and consulting with Horner and Shifrin, we believe the best way to proceed would be to re-route the trails in Eberwein Park, as described in Concept 2. This involves the complete reconstruction of the south loop by tying the current trail leading from the parking lot into a concrete sidewalk along Old Baxter Road. That sidewalk would then tie into a new trail system which would connect to a

reconfigured north loop. The new trail will be constructed with proper cross slope and drainage ditches to minimize the chances of future erosion. The preferred alignment is contained within Appendix A of the Report as Concept 2. The estimated cost of the proposed solution is \$850,000, including a twenty percent contingency.

The City Staff simply cannot make a recommendation at this time to allocate and spend \$850,000 for trails in Eberwein Park. That said, the existing condition is not acceptable and something should be done to address the closed trails, which are not only an eye-sore but dangerous to those residents who ignore the signage.

After careful consideration and debating the matter at length, the Parks Director and Public Works Director recommend that the City proceed incrementally to improve Eberwein Park. The first recommended action is to allocate \$70,000 for surveying and design services. This will allow the creation of plans, specifications, and a construction estimate for the trail improvements. Our recommendation is to allocate this funding as soon as practical so that a Request for Qualifications (RFQ) can be issued for design services. Once a design consultant is selected and a contract negotiated it will be brought to City Council for approval. If approved by Council, plans could be completed by the end of 2021.

If this course of action is approved, Parks Staff will begin Phase 1 of the remediation by removing deteriorated sections of trail. This will NOT impact the dog park, which can continue to be accessed from the Eberwein Park parking lot. However, the rest of the trail system within Eberwein Park will be mostly unusable. Then, beginning in 2022, City staff will plan to initiate a three-year project to reconstruct the Eberwein Park trail system by budgeting approximately \$200,000 per year. The work will proceed as follows:

2022) Phase 2: Reconstruction of the north loop. The loop will be rerouted from west of the dog area to east of the dog area. The MSD required water quality features will be corrected or re-designed as necessary.

2023) Phase 3: Construction of a new path / sidewalk along Old Baxter Road from the Eberwein Park parking lot to Baxter Road.

2024) Phase 4: Connection of a new path connecting the path / sidewalk constructed in 2023 to the north loop constructed in 2022.

If approved, the above-described course of action would result in a new and improved trail system within Eberwein Park. While it would be preferable to make these improvements within one bid package constructed as soon as possible, we believe this course of action is economically feasible. It will allow us to make as many improvements as possible using in-house labor and plan for a \$200,000 expenditure annually, likely from the Capital Projects Fund.

Should you have questions or need additional information, please let me know.

Action Recommended

It is our recommendation that the City of Chesterfield completely reconstruct and re-route the trail system in Eberwein Park over four years (2021-2024). This will necessitate a supplemental 2021 allocation of \$70,000 from the General Fund – Fund Reserves. If approved, Staff would begin by requesting proposals for design services, which could likely be completed in 2021. Concurrently, Parks Staff would begin removing the failed sections of trail. Trail improvements would then be budgeted at approximately \$200,000 per year over a three-year period.

This matter should be considered by the Parks, Recreation, and Arts Committee of City Council. If the Committee concurs with staff's recommendation it should vote to move the matter forward to City Council. If the Committee desires an alternate course of action it should advise Staff of such.

Please forward to Parks, Recreation and Arts Committee for review and direction.

A handwritten signature in black ink, appearing to read "M. J. Teis".

2021-1-26

EBERWEIN TRAIL EROSION CONCEPTUAL PLANNING REPORT

1627 Old Baxter Road
Chesterfield, MO 63017

H&S Project No. 2021400

Prepared for:

City of Chesterfield, MO
690 West Chesterfield Parkway
Chesterfield, MO 63017



Prepared by:

April M. Giesmann, PE, CFM
E-2001004592

Horner & Shifrin, Inc.
101 Laura K Drive, Suite 101
O'Fallon, MO 63366
636-439-2393

December 15, 2020
Revised January 12, 2021



**City of Chesterfield
Conceptual Planning Report
Eberwein Trail Erosion**

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Appendices:

A – Conceptual Plans

B – Cost Estimates

C – Trail Material Product Information



CERTIFICATION

I hereby certify, as a Professional Engineer in the state of Missouri, that the information in the document was assembled under my direct personal charge. This report is not intended or represented to be suitable for reuse by the City of Chesterfield or other without specific verification or adaptation by the Engineer. This certification is made in accordance with the provisions of the laws and rules of the state of Missouri under Missouri Administrative Code.

 APRIL M. GIESMANN, PE, CFM (E-2001004592) Date: January 12, 2021	City of chesterfield 690 West Chesterfield Parkway Chesterfield, Missouri 63017
	Horner & Shifrin, Inc. 101 Laura K Drive, Suite 400 O'Fallon, Missouri 63366 Phone: 636.439.2393 www.hornershifrin.com
	Date Prepared: January 12, 2021 Addendum Date:



1. EXECUTIVE SUMMARY

The City of Chesterfield contracted Horner & Shifrin, Inc. (H&S) to provide professional engineering services for evaluation and recommendation of erosion solutions for the existing gravel trail at Eberwein Park, located at 1627 Old Baxter Road in Chesterfield, Missouri. The trail has washed away during large rain events, and the City has provided barricades across portions of the existing trail to keep residents from using the park facilities. H&S was contracted to provide an analysis of the conditions and recommendations for improvements to restore the park trail that will minimize future erosion.

A summary of the conceptual recommendations as shown on the plans included in Appendix A and presented in this Conceptual Planning Report include:

- a. Improvements to the trail surface to lessen the chance for future erosion with the gravel replacement system in the alternative path locations,
- b. Construction of 10-foot-wide sidewalks along Old Baxter Road,
- c. Removal of portions of the existing trail system at high slope areas,
- d. Grading to provide drainage swales,
- e. Addition of storm sewer infrastructure to collect and convey the surface runoff before it can cause erosion of the trail, and
- f. Remediation of two existing bioretention basins damaged by erosion.

2. PROJECT OVERVIEW

a. PROJECT LOCATION

The City of Chesterfield is located in western St. Louis County, Missouri. Eberwein Park, an 18.6-acre City of Chesterfield-owned park, is situated at the northeast quadrant of Clarkson Road and Baxter Road, south of Highway 40/Interstate 64 and southeast of the Missouri River. See project site area on Figure 1 and Figure 2.

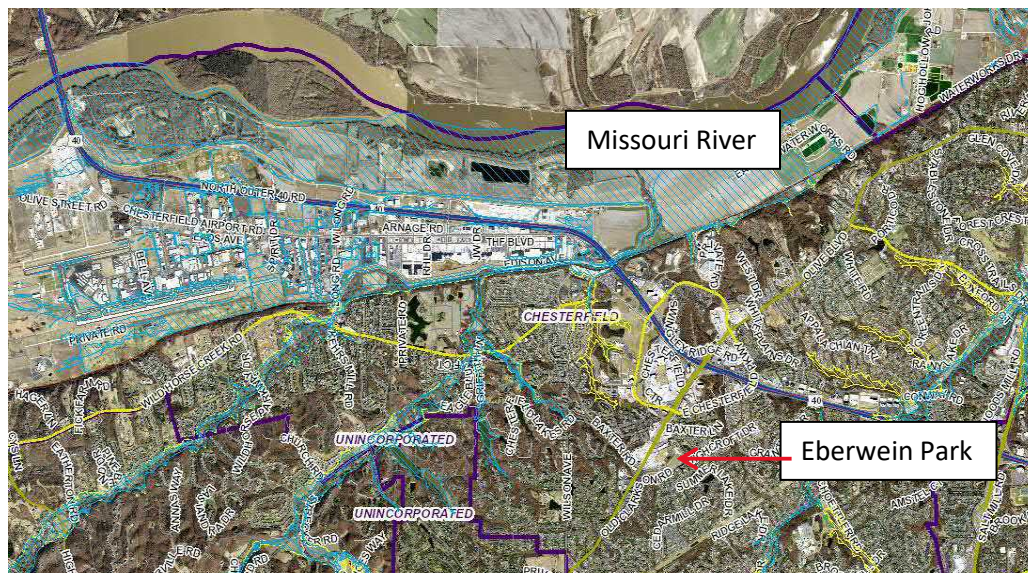


Figure 1 – Eberwein Park Location in Chesterfield, Missouri



Figure 2 – Eberwein Park near Clarkson Road and Baxter Road

Eberwein Park is adjacent to commercial properties on the north and west property lines of the park. Residential properties are adjacent to the park across Old Baxter Road to the northeast. Residents from these neighborhoods walk their dogs at the park. The park also has a parking lot accessible from Old Baxter Road for visitors arriving by vehicle.

b. PROJECT DESCRIPTION

The gravel trail at Eberwein Park is frequently used by pedestrians and their canine companions. There is a fenced Dog Park with benches and grass play areas. The approximately 12-foot-wide gravel trail system within the park is created by two 0.4-mile loops that cut the park in half – one on the north and one on the south. Between the two loops is a less than half-acre pond with a small dock, and an approximately 5-foot-wide dirt and mulch trail connects the two larger gravel trails on the west side of the pond. There is also a community garden between the two trail loops. The park is maintained by City of Chesterfield Parks and Recreation staff.

Stormwater generally flows from east to west across the park property at grades often exceeding 10 percent. Drainage channels are not common on either side of the existing ditch, and in some locations the trail becomes the drainage channel because the ground on both sides of the trail is higher. Four (4) bioretention basins are located on the west edge of the property, collecting stormwater from the northern



gravel loop trail. Stormwater from approximately half of the southern trail and a smaller portion of the northern trail drains to the pond between the trail loops.

c. PURPOSE OF PROJECT

The City has determined the trail is too hazardous to allow residents to use because of erosion and large ruts created by stormwater. City staff has attempted to stop the erosion by filling in the ruts with larger stones, adding geofabric, and regrading portions of the trail and surrounding grass area. This has not stopped the erosion. Therefore, the City has requested recommendations for trail improvements that may include grading, stormwater mitigation, changes in trail surfacing, and rerouting of the trail in an attempt to repair current erosion concerns and prevent future erosion potential.

The purpose of this Conceptual Planning Report is to identify and compare conceptual solutions for discussion with the City to meet their project needs. Conceptual designs also include conceptual level construction cost estimates to ensure the project will get properly funded in future City budget cycles.

3. SITE INVESTIGATIONS

In developing the Conceptual Planning Report, Horner & Shifrin, Inc. staff visited the site multiple times in September 2020 to observe the existing trail and surrounding improvements. Site notes are as follows:

1. The southern loop trail experiences substantial runoff from the grass area in the middle of the loop, and rutting is occurring on the southern side of the trail, and the rock material is washing downhill toward the pond. See Figure 3. City staff has tried to repair erosion by adding large stones along the trail.



Figure 3: North side of South Trail, facing west



Figure 4: West end of north leg of South Trail loop. Geofabric exposed after continued erosion.

2. An existing dirt and mulch path connects the North Trail and South Trail along the west side of an existing pond. Erosion does not seem to be a problem along the mulch trail; the trail is relatively high compared to surrounding grades, and minimal stormwater crosses the trail.
3. City staff has placed geofabric in rutted areas and placed larger stone in an attempt to minimize erosion. Erosion continues even after these efforts, as shown by the exposed geofabric material in Figure 4.



4. The stormwater generally flows from the southeast to the northwest of the South Trail loop. At the northwest corner, erosion of the trail is carrying the gravel material downhill toward the treed area that adjoins the commercial property to the west, as shown in Figure 5.
5. The City has installed storm sewer catch basins in several locations along both trails to try to prevent stormwater from running over the gravel trail.
6. A channel has been constructed along the western edge of the South Trail. The slopes of the trail are approximately 10 percent, and erosion is still occurring.
7. Significant erosion is occurring on both sides of the southern leg of the South Trail, as well as within the trail itself, as shown in Figure 7.



Figure 5 – Washout at the northwest corner of the Southern Trail



Figure 6 – South Trail, from the northwest corner, facing south. Baxter Road is on the right of the photo.



Figure 7 – South leg of South Trail, from the southwest corner, facing east. Old Baxter Road is on the right of the photo.

8. Both the North Trail and the South Trail have been barricaded to prevent pedestrians from using the trails where significant erosion has occurred.
9. The locations of the trail where there are significant adjacent ditches appear to have lessened erosion, although erosion also occurs where ditches are present. The erosion caused in these locations is likely because of the slope of the trail, not stormwater running across the trail.



10. Stormwater from the dog park drains to the southern leg of the North Trail. Ditches are not located along the northern side of the southern leg. Significant erosion is occurring along the entire south leg of the North Trail adjacent to the fenced dog park area.
11. The North Trail turns to the north and is relatively flat. Approximately 200 linear feet of this western leg of the North Trail is also higher ground than on both sides – there is a significant drop to the commercial property to the west, and there are bioretention basins at a lower elevation to the east. Therefore, this stretch of the North Trail has very little evidence of erosion. Toward the north end of this western leg, the slope increases and erosion is evident again. The bioretention basins on both sides of this northwest corner of the North Trail are filling with gravel from the trail, as shown in Figures 8 and 9.



Figure 8 – Bioretention basin as northwest corner of the North Trail, from western leg, facing north.



Figure 9 – Bioretention basin on the inside of the loop, between the fenced dog park and North Trail, from the western leg, facing southwest.

12. From the northwest corner of the property, the North Trail turns to the east and again increases in elevation to the east. Stormwater from the commercial property to the north discharges toward the trail, and the slope of the trail provides a drainage path along the southern (inside) side of the north leg. This is an area where both sides of the trail are higher than the trail and the trail appears to be the drainage channel, as shown in Figure 10.



Figure 10 – North leg of the North Trail, from western end, facing east.

13. From the top of the hill, the slope of the trail flattens out as the trail approaches the east end of the property; however, erosion still occurs because stormwater is discharging from higher ground across the trail. This area, too, appears to be a low spot between higher ground on either side of the trail, making the trail the drainage path. See Figures 11 and 12.



Figure 11 – Northeast corner of the North Trail, facing east, erosion occurring from stormwater draining from the north (left in photo).



Figure 12 – North leg of the North Trail, at eastern end near parking lot.

4. PERMITTING AND REGULATORY COORDINATION

Permitting and Regulatory requirements involve multiple agencies.

- 1) The park is owned by the City of Chesterfield. Therefore, no City permits will be required.
- 2) The Conceptual Improvements for this project will likely disturb more than one acre of the park. Therefore, a Land Disturbance Permit will be required by the Missouri Department of Natural Resources, and a Stormwater Pollution Prevention Plan (SWPPP) will be required.
- 3) The existing bioretention basins on site near the northern loop are permitted by MSD and must be maintained. Because one acre of land will be disturbed for this project, the Metropolitan St. Louis Sewer District (MSD) may require additional stormwater BMPs, such as an additional bioretention basin for work on the southern loop. Other BMPs can be considered, such as overland flow areas that must be maintained as buffer strips. MSD will require Maintenance Agreements and Reserved Areas for any BMPs required for the project. Additional stormwater review will be completed by MSD; however, all onsite stormwater inlets and pipes will be considered Private Under MSD Inspection (PUMI).

5. HYDRAULIC ANALYSIS

A hydraulic analysis has not been performed for this Conceptual Planning Report. A hydraulic analysis will be required for the drainage ditches proposed on both sides of the improved trail in the form of ditch calculations. Additional stormwater analysis will be necessary for inlet capacity and piped sewer capacity for areas where inlets and buried pipes are proposed.

6. IMPROVEMENT ALTERNATIVES

a. TRAIL MATERIAL

The City discussed providing options for different material for the trail. The Parks Department has added material and recompact the gravel, but the erosion continues. The City suggested hard surfaces, such as

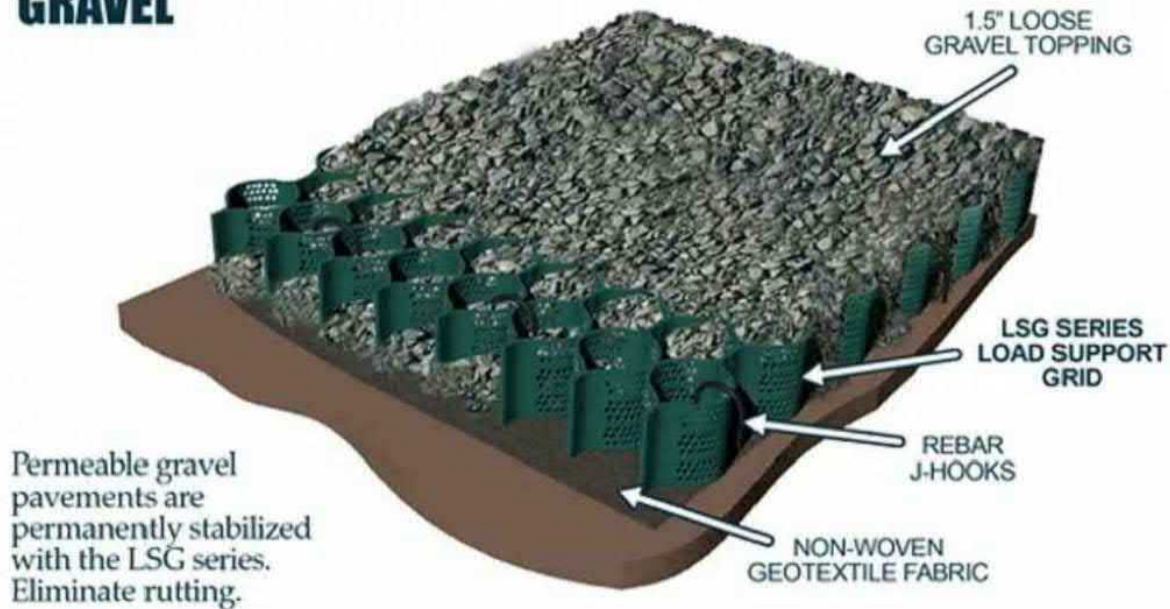


concrete and asphalt; but they were concerned about erosion occurring outside of the pavement footprint and also increased construction costs. Additionally, the use of asphalt would provide a very hot surface during the summer months and the City was concerned that residents with pets may complain. Therefore, H&S researched alternative materials for the trail that would be low-maintenance and easy on canine paws.

LSG Series

Cell-Tek Geosynthetics manufactures a product called Load Support Grid or “LSG Series” that is a cell configuration. The system confines materials and prevents lateral movement away from the applied load. The system prevents the lateral displacement of infill materials which eliminates rutting and wash-boarding usually associated with gravel pavements. Applications for this product include driveways, parking lots, access roads, trails/pathways, and more. The cells are laid over non-woven geotextile fabric, anchored into the ground, and then filled with loose gravel. This would provide a similar surface type and texture to what is currently in place at Eberwein Park, but it would provide stability for long-term use. The system can also have a binder included with the gravel material to prevent washout on steeper slopes. H&S obtained pricing of the Cell-Tek system to compare to more traditional sidewalk materials.

GRAVEL



Gravelpave²

Gravelpave² is a similar product to the Cell-Tek product and has a compressive strength higher than concrete. The product can support the weight of vehicles, but it is lightweight. Similar to LSG Series, the product comes in flexible rolls to allow for quick and easy installation. The Gravelpave² product literature states it cannot be used for areas where the grade exceeds 8%, as they have determined that the stone fill will migrate during storm events, requiring more maintenance effort by the owner. However, for steeper grades, using a binder in the Gravelpave² fill will prevent the stone from migrating. The binder most commonly used is Portland Cement, but other options are available. By thoroughly mixing the surface fill with a 10% mix of Portland Cement by volume, this will adhere the stone pieces to each other and will eliminate fill migration during a storm event.



The Grasspave² Advantages

- Design Flexibility
- High Compressive Strength (15,940psi)
- Easy, Quick Installation
- 92% Void Space
- All Weather
- Reduces CO₂ and Toxin Filtration
- Long Life Span (60+) Years
- Environmental Beautification



Traditional Concrete

Concrete sidewalk is an alternative for the rutted trails. Because of the steeper slopes in some areas of the trail, it is recommended to use dowels to tie the slabs together. Dowels would also help decrease settlement difference of slabs to avoid tripping hazards at displaced joints. The cost estimate provided in this report uses a 6-inch Portland Cement Concrete over a 4-inch rock base. The increase over 4-inch concrete pavement will provide more weight to keep the slabs in place, and also provide additional strength for maintenance vehicle traffic. The 4-inch rock base provides additional drainage for the pavement to prevent freeze-thaw and other movement of the pavement.

b. GRADING IMPROVEMENTS AND ADDITION OF DRAINAGE SWALES

Many locations of the trail are unintentionally being used as drainage paths, because the trail is the low-lying area between higher grassed areas. In order to decrease the chances of erosion for any type of trail surface, significant grading is recommended. The plans in Appendix A include two grading suggestions – swales and raising the trail. Raising the trail and creating drainage swales on both sides of the trail provide added protection against erosion. It moves the drainage path off of the trail surface. Raising the trail keeps the trail from being the low-lying area and creating drainage swales on both sides gives stormwater a preferred path.

The stormwater on the eastern fourth of the South Trail discharges to Old Baxter Road to the east. City personnel stated the residents on Old Baxter Road are concerned about additional runoff from the park discharging onto their property and adding more runoff to the lake in the common ground at 15600 Oak



Post Lane. In an attempt to lessen the runoff to the adjoining neighborhood, a swale is proposed to discharge that stormwater currently flowing to the east and direct it to the pond within Eberwein Park.

It is suggested to add rock lining or erosion control mats in the flat bottom ditches along the edges of the trail to prevent the erosion problem from moving to a different location.

c. STORM SEWER IMPROVEMENTS

City personnel have installed small catch basins and underground pipes in an attempt to collect stormwater before it can accumulate and cause erosion on the trail. Proposed conceptual stormwater measures would add more storm sewer structures with larger pipes to adequately collect and convey the stormwater from the drainage swales and other important locations where stormwater is collecting. These sewers would be private sewers and would not require any easements to be conveyed to MSD. See sewer locations on the Conceptual plans in Appendix A.

d. ALTERNATE PATH LOCATIONS

As an alternative solution to replacing the gravel paths in their current locations, much of the existing path network that is experiencing significant erosion may be removed from the trail network within the park. The northern loop may be truncated at the entrance to the dog park on the south side, and the trail west of the dog park entrance can be removed and vegetation reestablished. An alternate path can be constructed on the east side of the dog park connecting the northern leg with the southern leg, as shown in the Conceptual Plans in Appendix A.

The south loop may also be modified with the same intent. Much of the existing path can be removed, and a 10-foot-wide sidewalk can be constructed along the north side of Old Baxter Road that will connect to the existing 5-foot-wide sidewalk on the east side of the park and at the southwest corner of the park at Baxter Road, as shown on the Conceptual Plans in Appendix A. From that sidewalk, a replacement trail (constructed of any of the material options previously discussed) can be built on the west leg of the southern loop that would continue across the berm on the west side of the pond and connect to the northern loop near the dog park entrance. As with the northern loop, the remainder of the existing trail system can be removed and revegetated. This alternative will likely require small modular block retaining walls along the north side of the sidewalk, and may impact five of the six utility poles and overhead utility lines located along the north side of Old Baxter Road. Accessible ramps will be required at the intersection of Old Baxter Road and Highcroft Drive.

7. PRELIMINARY OPINION OF PROBABLE CONSTRUCTION COST

The reconstruction of the paths in their current location and in the alternate locations were evaluated based on probable construction costs. All alternatives include remediation of the existing bioretention basins that have been damaged due to erosion of granular and soil material washing into the basins at the west end of the northern trail loop. These basins will require maintenance to return them to their originally designed condition.

Grading quantities are approximate only because topographic survey has not been obtained. MSD topographic maps were used for a general idea of slopes and existing contours.



All estimates of probable construction costs include a 20% contingency and design services for boundary and topographic surveying, engineering, construction staking, construction inspections, and material testing were estimated for budgetary purposes. Those fees are as follows:

- Boundary and topographic survey of 18.5-acre park - \$10,000
- Engineering - \$55,000
- Construction Staking - \$5,000
- Construction Inspection and material testing - \$40,000

These budgetary items are based on assumptions made at this time and can be further defined upon design completion. They do not include items such as public utility relocations or easements. If the alternate path locations are chosen, which included the 10-foot-wide sidewalk along Old Baxter Road, a \$50,000 utility allowance should be included in the budget for potential power pole relocation in the event the utility company does not pay for the relocation outside of the existing right-of-way.

a. CURRENT PATH LOCATIONS

The opinion of probable construction cost to replace the existing trail with the Cell-Tek system or Gravelpave² system are very similar. Both products should include a binder material for steep grades. Probable costs for the trail improvements, grading modifications, and storm sewer improvements is \$699,000. This cost for either gravel replacement system assumes all new gravel will be placed, because the necessary grading will require the path to be higher. It may be possible for the gravel to be reused, but this is not assumed the case for this estimate.

The opinion of probable construction cost for the 6-inch-thick concrete sidewalks in its current location, including the above grading modifications and storm sewer improvements, is \$855,000.

b. ALTERNATE PATH LOCATIONS

Opinions of probable construction costs were also determined to reconstruct the trail along the alternate paths, which includes 10-foot-wide concrete sidewalks along Old Baxter Road for both gravel replacement options. To provide the 12-foot trail in the new locations with the Cell-Tek or Gravelpave² systems, construct a new path east of the dog park, connect the loops near the pond, and reestablish vegetation on locations of the existing trail to be removed, the probable construction cost is \$849,000.

The opinion of probable construction cost for the concrete sidewalks along Old Baxter Road and 12-foot-wide concrete trail connections in the alternate path locations, including construction of a new path east of the dog park, connection of the loops near the pond, and reestablishing vegetation at locations of the existing trail to be removed, is \$943,000.

Details of the cost estimates are included in Appendix B.

8. RECOMMENDED SOLUTION

The estimated probable construction costs for the provided alternatives vary by as much as \$244,000. The reconstruction of the gravel path in the current location is \$150,000 less expensive than providing the alternative alignment with the same gravel-stabilizing system. Replacing the entire trail system with



concrete is \$88,000 less than constructing concrete paths in the alternative locations and creating sidewalks along Old Baxter Road, eliminating a large portion of the existing loop paths.

Recreating the gravel trail in the same locations requires the trail to be raised and stormwater ditches to be created on both sides to reduce erosion of the trail. There is a chance that erosion may still happen along the edges of the stabilized gravel trail. Reducing the length of the trail will also reduce the potential for erosion in many of the steepest areas of the trail. Therefore, it is recommended to construct the alternative location for the trail, utilizing 10-foot-wide sidewalks along the public right-of-way, and reconstruct portions of the existing trail with the gravel stabilizing products presented herein.

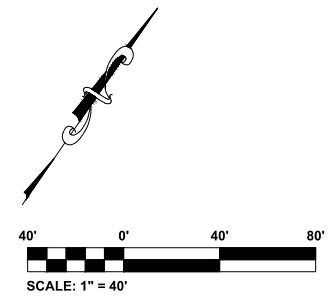
The recommendations for improvements as shown on the plans included in Appendix A and presented in this Conceptual Planning Report include:

- a. Improvements to the trail surface to lessen the chance for future erosion with the gravel replacement system in the alternative path locations,
- b. Construction of 10-foot-wide sidewalks along Old Baxter Road,
- c. Removal of portions of the existing trail system at high slope areas,
- d. Grading to provide drainage swales,
- e. Addition of storm sewer infrastructure to collect and convey the surface runoff before it can cause erosion of the trail, and
- f. Remediation of two existing bioretention basins damaged by erosion.

The anticipated probable construction cost of these improvements is \$849,000, which includes surveying, engineering, and construction inspection services. This cost also assumes a \$50,000 utility relocation allowance for potential relocation of the utility poles on the north side of Old Baxter Road.

APPENDIX A

CONCEPTUAL PLANS



OPERATOR: MNHENNEBERRY

MSD BASEMAP · 19S

C1.01

SOUTH TRAIL CONCEPT 1

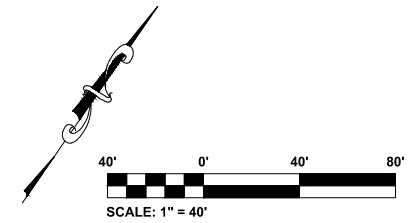


Name: APRIL M. GIESMANN
Discipline: CIVIL ENGINEER
License No. E-2001004592
Expiration Date: 12-31-2021

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REVISION

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MSD BASEMAP: 19S
MSD PROJECT #:

DATE: 01.12.2021

DESIGNED: JMU/AMG
DRAWN: MNH
CHECKED: AMG

JOB NO. 2021400

SHEET 2 OF 6

C1.02



101 LAURA K DRIVE, STE. 101 OTTAWA, MO 63366-3991
DISCIPLINE: PROFESSIONAL ENGINEERING
CERTIFICATE OF AUTHORITY: 000159
EXPIRATION DATE: DECEMBER 31, 2019

PRELIMINARY
NOT FOR CONSTRUCTION

Name: APRIL M. GIESMANN
License No.: E-200104502
Expiration Date: 12-31-2021

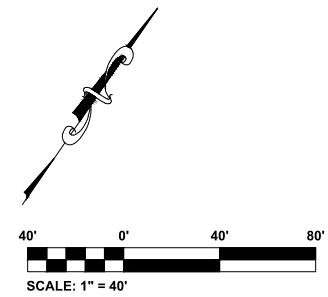
CITY OF CHESTERFIELD
EBERWEIN PARK TRAIL RECONSTRUCTION
1627 OLD BAXTER ROAD, CHESTERFIELD, MO, 63017

NORTH TRAIL CONCEPT 1

REVISION

DATE

NO.



OPERATOR: MNHENNEBERRY

MATCHLINE (SEE SHEET C2.02)

OLD BAXTER RD.

OLD BAXTER ROAD

MSD BASEMAP: 19S

C2.01

SOUTH TRAIL CONCEPT 2

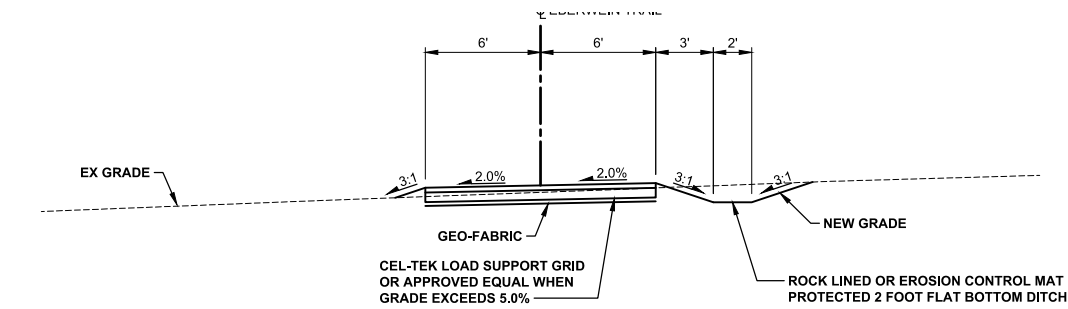
101 LAURA K DRIVE, STE. 101 OFALLON, MO 63366-3991
636-329-9298 • FAX 844-339-2910 • WWW.HORNERSHFRIN.COM
DISCIPLINE: PROFESSIONAL ENGINEERING
CERTIFICATE OF AUTHORITY: 000159
EXPIRATION DATE: DECEMBER 31, 2019

Name: APRIL M. GIESMANN
Discipline: CIVIL ENGINEER
License No. E-2001004592
Expiration Date: 12-31-2021

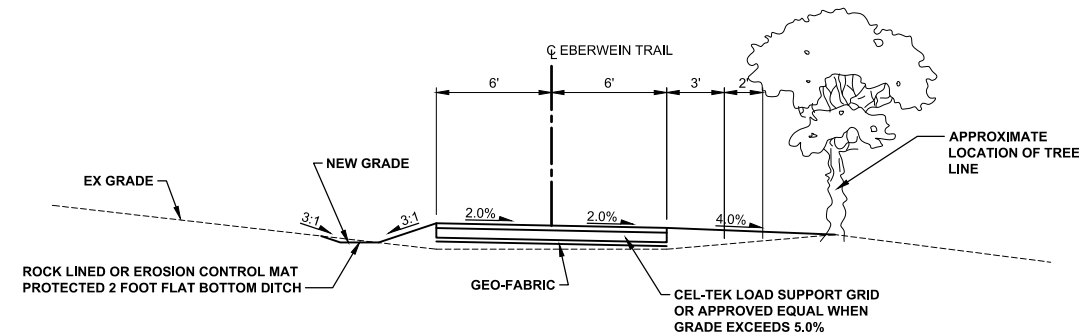
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DATE _____

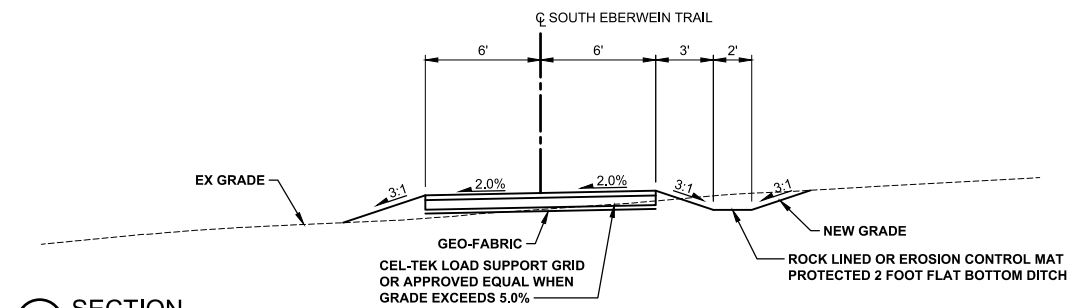
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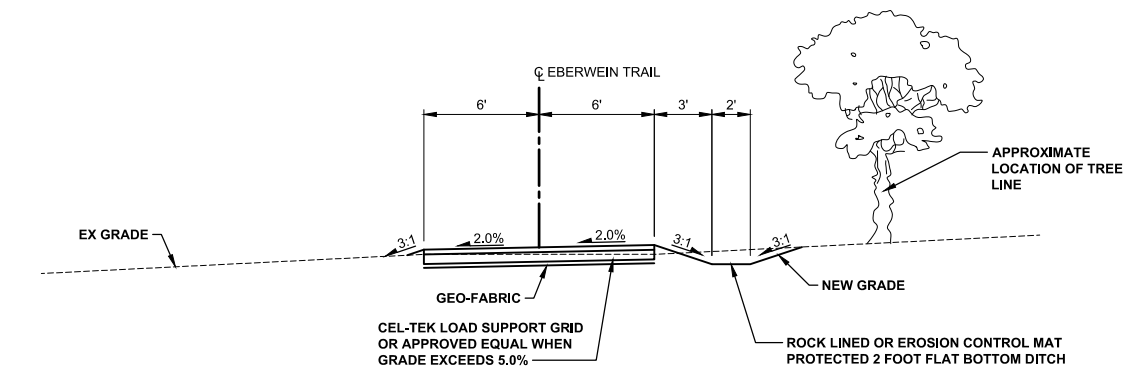
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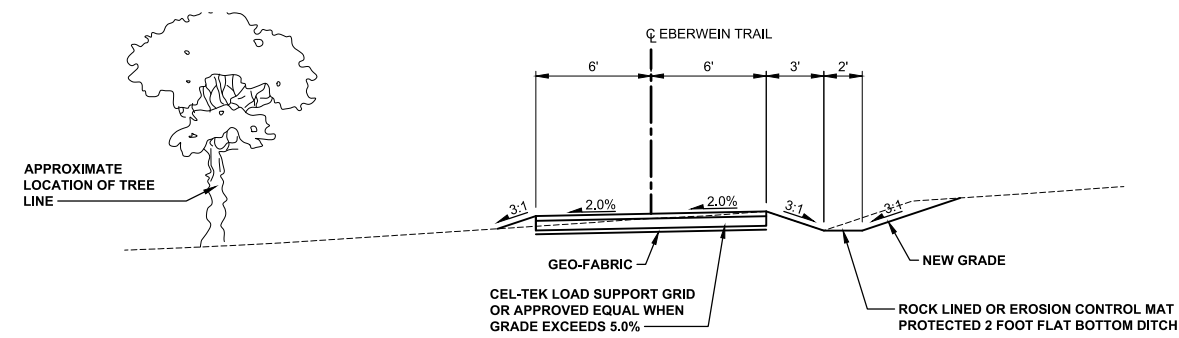
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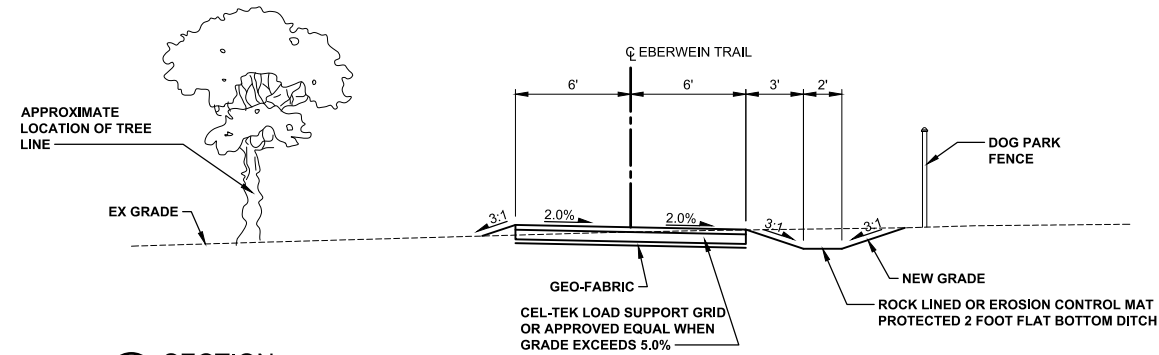
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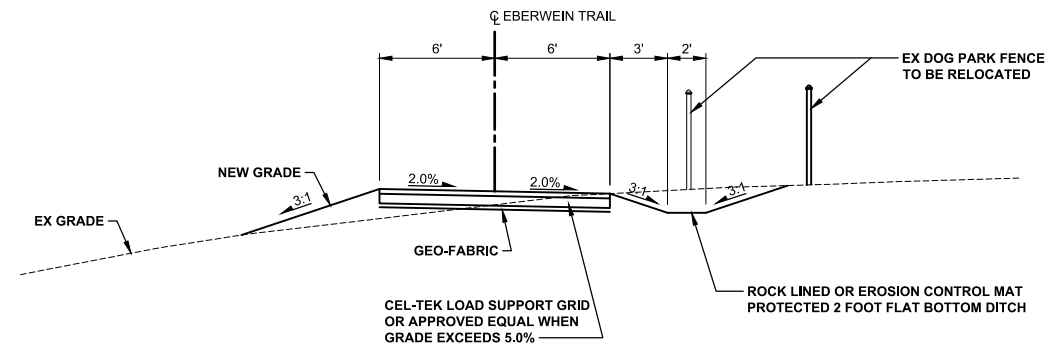
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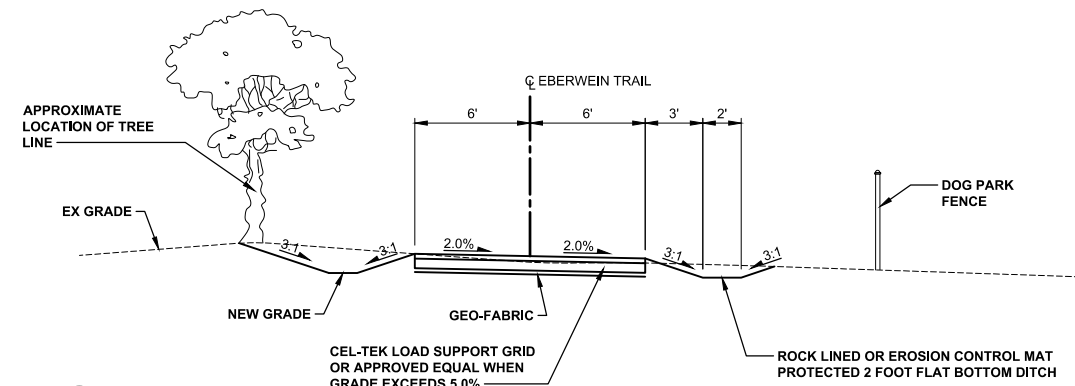
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6 SECTION
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7 SECTION
SCALE: N.T.S.



8 SECTION
SCALE: N.T.S.

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PRELIMINARY
NOT FOR CONSTRUCTION

**HORNER
SHIFRIN**

101 LAURA K DRIVE, STE. 101 OTTAWA, MO 63366-3981
3636-328-9286 • FAX 644-339-2510 • WWW.HORNERSHIFRIN.COM

DISCIPLINE: PROFESSIONAL ENGINEERING
CERTIFICATE OF AUTHORITY: 000189
EXPIRATION DATE: DECEMBER 31, 2019

CITY OF CHESTERFIELD
EBERWEIN PARK TRAIL RECONSTRUCTION
1627 OLD BAXTER ROAD, CHESTERFIELD, MO, 63017

TYPICAL SECTIONS

TYPICAL SECTIONS

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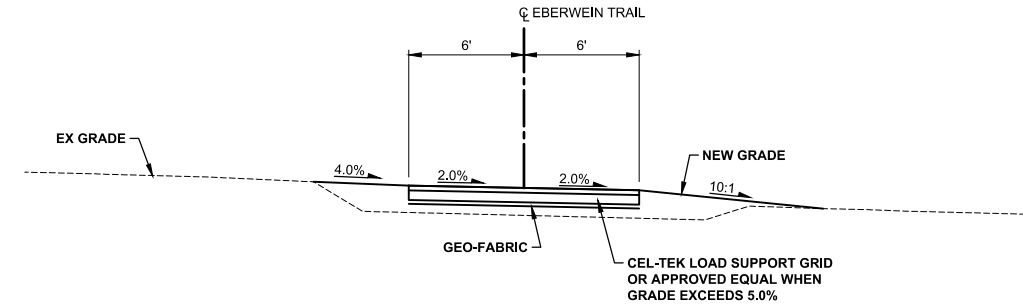
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DESIGNED: JMU/AMG
DRAWN: MNH
CHECKED: AMG

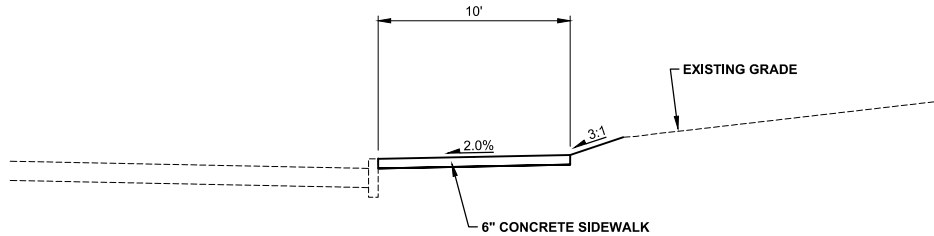
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SHEET 5 OF 6

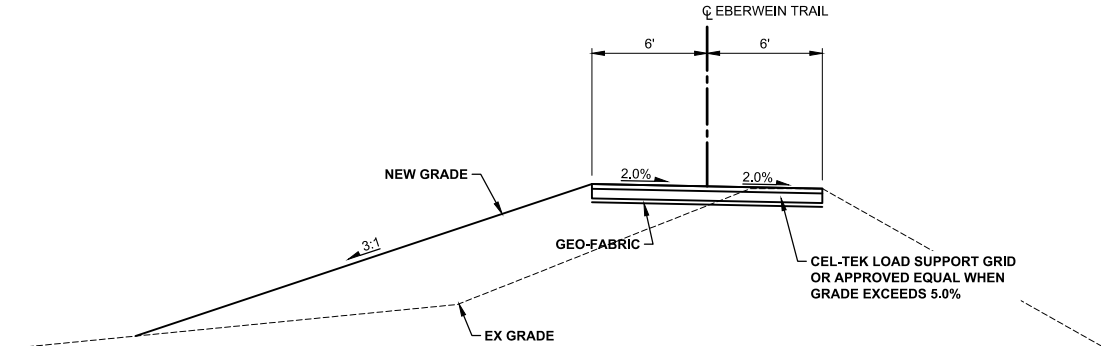
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10 SECTION
SCALE: N.T.S.



11 SECTION
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DATE: 01.12.2021

DESIGNED: JMU/AMG
DRAWN: MNH
CHECKED: AMG

JOB NO. 2021400

SHEET 6 OF 6

C1.04



101 LAURA K DRIVE, STE. 101 OTTAWA, MO 63366-3991
DISCIPLINE: PROFESSIONAL ENGINEERING
CERTIFICATE OF AUTHORITY: 0007159
EXPIRATION DATE: DECEMBER 31, 2019

PRELIMINARY
NOT FOR CONSTRUCTION

Name: APRIL M. GIESMANN
License No.: 0007159
Expiration Date: 12-31-2021

TYPICAL SECTIONS

REVISION

DATE

NO.

APPENDIX B

COST ESTIMATES



ENGINEER'S CONCEPTUAL ESTIMATE OF COST - CONCEPT 1

Chesterfield Eberwein Trail Erosion
CHESTERFIELD, MISSOURI
HORNER & SHIFRIN PROJECT # 2021400

DATE: 1/12/2021
EST. BY: JMU/NAS
CHK. BY: AMG

ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
1	MSD CLASS C EXCAVATION	597	CY	\$ 28.00	\$ 16,716.00
2	EARTHWORK	704	CY	\$ 15.00	\$ 10,560.00
3	CEL-TEK LOAD SUPPORT GRID 3 + BINDER (INCLUDES CELL-TEK LSG 3, J-HOOKS, GEOTEXTILE FABRIC, AND 5 INCHES OF UNCOMPACTED 3/4" - 1" GRAVEL)	4273	SY	\$ 65.00	\$ 277,745.00
4	RELOCATE FENCE	226	LF	\$ 30.00	\$ 6,780.00
5	ADS INLET	3	EA	\$ 2,500.00	\$ 7,500.00
6	FLARED END SECTION	5	EA	\$ 1,500.00	\$ 7,500.00
7	HDPE PIPE	300	LF	\$ 80.00	\$ 24,000.00
8	EROSION CONTROL MATS	1068	SY	\$ 12.00	\$ 12,816.00
9	EROSION CONTROL	1	LS	\$ 12,800.00	\$ 12,800.00
10	SEEDING	2135	SY	\$ 2.50	\$ 5,337.50
11	RECONSTRUCTION OF BIORETENTION BASIN	2	LS	\$ 10,000.00	\$ 20,000.00
SUBTOTAL:					\$ 401,754.50
	MOBILIZATION (8%)	1	LS	\$ 32,140.36	\$ 32,140.36
	PROTECTION AND RESTORATION (14%)	1	LS	\$ 56,245.63	\$ 56,245.63
CONSTRUCTION ESTIMATE					\$ 490,140.49
	CONTINGENCY (20%)	1	LS	\$ 98,028.10	\$ 98,028.10
SUBTOTAL:					\$ 588,168.59
PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 589,000.00
	APPROXIMATE ENGINEERING, SURVEYING, CA, TESTING	1	LS	\$ 110,000.00	\$ 110,000.00
PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 699,000.00

BID ALTERNATE #1

REMOVE CELL-TEK PAVEMENT STRUCTURE AND REPLACE WITH 6" CONCRETE SURFACE

ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
3	CEL-TEK LOAD SUPPORT GRID 3 + BINDER (INCLUDES CELL-TEK LSG 3, J-HOOKS, GEOTEXTILE FABRIC, AND 5 INCHES OF UNCOMPACTED 3/4" - 1" GRAVEL)	-4273	SY	\$ 65.00	\$ (277,745.00)
3 ALT	6" PCC PAVEMENT (INCLUDES 6" PCC, 4" AGGREGATE BASE, DOWELS)	4273	SY	\$ 90.00	\$ 384,570.00
BID ALTERNATE DIFFERENCE:					\$ 106,825.00
BID ALTERNATE SUBTOTAL:					\$ 508,579.50
	MOBILIZATION (8%)	1	LS	\$ 40,686.36	\$ 40,686.36
	PROTECTION AND RESTORATION (14%)	1	LS	\$ 71,201.13	\$ 71,201.13
CONSTRUCTION ESTIMATE					\$ 620,466.99
	CONTINGENCY (20%)	1	LS	\$ 124,093.40	\$ 124,093.40
SUBTOTAL:					\$ 744,560.39
PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 745,000.00
	APPROXIMATE ENGINEERING, SURVEYING, CA, TESTING	1	LS	\$ 110,000.00	\$ 110,000.00
PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 855,000.00



ENGINEER'S CONCEPTUAL ESTIMATE OF COST - CONCEPT 2

Chesterfield Eberwein Trail Erosion
CHESTERFIELD, MISSOURI
HORNER & SHIFRIN PROJECT # 2021400

DATE: 1/12/2021
EST. BY: JMU/NAS
CHK. BY: AMG

ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
1	MSD CLASS C EXCAVATION	777	CY	\$ 28.00	\$ 21,756.00
2	EARTHWORK	2275	CY	\$ 15.00	\$ 34,125.00
3	CEL-TEK LOAD SUPPORT GRID 3 + BINDER (INCLUDES CELL-TEK LSG 3, J-HOOKS, GEOTEXTILE FABRIC, AND 5 INCHES OF UNCOMPACTED 3/4" - 1" GRAVEL)	2563	SY	\$ 65.00	\$ 166,595.00
4	6" CONCRETE SIDEWALK	1044	SY	\$ 90.00	\$ 93,970.00
5	ADS INLET	3	EA	\$ 2,500.00	\$ 7,500.00
6	FLARED END SECTION	6	EA	\$ 1,500.00	\$ 9,000.00
7	HDPE PIPE	360	LF	\$ 80.00	\$ 28,800.00
8	EROSION CONTROL MATS	1951	SY	\$ 12.00	\$ 23,412.00
9	EROSION CONTROL	1	LS	\$ 12,000.00	\$ 12,000.00
10	SEEDING	3115	SY	\$ 2.50	\$ 7,787.50
11	MODULAR BLOCK RETAINING WALL	1290	SF	\$ 35.00	\$ 45,150.00
12	RECONSTRUCTION OF BIORETENTION BASIN	2	LS	\$ 10,000.00	\$ 20,000.00
SUBTOTAL:					\$ 470,095.50
	MOBILIZATION (8%)	1	LS	\$ 37,607.64	\$ 37,607.64
	PROTECTION AND RESTORATION (14%)	1	LS	\$ 65,813.37	\$ 65,813.37
CONSTRUCTION ESTIMATE					\$ 573,516.51
	CONTINGENCY (20%)	1	LS	\$ 114,703.30	\$ 114,703.30
SUBTOTAL:					\$ 688,219.81
PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 689,000.00
	APPROXIMATE ENGINEERING, SURVEYING, CA, TESTING	1	LS	\$ 110,000.00	\$ 110,000.00
	UTILITY ALLOWANCE	1	LS	\$ 50,000.00	\$ 50,000.00
PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 849,000.00

BID ALTERNATE #1

REMOVE CELL-TEK PAVEMENT STRUCTURE AND REPLACE WITH 6" CONCRETE SURFACE

ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
3	CEL-TEK LOAD SUPPORT GRID 3 + BINDER (INCLUDES CELL-TEK LSG 3, J-HOOKS, GEOTEXTILE FABRIC, AND 5 INCHES OF UNCOMPACTED 3/4" - 1" GRAVEL)	-2563	SY	\$ 65.00	\$ (166,595.00)
3 ALT	6" PCC PAVEMENT (INCLUDES 6" PCC, 4" AGGREGATE BASE, DOWELS)	2563	SY	\$ 90.00	\$ 230,670.00
BID ALTERNATE DIFFERENCE:					\$ 64,075.00
BID ALTERNATE SUBTOTAL:					\$ 534,170.50
	MOBILIZATION (8%)	1	LS	\$ 42,733.64	\$ 42,733.64
	PROTECTION AND RESTORATION (14%)	1	LS	\$ 74,783.87	\$ 74,783.87
CONSTRUCTION ESTIMATE					\$ 651,688.01
	CONTINGENCY (20%)	1	LS	\$ 130,337.60	\$ 130,337.60
SUBTOTAL:					\$ 782,025.61
BID ALTERNATE #1 PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 783,000.00
	APPROXIMATE ENGINEERING, SURVEYING, CA, TESTING	1	LS	\$ 110,000.00	\$ 110,000.00
	UTILITY ALLOWANCE	1	LS	\$ 50,000.00	\$ 50,000.00
BID ALTERNATE #1 PROJECT TOTAL CONSTRUCTION ESTIMATE:					\$ 943,000.00

APPENDIX C

TRAIL MATERIAL PRODUCT INFORMATION

LSG SERIES[®]

LOAD SUPPORT GRID

"Saves money and lasts a lifetime!"



LSG SERIES STABILIZER GRID provides superior support to your pavement system. The system confines materials and prevents lateral movement away from the applied load. The stabilizer grid acts as a large mat, by spreading the load over an extended area while increasing the load bearing capacity of the pavement surface.

APPLICATIONS INCLUDE:

Gravel | Grassy Paving

- Driveways
- Municipal and private roads
- Access roads
- Parking lots | Parking pads
- Fire access lanes
- Overflow parking

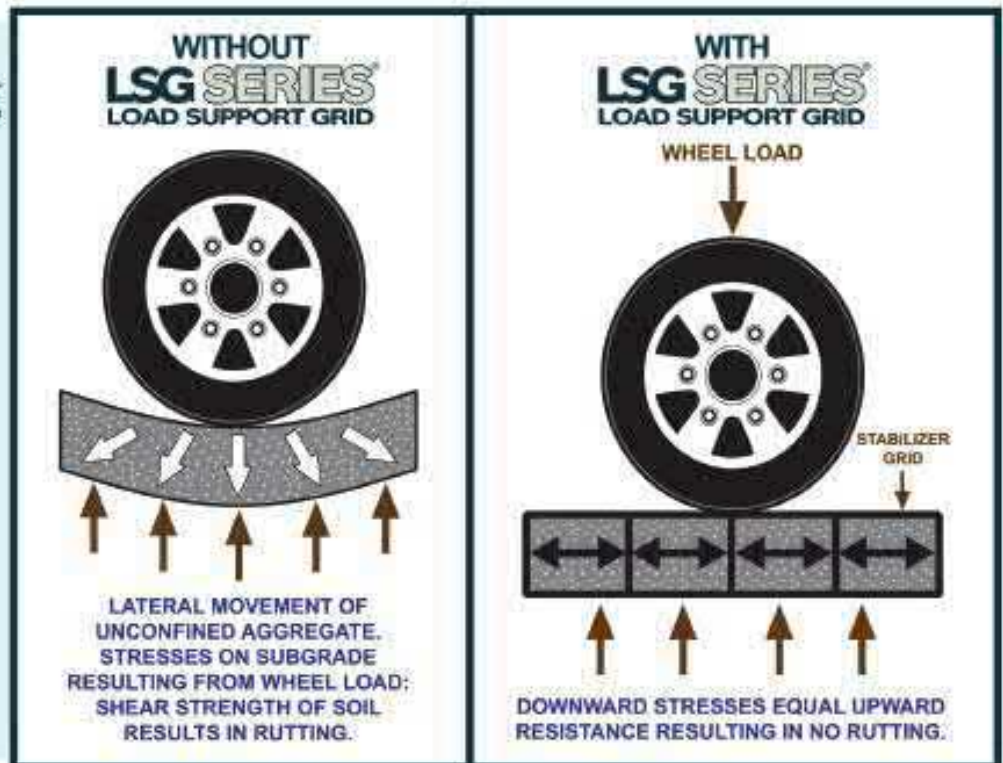
Pavers

- Pathways
- Patios
- Driveways

Gravel-Lok[®] (Bonded Gravel)

Mud Management (farms, horse paddocks)

Green Roofs



Reduce Stormwater Runoff • Reduce Base Thickness • Reduce Subgrade Stress
Reduce Installation Costs • Reduce Maintenance • Increase Strength
Increase Load Support • Increase Pavement Life • Increase Performance

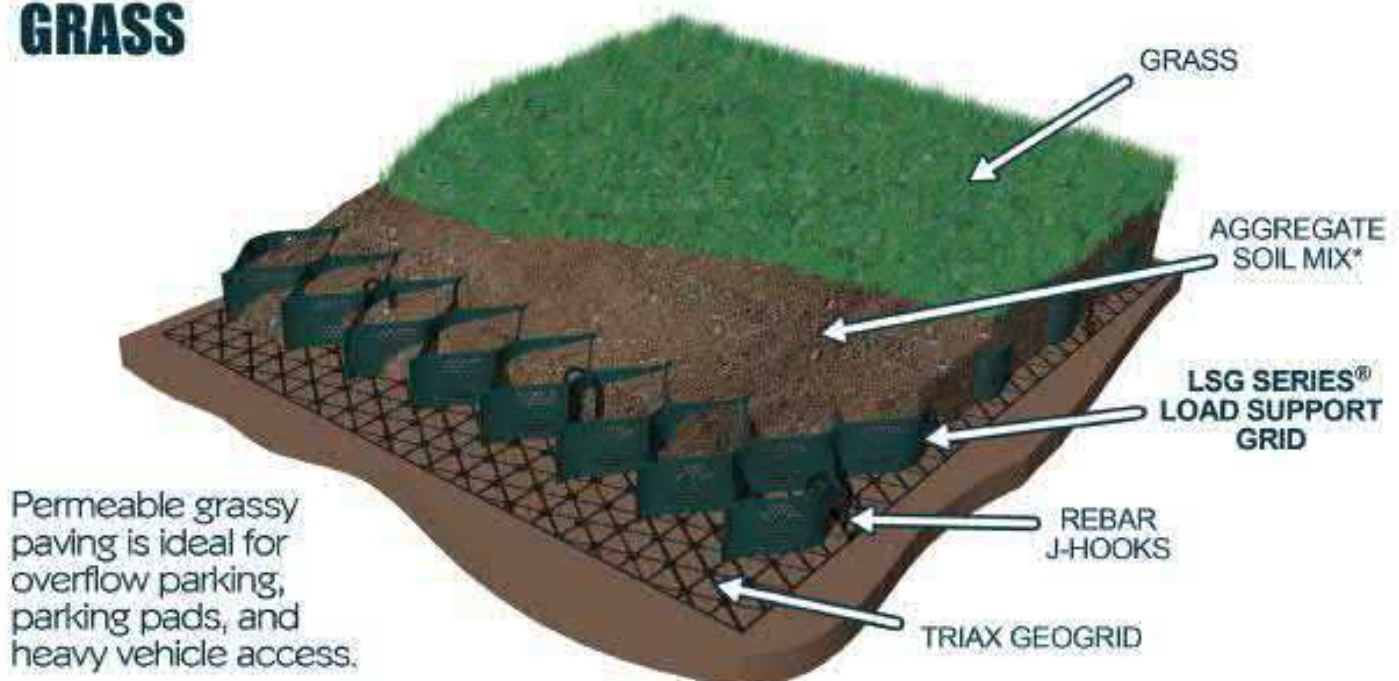
LSG SERIES[®]

LOAD SUPPORT GRID

GRAVEL



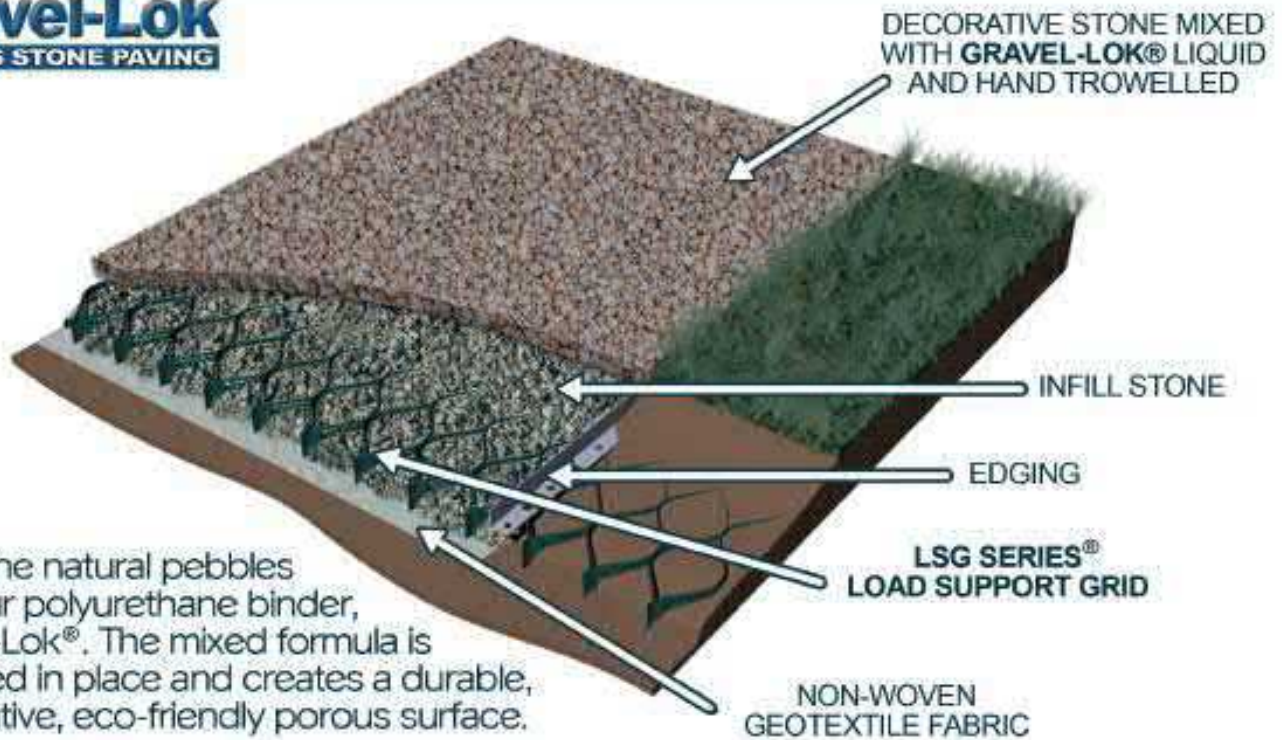
GRASS



*Aggregates and soil are mixed for load support and root growth. Ratio varies. Call for details.

"Makes a great foundation for any surface!"

Gravel-Lok POROUS STONE PAVING



PAVERS



Also ideal for stabilizing the top layer of gravel in a permeable paver application.

TYPICAL INSTALLATION of LSG SERIES as base foundation for Gravel-lok or pavers.
For non-bonded gravel or grassy paving, see website for installation - www.celltekdirect.com

Excavate



Install Geotextile Fabric



Install Expansion Spikes



Expand LSG Stabilizer Grid



Staple One Grid To Another



Infill Cells



Completely Fill Cells



Overfill Cells & Tamp



Install Surface Layer

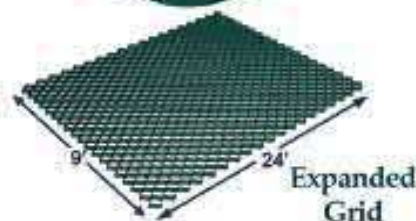


PRODUCTS	CELL DEPTH	DIMENSIONS	AREA/ UNIT	UNITS/ PALLET	TRAFFIC	LOAD DETAILS	APPLICATIONS
LSG-3	3"	9' x 24'	215 SF	24	Pedestrian	8000 lb. Axle Loads: 18kN	Pedestrian Traffic, Walkways, Pathways
LSG-4	4"	9' x 24'	215 SF	18	Cars & Pickup Trucks	H10 Loading 40,000 lb. Axle Loads 75kN	Driveways, Access Roads, Overflow Parking
LSG-6	6"	9' x 24'	215 SF	12	Heavy Trucks & Fire Access	H20 Loading 80,000 lb. Axle Loads 145kN	Ports, Boat Ramps, Access Roads, Driveways, Commercial Applications

Collapsed Grid



Single Cell



PROPERTIES	TEST METHOD	TEST VALUE
Material Composition	ASTM D1505	Polymer, Virgin HDPE Density: 0.9574 g/cm ³
Nominal Sheet Thickness	ASTM D 5199	1.45 mm
Environmental Stress Cracking	ASTM D1693	> 4500 Hrs.
Stabilizer	ASTM E 682	Hindered amine light stabilizer (HALS) 1.0% by weight
Short Term Seam Peel Strength		3" (75mm) 1065N 4" (100mm) 1542N 6" (150mm) 2170N

WWW.CELLTEKDIRECT.COM

E-mail: info@celltekdirect.com Tel: 888-851-0051 Fax: 410-721-3844

CELL-TEK
Geosynthetics

809 Barkwood Court • Suite M • Linthicum, Maryland 21090



The Original Porous Gravel Paving

Made From 100% Recycled Plastic

Created by a Landscape Architect, Gravelpave² has been the Designers' trusted choice for low maintenance porous paving since 1991. With a remarkable compressive strength, 5 times that of concrete, (15,940 psi) Gravelpave² can support the weight of virtually any vehicle. The lightweight and flexible rolls allow for

quick and easy installation while the ability to cut with pruning shears offers design versatility. Gravelpave² is now available in Granite – a new color designed to blend seamlessly with almost any aggregate. Also available in black and custom colors.

Pave Better Solutions

Gravelpave² is a 100% recycled plastic ring-on-grid structure designed to support unlimited traffic. With great flexibility and a high compressive strength, Gravelpave² is a practical and sustainable option for any low speed area. Gravelpave²'s fabric backing acts as a vegetation barrier, a dust inhibitor, provides true containment and will never come off or disintegrate. A 92% void space allows for rapid stormwater drainage and filtration of environmental toxins through bioremediation.

Using the US-made steel pins and washers included in every order, one person can install 430-sf of product in forty-five minutes. Our easy-to-install rolls can be

trimmed with pruning shears and even slightly bent to create curves and customize any layouts.

Made in the USA

Applications

- Fire Lanes, Utility and Emergency Access Roads
- Parking Lots
- Driveways
- Outdoor Event Spaces
- Paths and Walkways (ADA Compliant)
- Ramps, Docks and Loading Areas
- Airplane Taxiing Areas
- Helicopter Landing Pads

The Gravelpave² Advantages

- Design Flexibility
- High Compressive Strength (15,940psi)
- Easy, Quick Installation
- 92% Void Space
- All Weather
- Toxin filtration
- Unlimited Traffic for Low Speed Areas
- Low Maintenance/Long Lifespan (60+ years)
- Available in Custom Colors





PARKS, RECREATION AND ARTS COMMITTEE OF COUNCIL MEETING RESULTS
February 2, 2021
Zoom Meeting

Chairperson Ohley called the meeting to order at 4:00 p.m.

Those in attendance included:

Councilmember Barbara McGuinness, Ward I
Councilmember, Ben Keathley, Ward II
Councilmember, Michael Moore, Ward III
Chairperson, Michelle Ohley, Ward IV

Also in attendance were:

Mayor Bob Nation
Director of Parks, Recreation & Arts, Tom McCarthy
Executive Assistant, Parks, Recreation & Arts, Ann-Marie Stagoski
Councilmember, Dan Hurt, Ward III
Councilmember MaryAnn Mastorakos, Ward II
Councilmember Mary Monachella, Ward I
Director of Public Works/City Engineer, Jim Eckrich
Chair of Parks, Recreation & Arts Advisory Committee, Mike Whelan

Agenda Item #1: Approval of Minutes

The meeting results of the December 1, 2020 Parks, Recreation & Arts Committee of Council Meeting were submitted for approval. Councilmember Moore made a motion, seconded by Councilmember Keithley, to approve the meeting results. There being no discussion, the motion was passed by a voice vote of 4 to 0.

Agenda Item #2: Eberwein Park Trail Update

Director Eckrich summarized the issues with trails at Eberwein Park. He explained that the park was completed in 2011 and has had erosion issues since the beginning, especially after big rains. The initial design of the trails was flawed. Drainage wasn't accounted for and the grade was too steep for an aggregate trail system. The City has tried actions including drainage improvements and recompacting with temporary or no success. The City hired a company to analyze the situation and they offered several options. After review the staff concluded the best option for the park would be to reroute the trail system so some of the steeper areas would no longer be trails. In addition, some sidewalks along Old Baxter Road would be reconstructed. The park includes almost a mile of trails. The sections of the trails to the dog park remain usable.

The cost of the improvements is approximately \$850,000. After discussion staff is recommending that the expense be divided into three phases over three years to alleviate the large expenditure to make the project more workable in the budget. The Parks Department is recommending that Council allocate money for the design of the trails and then ask the engineering company to divide the improvement project into three separate projects that could be completed in phases. Year one would be design of the trails and the Parks department

removing the sections of trail that we are not going to reuse. Then in 2022, 2023 and 2024 the City would allocate approximately \$200,000 per year from the Capital Projects Fund to reconstruct the trail system in the route delineated by the engineering company. While the preference might be to complete the project in one phase, splitting up the project makes it more feasible given the budget constraints.

Councilmember Ohley inquired whether the design should go out to bid. Director Eckrich explained that Missouri law requires that the architectural and engineer services component is based on a qualification-based process and would not go out to bid. We would issue a request for qualifications. A selection committee would choose a firm most qualified and negotiate a fee with the firm and that would be presented to council.

Once the council agreed to proceed as recommended, that the design company would produce three individual bid packages. Those would be publicly bid out. In theory there could be three different companies completing the three construction phases of the project.

Councilmember Moore clarified that there would be one design followed regardless of the number of companies chosen to complete the construction phases.

Councilmember McGuinness thanked the staff for all the photos which helped present the issue in a clearer light and asked Councilmember Moore for his opinion given he utilizes the park almost daily. Councilmember Moore agreed that the trail is in a bad state of repair and it is utilized by many residents for many activities.

Councilmember Keathley wanted to make the point that because people pay for the dog park portion of the park that they have a perception that their funds are being spent towards the entire park and it is in disrepair.

Councilmember McGuinness asked for a history of the park. Director McCarthy stated that it opened in 2011 and it is funded part in house and part by a Municipal Parks Grant which included the requirement to maintain what you use the funds to build. Initially the park was designed by City staff at the time and although it worked well for years, there was a period of multiple heavy rains and it compounded and wearing away of the surface and over the last several years the patches have not been working. Director Eckrich further clarified that although neither he nor Director McCarthy was with the City at the time the park was constructed, the staff at that time was most likely doing what they thought was best with the resources they had at the time. Contracting with a company like Horner and Shifrin who has expertise on engineering trail systems will make the City better able to address the issues.

Councilmember Moore wanted to clarify Councilmember Keathley's point in that the trail is a public amenity. You do not have to be a member of the dog park to use the trail. The \$45 per year fee paid by dog park members allows them access to the fenced dog park area. Councilmember Keathley stated that the perception still exists and that it's mostly dog park members who use the park and because of the fee there is an extra expectation that this park should be taken care of.

There was further discussion on how this project would be funded. Given the parameters of the project, it is an allowable expenditure for the Capital Projects Fund. The life expectancy of the trail would be 30+ years given proper maintenance but even reconstruction would be minimal compared to the initial cost of construction.

At this point, there were technical difficulties and staff worked to resolve those issues.

Following the resolution of the issues, there was a recap of the following:

- Summary of history of park and construction
- Trail system erosion issues
- Actions taken to try to improve trails
- Recommendations of staff (reconstructing and rerouting portions of the trail)
- Trails are public amenities and are not limited to those who use the Dog Park
- Funding/costs/where funding would come from

- Qualifies as a Capital Improvement project
- Some residents believe that in paying the Dog Park fees, they are funding the entire park
- During initial construction, trails were built on too steep a grade
- Life expectancy of reconstruction
- Explanation of why the planning firm does not go out to bid

Councilmember Moore moved to accept the recommendation for a three-phase approach for correcting the trails at Eberwein Park starting with the initial allocation of \$70,000 for the initial design with the recommended consulting company. Councilmember McGuinness seconded the motion. Councilmember McGuinness inquired whether April, who stamped the designs, worked on the project. There being no further discussion, the motion was passed by a voice vote of 4 to 0.

Agenda Item #3: Municipal Planning Grant Update

Director McCarthy stated that we applied for the grant and it was approved. Staff is now working with SWT to set up a schedule for public meetings. Also taken into consideration will be points made in the Master Plan such as parking, green space and large event space.

Agenda Item #4: Logan Park Update

Director McCarthy stated we have signed the addendum to the lease for the additional nine acres for Logan Park. The old ranch house and barn have been removed, seeded and strawed. Thanks to information from Councilmember Mastorakos, an underground pool structure was located and removed so as not to interfere with construction.

Councilmember Hurt inquired about utilities. There was no sewer or gas. It was previously on a septic system. Other utilities will be utilized and a sewer will need to be brought in.

Agenda Item #5: Holiday Tree Update

Director McCarthy has discussed with City Administrator Geisel and Attorney Chris Graville the parameters for the legalities of having a holiday tree event.

Staff will work on a conceptual idea and bring those back to the committee.

Councilmember Keathley inquired as to whether we would utilize a live tree, existing tree, bring in a cut tree or use artificial. Councilmember McGuinness suggested a location for the tree event. The event would not start being publicized before the August brochure so there is some time to plan.

Agenda Item #6: Unfinished Business

No unfinished business.

Agenda Item #6: New Business

No new business.

Agenda Item #6: Adjournment

There being no further business to discuss, Chairperson Ohley adjourned the meeting at 5:02 p.m.

PUBLIC HEALTH AND SAFETY COMMITTEE

Chair: Councilmember Keathley

Vice Chair: Councilmember DeCampi

There are no Public Health and Safety Committee action items scheduled on the agenda for this meeting.

NEXT MEETING

The next meeting of the Public Health and Safety Committee is scheduled for Wednesday, February 24, 2021, at 5:30 pm.

If you have any questions or require additional information, please contact Chief Ray Johnson or me prior Tuesday's meeting.

REPORT FROM THE CITY ADMINISTRATOR & OTHER ITEMS REQUIRING ACTION BY CITY COUNCIL

Bid Recommendation - 2021 Sidewalk Replacement Project A

In conjunction with the City's annual capital improvement program, Staff sought and received bids for the 2021 Sidewalk Replacement Project A. Staff requests authorization to enter into an Agreement with the lowest and best bid as submitted by Raineri Construction in an amount not to exceed \$300,000. This work is funded by the Capital Projects Fund, which has a cumulative budget allocation of \$527,000 for Sidewalk maintenance in the 2021 budget. **(Roll Call Vote) Department of Public Works recommends approval.**

Bid Recommendation - 2021 Construction and Inspection Testing Services

In conjunction with the City's annual capital improvement program, Staff sought proposals for professional construction and inspection testing services for the various street reconstruction projects budgeted in 2021. After a thorough review of these proposals, Staff requests authorization to execute an Agreement with Geotechnology Incorporated for construction testing and inspection services in an amount not to exceed \$95,000. Funding for this work is provided in the Capital Projects Fund. The 2021 approved budget includes \$110,000 in account 120-079-5261 for this purpose. **(Roll Call Vote) Department of Public Works recommends approval.**

OTHER LEGISLATION

There are no "Other Legislation" action items scheduled on the agenda for this meeting.

UNFINISHED BUSINESS

There are no "Unfinished Business" action items scheduled on the agenda for this meeting.

NEW BUSINESS

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, P.E. *JAE*
Public Works Dir. / City Engineer

DATE: February 4, 2021

RE: 2021 Sidewalk Replacement Project A

As you know, due to the impacts of the Emerald Ash Borer (EAB) the Public Works Department has directed one street maintenance crew to work exclusively on the removal of Ash Trees located within the public right of way, as detailed in the EAB Action Plan approved by City Council in 2015. Because the maintenance division will be concentrating its efforts on tree removal, the funding for 2021 contractual sidewalk repair was increased from \$327,000 to \$527,000 via Budget Adjustment DPW#2, approved by City Council on November 16, 2020.

The Public Works Department plans to address sidewalk deficiencies through two separate projects in 2021. The first of these projects, known as 2021 Sidewalk Replacement Project A, will concentrate on sidewalk deficiencies within the Courts, Kehrs Mill Farm, Kehrs Mill Bend, Sycamore Place, and Round Hill subdivisions. The second project, Sidewalk Replacement Project B, will address open sidewalk work orders and those trip hazards / deficiencies with the highest priority as defined in the City's ADA Transition Plan. Sidewalk Project B is scheduled for a Bid Opening on March 2, 2021.

The Department of Public Works publicly opened bids for the 2021 Sidewalk Replacement Project A on February 2, 2021. The results of the bid opening are detailed in the attached memorandum from Project Manager Matt Dooley. After reviewing the bids, Staff recommends the project be awarded to the low bidder, Raineri Construction, in an amount not to exceed \$300,000. This includes the low bid amount (\$289,375) and a modest contingency to account for change orders which may be necessary. Raineri Construction satisfactorily performed sidewalk work for the City of Chesterfield in 2020, and is positively recommended by City Staff.

Should you have questions or require additional information on this project, please let me know.

Action Recommended

This matter should be forwarded to the City Council for consideration. Should Council concur with Staff's recommendation, it should authorize the City Administrator to enter into an Agreement with Raineri Construction in an amount not to exceed \$300,000.

Concurrence:



Jeanette Kelly, Director of Finance

Please forward for inclusion in the City Council packet, for the second meeting in February, 2021.



2021-2-4

MEMORANDUM



DATE: February 3, 2021
TO: Jim Eckrich, Public Works Director
FROM: Matt Dooley, Project Manager *(Signature)*
SUBJECT: 2021 Sidewalk Replacement Project, 2021-PW-04A

As you are aware, we opened bids for the above referenced project on February 2, 2021. Seven bids were received:

<u>Contractor</u>	<u>Total Bid</u>
Raineri Construction	\$ 289,375.00
Gershenson Construction	\$ 298,220.00
Spencer Contracting	\$ 326,762.50
Amcon Municipal Concrete	\$ 342,762.50
Lamke Trenching & Excavating	\$ 348,850.00
Hawkins Construction	\$ 378,545.00
Sweetens Concrete Services	\$ 456,600.00

The low bidder, Raineri Construction has successfully performed sidewalk work in the past for other municipalities as well as the City of Chesterfield. **Accordingly, I recommend acceptance of the bid of \$ 289,375.00 submitted by Raineri Construction, with the cost of the project not to exceed \$ 300,000.00** Adequate funding is available in the Capital Projects Sidewalk Improvements account, 120-079-5497, to fund this project.

The sidewalks to be replaced as part of this project will be in the Kehrsmill Farm, Kehrsmill Bend, Sycamore Place, Round Hill, and The Courts subdivisions.

A copy of the lowest and best bid is attached for the Department of Finance and Administration's use in preparing a purchase order for the project. Should you require additional information, please advise.

EXHIBIT A**BID FORM**

BID TIME: 10:00 a.m.

BID DATE: Tuesday, February 2, 2021

TO: THE CITY OF CHESTERFIELD

The undersigned, having carefully examined the site and all the Contract Documents, adding Addenda 0 through 0, for the

Sidewalk Replacement Project
2021-PW-04A

being familiar with the local conditions affecting the work, hereby proposes to furnish all labor, materials, equipment and services required for the performance and completion of said project in accordance with the said Contract Documents for the following itemized bid.

The City is requesting unit price proposals for this work, consisting of all work necessary to remove and reconstruct approximately 40,000 square feet of 4" thick and 750 square feet of 6" thick existing sidewalk, 1 handicap ramp, and 1 concrete apron, including all necessary property restoration. The location of this project will be in the **Kehrsmill Farm, Kehrsmill Bend, Sycamore Place, Round Hill, and the Courts Subdivisions.**

The Contract contains a binding arbitration provision which may be enforced by the parties.

Bid submitted by:

Company Name: Raineri Construction, LLC.

Address: 1300 Hampton Avenue, Suite 200

City, State St. Louis, MO 63139

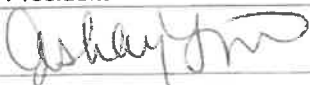
Phone number: 314-667-5913 Fax: 314-667-5638

E-mail address: ashley@rainericonstruction.com

Type of Firm: Sole Partnership Partnership ✓
Corporation Other

Officer Ashley Raineri

Title President

Signature 

Date 2/2/2021

**ITEMIZED BID
CITY OF CHESTERFIELD
2021 SIDEWALK REPLACEMENT PROJECT
2021-PW-04 A**

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	EXTENDED PRICE
1.1	Removal and Replacement of 4" Sidewalk - Limestone or Meramec Gravel Aggregate	Sq. Ft.	40,000	<u>7.00</u>	<u>280,000</u>
2.1	Removal and Replacement of 6" Sidewalk - Limestone or Meramec Gravel Aggregate	Sq. Ft.	750	<u>7.50</u>	<u>5,625</u>
3.1	Removal and Replacement Accessible Curb Ramps	Each	1	<u>1,250</u>	<u>1,250</u>
4.1	Removal and Replacement of Drive Approach	Each	1	<u>2,500</u>	<u>2,500</u>
				TOTAL BID	<u>289,375</u>



BID TABULATION
2021 SIDEWALK REPLACEMENT PROJECT
2021-PW-04A
February 2, 2021

ITEM #	DESCRIPTION	UNITS	QUANTITY	ENGINEER'S ESTIMATE		RAINERI CONSTRUCTION		GERSHENSON CONSTRUCTION		SPENCER CONTRACTING		AMCON MUNICIPAL CONCRETE		LAMKE TRENCHING & EXCAVATING		HAWKINS CONSTRUCTION		SWEETENS CONCRETE SVCS	
				UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE
1.1	Removal and Replacement of 4" Sidewalk - Limestone or Meramec Gravel Aggregate	Sq. Ft.	40,000	\$7.25	\$290,000.00	\$7.00	\$280,000.00	\$7.10	\$284,000.00	\$7.95	\$318,000.00	\$8.38	\$335,200.00	\$8.50	\$340,000.00	\$8.88	\$355,200.00	\$11.11	\$444,400.00
2.1	Removal and Replacement of 6" Sidewalk - Limestone or Meramec Gravel Aggregate	Sq. Ft.	750	\$8.25	\$6,187.50	\$7.50	\$5,625.00	\$9.25	\$6,937.50	\$8.75	\$6,562.50	\$8.75	\$6,562.50	\$9.00	\$6,750.00	\$17.00	\$12,750.00	\$11.60	\$8,700.00
3.1	Removal and Replacement Accessible Curb Ramps	L.S.	1	\$1,200.00	\$1,200.00	\$1,250.00	\$1,250.00	\$2,600.00	\$2,600.00	\$1,100.00	\$1,100.00	\$500.00	\$500.00	\$900.00	\$900.00	\$2,900.00	\$2,900.00	\$1,500.00	\$1,500.00
4.1	Removal and Replacement of Drive Approach	L.S.	1	\$1,500.00	\$1,500.00	\$2,500.00	\$2,500.00	\$4,682.50	\$4,682.50	\$1,100.00	\$1,100.00	\$500.00	\$500.00	\$1,200.00	\$1,200.00	\$7,695.00	\$7,695.00	\$2,000.00	\$2,000.00
	TOTAL BID				\$298,887.50		\$289,375.00		\$298,220.00		\$326,762.50		\$342,762.50		\$348,850.00		\$378,545.00		\$456,600.00

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, P.E. *JAE*
Public Works Dir. / City Engineer

DATE: February 4, 2021

RE: 2021 Construction and Inspection Testing Services

The Department of Public Works has solicited proposals and fee schedules for construction testing and inspection services required as part of the 2021 capital improvement projects. This includes, but is not limited to, the concrete slab replacement projects, the sidewalk replacement projects, the asphalt overlay project, the bridge overlay project, and the ADA compliant curb ramp project. Firms were asked to provide company qualifications and resumes of certified and experienced individuals who would provide professional testing and inspection services for these projects. The firm chosen will provide selected individuals, along with soils and material testing equipment, in order to serve as the City's on-site representative during the construction of our capital projects.

Five companies responded to the City's solicitation, from which Geotechnology Incorporated was chosen as the firm most qualified to perform the testing and inspection services. Accordingly, I recommend that the City of Chesterfield enter into a contract with Geotechnology Incorporated in the amount of \$95,000 (budgeted at \$110,000). The actual cost of the services provided will vary based upon the amount of testing required as part of the City's 2021 capital improvement projects, but will not exceed \$95,000.

Concurrence:

JSKelly
Jeannette Kelly, Finance Director

Action Recommended

This matter should be forwarded to the City Council for consideration. Should Council concur with Staff's recommendation, it should authorize the City Administrator to execute an Agreement with Geotechnology Incorporated for construction testing and inspection services in an amount not to exceed \$95,000

Memorandum

Department of Public Works



TO: James Eckrich, Public Works Director

FROM: Trent Helland, Project Manager

DATE: February 4, 2021

RE: 2021-PW-12, Capital Improvement Inspection Services

We have solicited proposals, including resumes and fees for material testing and professional inspection services for the 2021 capital improvement projects. From the nine inspection firms solicited, five firms returned proposals. From those five firms we conducted two interviews.

I recommend various staff inspectors from Geotechnology, Inc. Their hourly rates are listed below:

<u>Inspector</u>	<u>Straight Time Rate</u>	<u>Overtime Rate</u>
Dave Steiner	\$73.85	\$89.80
Matthew Benz	\$59.88	\$72.38

I have found the personnel from Geotechnology, Inc. to have the most experience with municipal pavement inspection and be the most qualified to provide this service to the city. **Accordingly, I recommend Geotechnology, Inc. for the 2021 Capital Improvement Inspection Services and request authorization up to \$95,000 to cover these professional services. Funds for this work are budgeted in account 120-079-5261.**

Should you require additional information please advise.

Attachments



Via email: thelland@chesterfield.mo.us

January 27, 2021

P020273.16

Mr. Trent Helland
City of Chesterfield Department of Public Works
690 Chesterfield Parkway West
Chesterfield, Missouri 63017

Re: Proposal for Construction Observation and Materials Testing Services
Capital Improvement Projects 2021 Testing and Inspection Services
Chesterfield, Missouri

Dear Mr. Helland:

In response to your request, Geotechnology is pleased to submit this proposal to provide construction observation and material testing services for the referenced project. Geotechnology provided testing services for the City of Chesterfield projects during the 2012, 2013, 2014, 2015, 2016 and 2020 construction seasons. We look forward to working with you again in 2021.

PROJECT DESCRIPTION

We understand that services under this contract will include repairs and/or improvements to streets, sidewalks and other infrastructure.

PROJECT TEAM

Geotechnology field representatives have the qualifications and communication skills that you require for these projects. For your consideration, we have identified three Geotechnology representatives for your 2021 construction season:

- David Steiner, Field Representative III
 - Provided services during the 2012 through 2015 and 2020 City of Chesterfield contracts.
 - 16 years of construction experience
 - ACI Concrete Field Testing Technician Level 1
 - MoDOT Concrete Technician
 - Nuclear Gauge Radiation Safety trained.

© 2021 GEOTECHNOLOGY, INC.

- Kyle Reece, Field Representative I
 - 1 year of construction experience
 - ACI Concrete Field Testing Technician Level 1
 - MoDOT Concrete Technician
 - Nuclear Gauge Radiation Safety trained.
- Matthew Benz, Field Representative II
 - 4 years of construction experience
 - ACI Concrete Field Testing Technician Level 1
 - MoDOT Concrete Technician
 - Nuclear Gauge Radiation Safety Trained.
- Russel Clemons, Field Representative II
 - 24 years of construction experience
 - ACI Concrete Field Testing Technician Level 1
 - MoDOT Concrete Technician
 - Nuclear Gauge Radiation Safety Trained
 - ICC Special Inspector Structural Masonry.
- Jeffrey P. Klein, P.E., Principal Engineer, Materials Testing Group
 - Principal Engineer
 - Five years of experience working on City of Chesterfield Projects
 - 38 years of engineering and construction experience.
- Margaret James, Project Supervisor, Materials Testing Group
 - 5 years of construction experience
 - One year experience working on City of Chesterfield Projects

Resumes of these individuals are attached.

SCOPE OF SERVICES

Our services will be provided on an as-requested basis during construction. The purpose of our services is to enhance compliance with the general intent of the project plans and specifications. Our scope of services will include the job duties listed on your December 4, 2020 request for proposal, a copy of which is attached.

Geotechnology's observation reports and test results are paperless and published via email. Reports are transmitted by Geotechnology field representatives and submitted electronically for QA review to the project manager. Upon review, reports are transmitted via email to the project team.

SCHEDULE AND FEE

We will perform the services described herein for the following hourly rates based on the time spent on the project.

Field Representative	Regular Hourly Rate	Hourly Rate for Overtime, Weekends and Holidays
David Steiner	\$ 73.85	\$ 89.80
Kyle Reece	\$ 59.14	\$ 71.47
Matthew Benz	\$ 59.88	\$ 72.38
Russel Clemons	\$ 74.58	\$ 90.71

The above rates include travel time to and from the project, equipment, vehicle charges, miscellaneous expenses, project management and administration. Soil and crushed rock proctor compaction tests per ASTM D698 are not included in the unit rates above and will be charged at rates of \$210 and \$315 per test, respectively.

Compressive Strength Tests of Concrete Cylinders. Geotechnology would be pleased to provide materials testing of concrete test cylinders. Pricing for 4-inch diameter by 8-inch tall cylinders will be billed at a rate of \$12 per cylinder, which includes curing, testing and reporting.

Additional Services. This proposal is provided for the concrete street replacement and reconstruction projects. Additional services provided for special issues, or for other City of Chesterfield projects will be billed in accordance with our 2021 Schedule of Field and Laboratory Services and Fees, a copy of which is available upon request.

We will notify you, the project superintendent, or your designated representative when conditions that appear to be inconsistent with project requirements are observed. Suggestions may be made for remedial measures, but these suggestions are not directives to the contractor. Geotechnology will not have stop-work authority for the project.

Construction materials and test results can fluctuate. Consequently, even with careful observation and testing, it cannot be said that all parts of the product comply with the job requirements. A higher degree of confidence is inherent with full-time versus intermittent observation. In either case, no guarantee of the contractor's work is provided.

This proposal and fee estimate have been prepared using Geotechnology's standard fee schedule. Geotechnology reserves the right to revise this proposal and fee estimate, at any time, if any flow down and/or contract provisions are required by Client or Owner to conform with any local, state or federal wage act requirements, including but not limited to the Davis-Bacon Act, as Amended, the McNamara-O'Hara Service Contract Act, etc., the required use of union labor, or for any required safety, security, vehicle, drug and alcohol testing, or any third

party payment fees, or other requirements not specified in the Client's request for proposal or not defined in Geotechnology's scope of services.

ACCEPTANCE

If this proposal is acceptable, we understand you will prepare an agreement similar to those previously agreed upon between our firm and the City.

* * * * *

If you have any questions regarding this proposal please contact me at your convenience. We look forward to assisting you with your 2021 improvement projects.

Very truly yours,

GEOTECHNOLOGY, INC.



Margaret James
Project Supervisor, Materials Testing Group

MAJ/JPk:maj

Enclosures: Project Team Resumes
Request for Proposal dated December 4, 2021