



AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
Conference Room 102-103
Thursday, March 13, 2025
5:30 PM

I. CALL TO ORDER

II. APPROVAL OF MEETING SUMMARY

A. February 13, 2025

III. UNFINISHED BUSINESS

IV. NEW BUSINESS

- A. **Spirit of St. Louis Air Park 18600 Edison Ave (West Terminal)**: An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for a 0.71-acre leasehold area located on a 93.74-acre tract of land zoned “M3”- Planned Industrial District west of Turbine Avenue, at the end of Edison Avenue.

- B. **Wildhorse Village, Lot 2B-2 (Audere II)**: A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for a 0.69-acre tract of land zoned “PC&R” – Planned Commercial and Residence District located southeast of the intersection of Parkview Terrace and Wildhorse Lake Blvd.

V. OTHER

VI. ADJOURNMENT

*PC Liaison scheduled for this meeting

PERSONS REQUIRING AN ACCOMMODATION TO ATTEND AND PARTICIPATE IN THE ARCHITECTURAL REVIEW BOARD MEETING SHOULD CONTACT CITY CLERK VICKIE MCGOWND AT (636)537-6716 AT LEAST TWO (2) BUSINESS DAYS PRIOR TO THE MEETING.



**THE CITY OF CHESTERFIELD
ARCHITECTURAL REVIEW BOARD
THURSDAY – FEBRUARY 13, 2025
5:30 PM
CONFERENCE ROOM 102/103**

ATTENDANCE:

- Mr. Mick Weber, Chair
- Mr. Scott Starling, Vice-Chair
- Mr. Matt Adams
- Mr. John Lavrich
- Ms. Susan Lew
- Mr. Kristopher Mehrtens

ABSENT:

- Mr. Doug DeLong

ALSO IN ATTENDANCE:

- Councilmember Merrell Hansen
- Councilmember Mary Ann Mastorakos
- Councilmember Dan Hurt
- Planning Commission Liaison, Steve Wuennenberg
- Ms. Alyssa Ahner, Senior Planner/Staff Liaison
- Mr. Shane Streiler, Planner
- Ms. Kristine Kelley, Recording Secretary

I. CALL TO ORDER

Chair Weber called the meeting to order at **5:30 p.m.**

II. APPROVAL OF MEETING SUMMARY

A. November 14, 2024

Vice-Chair Starling made a motion to approve the meeting summary as written. Board Member Mehrtens seconded the motion. **The motion passed by a voice vote of 6-0.**

III. UNFINISHED BUSINESS

IV. NEW BUSINESS

- A. Chesterfield Executive Park, Lot 1:** An Amended Site Development Section Plan, Amended Landscape Plan, and Amended Architectural Elevations for a 1.08-acre tract of land zoned “M3” Planned Industrial located south of Chesterfield Airport Road and east of Cepi Drive.

STAFF PRESENTATION

Shane Streiler, Planner explained that Staff discovered that the building's elevations and the site's landscaping had been substantially modified without applicable City approval.

Following discussion with the applicant, it was discovered that these changes had been completed by the previous building owner. Through this review, the applicant is seeking a relocation of their freestanding monument sign and retroactive approval for the changes to the elevations and landscaping. No other changes are proposed.

Elevations

The previously red brick masonry building has been painted white on the building's faces with accents of black on the corners. The insulated glass windows have remained unchanged, but the green aluminum frame on the south elevation has been painted black.

Landscaping

Since the original approval, modifications include the removal of two (2) landscape islands near the entrance to accommodate ADA ramps and mulch has been replaced with rock. The new landscaping is proposed to compliment the revised monument sign location.

Project representation was available to answer any questions from the Board.

DISCUSSION

During discussion the following information was provided.

- Per email correspondence from Board Member DeLong
 - The building is adequate except for the north side. The plant beds could be expanded and either ornamental or columnar trees could be added that would not interfere with the overhead power lines.
 - The dumpster enclosure needs to have screen plantings.
 - There is a lack of canopy trees around the parking lot. The staff is addressing this issue.
- It was confirmed that any redevelopment must adhere to current landscape and architectural design standards.
- Any potential exterior modifications would require ARB approval.
- The Board felt that the project was pretty straight forward and the changes were a vast improvement to the building.

Motion

Vice-Chair Starling made a motion to forward Chesterfield Executive Park, Lot 1 with a recommendation of approval with the following conditions:

- Increase the plantings along Chesterfield Airport Road.
- Add ornamental or columnar trees along Chesterfield Airport Road. Attention should be paid to the overhead power lines.
- Add screen plantings around the dumpster enclosure.
- Continue to work with staff on the addition of parking lot trees.

Board Member Adams seconded the motion. **The motion passed by a voice vote of 6-0.**

After the Motion

Because the project will be forwarded back to Staff for administrative approval, discussion was held regarding steps to allow the Planning Commission and City Council the opportunity to review the landscaping plans and upkeep of existing plans within the Chesterfield Valley corridor.

V. OTHER

VI. ADJOURNMENT 5:55 p.m.

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Phone: 636-537-4000 • Fax 636-537-4798 • www.chesterfield.mo.us

Architectural Review Board Staff Report

Meeting Date: March 13, 2025

From: Isaak Simmers, Planner

Location: **18600 Edison Ave**

Description: **Spirit of St. Louis Air Park 18600 Edison Ave (West Terminal):** An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for a 0.71-acre leasehold area located on a 93.74-acre tract of land zoned “M3” Planned Industrial District west of Turbine Avenue, at the end of Edison Avenue.

PROPOSAL SUMMARY

Woolpert, on behalf of St. Louis County, submitted an Amended Site Development Plan and associated plans for the demolition and new construction of the Spirit of St. Louis Airport West Terminal located west of Turbine Avenue, and at the end of Edison Avenue. The new hangar and office building will be constructed using a steel frame and be approximately 17,500 square feet in size.

SITE HISTORY

The site was zoned “M-3” Planned Industrial District for

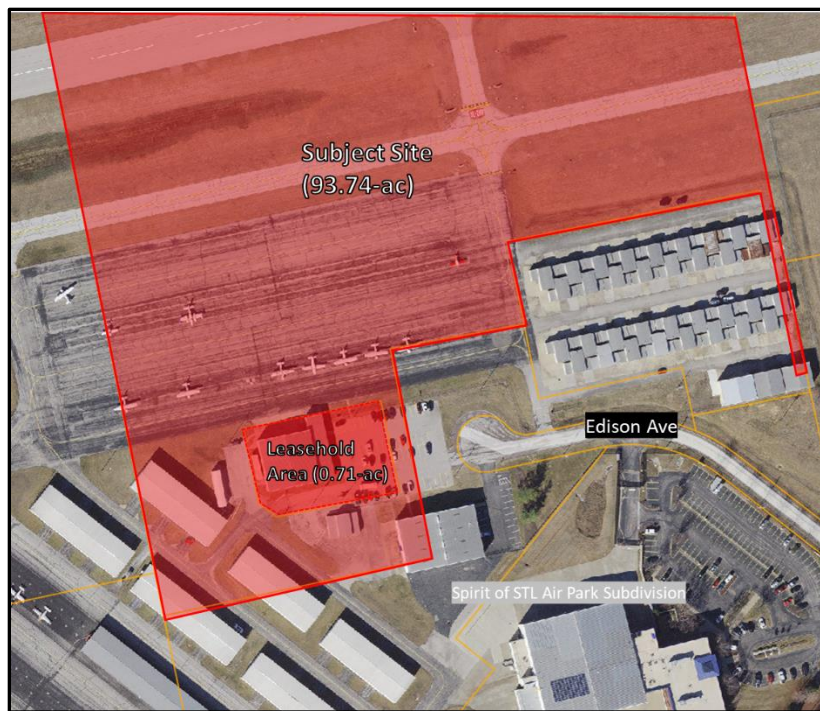


Figure 1: Subject Site feat: Leasehold Area

Spirit of St. Louis Airport via Ordinance 2212, and the existing structures on site were constructed sometime prior to the incorporation of the City of Chesterfield. The current ordinance governing the site is [Ordinance 1430](#).

STAFF ANALYSIS

The proposed demolition shall include the refinishing of the existing parking area and complete removal of the existing terminal building. There is existing chain-link security fencing on site – the limits of the fence removal and replacement has been included in the submittal packet. There are pre-existing manufactured structures on site that are proposed to be removed by a third party, and a new dumpster pad and enclosure has been proposed at the southwest corner of the new west terminal building, see the colored site plan, and existing site photos below.

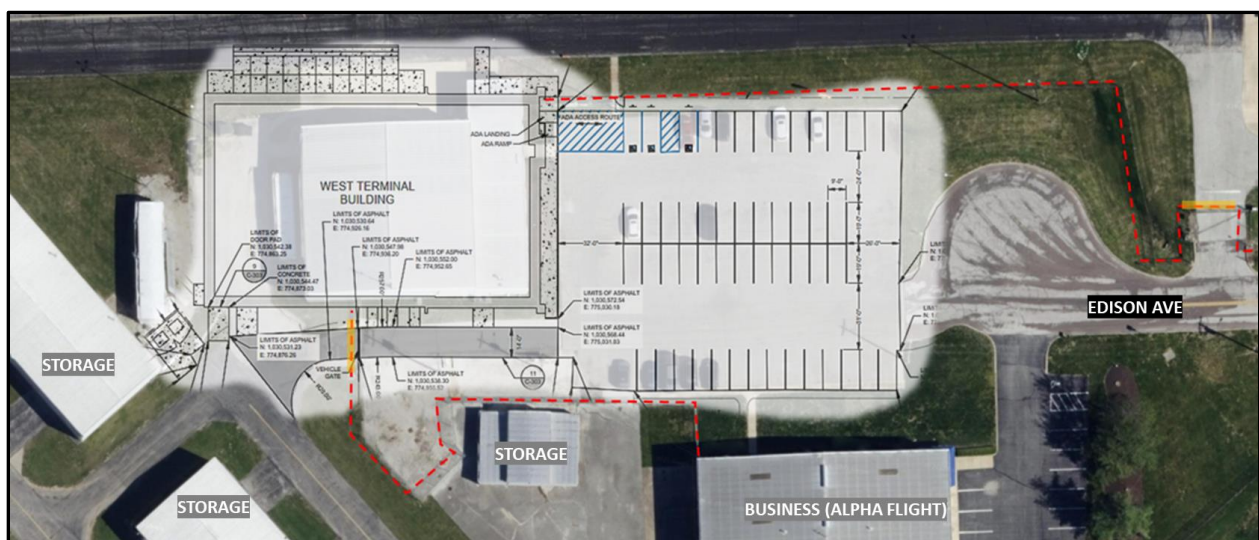


Figure 2: Site Plan, Fence (red), Gates (yellow)

Circulation System & Access

The subject site will be accessed from the end cul-de-sac on Edison Avenue. The public will access the site from Edison Avenue, but will be restricted from entering the Spirit of St. Louis Airport property by two (2) existing gates, see highlighted yellow in Figure 2. Three (3) ADA parking stalls have been provided for in the northwest corner of the refinished parking area that will provide convenient access to the terminal building's lobby and reception area. The proposed concrete pad and trash enclosure have been situated internal to the airport and will not be accessible to the public. The storage section of the new building will open to the taxiway to the north and will make up the majority of the left side of the proposed structure; the business will make up the right side. The location of the existing chain-link fence and how it would adapt to the new construction has been outlined in red in Figure 2.

Topography & Parking

The natural topography of the site is relatively flat and the applicant has not proposed the use or need for any site retaining walls. The asphalt of the existing parking area will be refinished and a full replacement will take place on the access road along the southern portion of the site. The

access road leads from the parking area to the proposed concrete pad and trash enclosure, see Figure 3 above. There are no proposed modifications to the number of parking spaces – only a revised layout. There are a total of 52 parking stalls on site concentrated to the east and extends off the leasehold area. Three (3) parking stalls are ADA compliant and will include the addition of one (1) 10 x 40 loading space. St. Louis County reviewed the design and has no objections.

Scale & Design

The proposed design of the terminal can be broken up into two (2) distinct building masses. Looking at the proposed elevation from the south, it is clear that the left portion of the structure will be used as storage for the airport, and the right portion of the structure will be the business. The hangar will measure 20 feet to the eave, with a maximum height of approximately 25 feet to the peak. This is comparable to the existing storage and hangars surrounding the site. The left portion of the building containing the lobby, reception area, and offices has been distinguished from the hangar portion in both height and design. The rectangular massing of the business section includes recessed walls with floor-to-ceiling insulated glass windows, a metallic wall awning and façade of differing color.



Figure 3: Partial Rendering, Human Scale

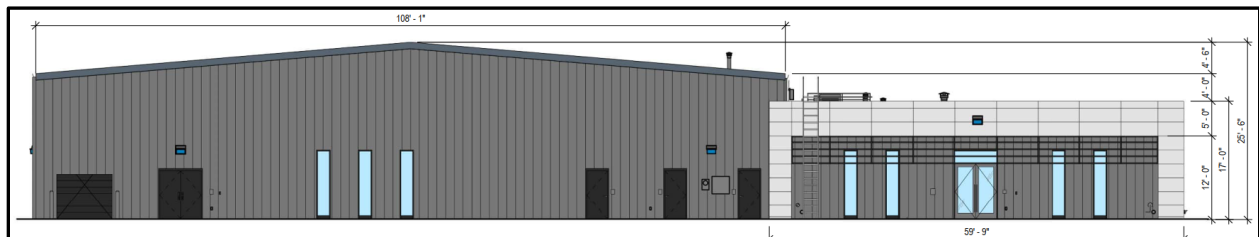


Figure 4: South Elevation

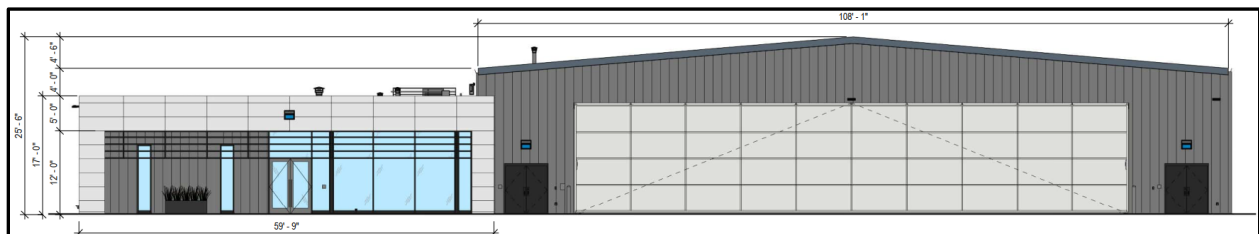


Figure 5: North Elevation



Figure 6: Proposed East (right) and West (left) Elevations

Materials & Color

The structure will be comprised of metal framing with a fastened metal paneling system. The business portion of the structure will be comprised of dark gray metal panels with insulated glass windows that extends to the storage portion of the building creating a cohesive look. A moonstone-colored paneling system makes up the awning design of the office and has been carried over to the large hangar door along the north elevation, see Figure 5. The standing seam metal roof will be white and the storefront system and rooftop mechanical equipment screening will be comprised of black anodized metal.





EXTERIOR MATERIALS	
	FASTENED METAL PANELS; B.O.D. BERRIDGE "R" PANEL 22 GA. EXPOSED FASTENER PANEL SYSTEM. COLOR TO MATCH PEMB.
	STANDING SEAM METAL ROOF; B.O.D. PEMB MFR.
	MCM PANEL, ALUCOBOND COLOR MOONSTONE METALLIC OR EQ.
	STOREFRONT, KAWNEER COLOR BLACK ANODIZED OR EQ.

Figure 7: Exterior Materials Legend



Figure 8: Partial East Elevation

RENDERING



Landscape Design & Screening

Like previously reviewed projects within the Spirit of St. Louis Air Park Subdivision, the Spirit of St. Louis Airport requested that all landscaping for developments within the airport vicinity stick exclusively to elements that would not serve as wildlife attractants. Per Code, requests to modify the City of Chesterfield’s Landscape Requirements must be accompanied by a letter from certified landscape specialist. The United States Department of Agriculture (USDA), Wildlife Services, provided a letter to back the applicant’s request for modification and included in the packet. Sod is being provided around the new construction, and charcoal gray planter boxes containing ‘Hakone Grass’ have been included for decoration. The planter boxes will line the east façade facing the parking area and the entrance vestibule, see Figure 9 below.

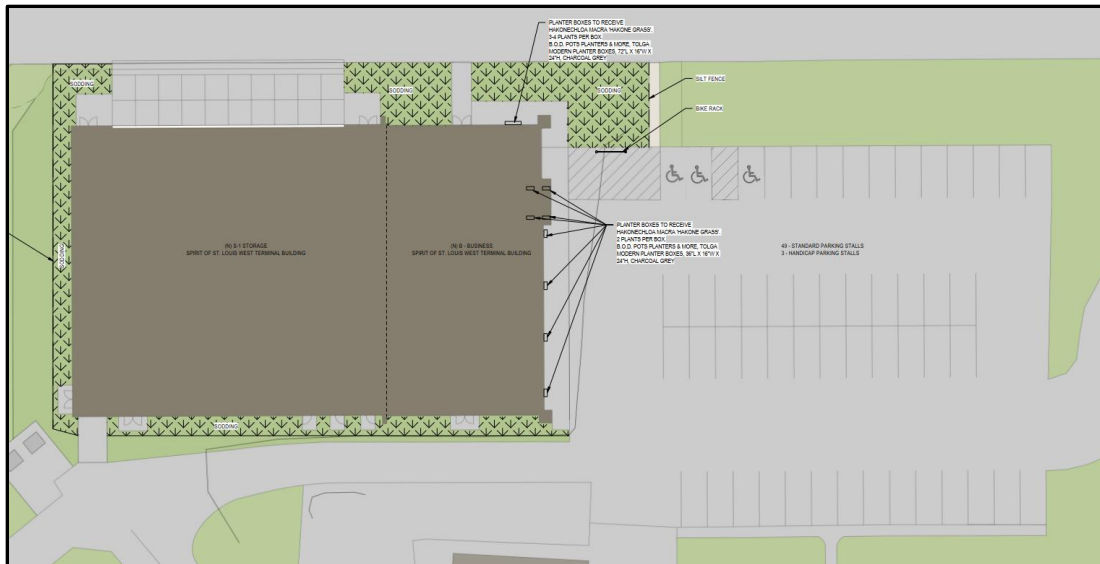


Figure 9: Proposed Landscape Plan and Planter Locations

The proposed trash enclosure will be constructed using aluminum louvered panels with steel capped hinge posts bolted to the concrete pad. The enclosure will measure approximately 20 x 10 feet and will be large enough to contain two (2) average sized commercial trash receptacles.

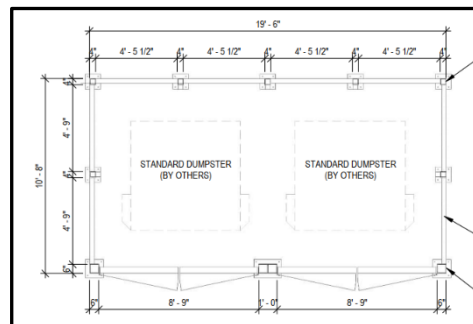


Figure 10: Trash Enclosure, Plan View

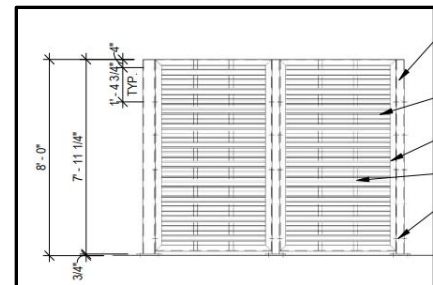


Figure 11: Trash Enclosure, Side Elevation

Lighting

The applicant has submitted a site photometric plan referencing seven (7) pre-existing pole lights located within significant proximity to the proposed demolition and new construction. There are four (4) light poles along the north elevation of the proposed terminal to illuminate the airport taxiway and parking area. There are an additional three (3) light poles along the southern portion of the site, lower in height and illumination to light the parking area and southern access road. The lighting plan is still under review by the Department and the applicant is required to provide a statement from a qualified lighting designer providing industry standards to substantiate the request to exceed the maximum allowed footcandle levels for commercial property per Code. St. Louis County reviewed the request and has no objections.

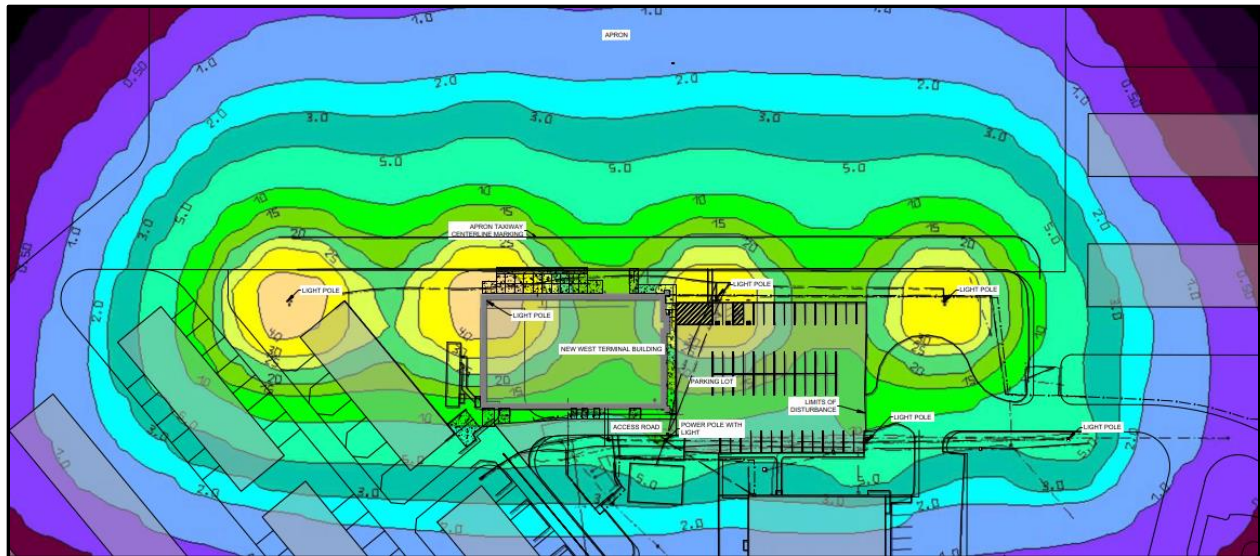


Figure 12: Site Photometric Plan

MOTION

The following options are provided to the Architectural Review Board for consideration relative to this application:

“I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for Spirit of St. Louis Air Park 18600 Edison Avenue (Terminal) as presented, with recommendation for approval (or denial) to the Planning Commission.”

“I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for Spirit of St. Louis Air Park 18600 Edison Avenue (West Terminal) to the Planning Commission with a recommendation for approval with the following recommendations...”

DEPARTMENT INPUT

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to the Planning Commission.

Attachments

1. ARB Application
2. Applicant's Statement of Design
3. USDA Letter
4. ARB Submittal



**ARCHITECTURAL REVIEW BOARD
Project Statistics and Checklist**

Date of First Comment Letter Received from the City of Chesterfield _____

Project Title: Spirit of St. Louis Airport West Terminal **Location:** 18600 Edison Ave., Chesterfield, MO 63005

Developer: SUS Airport **Architect:** Woolpert, Inc. **Engineer:** Vertex Companies - Structural
(Justin Ryder) (Andy Remstad) Wilson & Company - MEP
PROJECT STATISTICS: EFK Moen - Civil

Size of site (in acres): 1,300 acres **Total Square Footage:** 16,298 SF **Building Height:** 25'-6"

Proposed Usage: Pre-engineered metal building and an office building

Exterior Building Materials: Metal panels, metal composite panels

Roof Material & Design: PEMB to be a gable roof with metal seam panels; office to be a flat roof with EDMB membrane

Screening Material & Design: Metal 2"x12" rectangular, horizontal sunshades, color black on office building;
Aluminum and steel post dumpster enclosure; louvered mechanical screen on roof

Description of art or architecturally significant features (if any): N/A

ADDITIONAL PROJECT INFORMATION:

Checklist: Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.**
- Color elevations for all building faces.**
- Color rendering or model reflecting proposed topography.**
- Photos reflecting all views of adjacent uses and sites.**
- Details of screening, retaining walls, etc.**
- Section plans highlighting any building off-sets, etc. (as applicable)**
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.**
- Landscape Plan.**
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)**
- Large exterior material samples. (to be provided 1 week prior to ARB meeting)**
- Any other exhibits which would aid understanding of the design proposal. (as applicable)**
- Pdf files of each document required.**

ARCHITECTURAL REVIEW DESIGN STANDARDS

Please refer to [Section 04-01 of the Unified Development Code](#) for the Architectural Review Design Standards.

ARCHITECTURAL TERMS

Please refer to [Section 10-06 of the Unified Development Code](#) for definitions of Architectural Terms.

ARTICLE 04
Development Requirements And Design Standards

Section 405.04.010. Architectural Review Design Standards. [CC 1990 § 31-04-01; Ord. No. 2801 § 3 (Exh. A), 6-16-2014; Ord. No. 3139, 2-16-2021]

A. Applicability And Compliance.

1. Applicability. The City of Chesterfield Architectural Review Design Standards shall apply to all vacant or undeveloped land and all property to be redeveloped including additions and alterations. Applications for Site Plan, Site Development Plan and Site Development Section Plan shall be reviewed by the Architectural Review Board (ARB) unless otherwise specified in any Planned District Ordinance or Special Procedure Approval. The ARB will provide recommendations to the City on projects they have reviewed. Projects which are exempt from being reviewed by the ARB are reviewed by staff to meet the Design Standards.

Design standards are met to the best of our ability while following FAA guidelines and regulations.

2. Unless otherwise required by the City of Chesterfield to be reviewed by the ARB, new single-family residential subdivisions shall be reviewed by the Director of Planning (the Department) during site plan, site development plan or site development section plan review.

N/A

3. Exemptions.
 - a. Single residential lots are exempt from the provisions of these ARB Design Standards, provided no construction, addition or alteration of a non-residential building is proposed.
 - b. Residential additions and tear downs are reviewed under Section 405.20.160 of this UDC.
 - c. Non-residential additions and architectural amendments that meet the following criteria may be considered for administrative approval by the Director of Planning. Said approval shall be at the discretion of the Director of Planning if:
 - (1) The proposed addition is less than five thousand (5,000) square feet; or
 - (2) The proposed addition or amendment does not significantly impact architectural elements previously approved by the Planning Commission or the ARB.
4. Compliance. For projects that are not administratively approved, upon review by staff after receiving recommendation from ARB, projects will be forwarded to the Planning Commission for review and consideration.
5. Alternative Compliance. The Design Standards may be modified if it may be demonstrated said amendment is necessary to provide creative or imaginative design that exceeds the minimum performance standard requirements. Said amendment shall

require two-thirds (2/3) vote of the Planning Commission. Use of sustainability features in regards to items, such as, but not limited to, building mass, building orientation, building materials, and energy source and usage, shall be considered when determining if a modification is warranted. Notwithstanding the recommendation of the Planning Commission, the Council may modify the standards contained in this Section by a majority vote.

B. Submittal Requirements And Procedures.

1. **Submittal Requirements.** When an application is required to be reviewed by the ARB, the following shall be submitted for review:
 - a. Color site plan with contours, site location map, and identification of adjacent uses.
 - b. Color elevations for all building faces.
 - c. Color rendering or model reflecting proposed topography.
 - d. Photos reflecting all views of adjacent uses and sites.
 - e. Details of screening and retaining walls.
 - f. Section plans highlighting any building off-sets.
 - g. Architect's Statement of Design which clearly identifies how each section in the design standards has been addressed and the intent of the project.
 - h. Landscape Plan.
 - i. Lighting cut sheets for any proposed building lighting fixtures.
 - j. Large exterior material samples.
 - k. Any other exhibits which would aid understanding of the design proposal as required by the City of Chesterfield.
 - l. Electronic files of each document required shall also be submitted in a format as specified by the City.
2. **Alternative Compliance To Submittal Requirements.** In some cases, atypical projects may benefit by the use of alternate submittals; including additional items or less than those items as provided above. The Director of Planning shall review and approve the use of alternate submittals prior to submission for review by the ARB.
3. **Procedures.**
 - a. All applicable development as provided in Section 405.04.010(A) of this Article shall submit the appropriate materials for review by the City of Chesterfield.
 - b. When required, these submittal materials shall be reviewed by the ARB and/or the Planning Commission.
 - c. Any amendments or proposed modifications to previously approved architectural elevations shall be reviewed for compliance to the standards set forth in this Section by the Director of Planning. However, when the Director of Planning

deems the requested amendment or modification to be a major change, they may require that the request be reviewed by the ARB for the purpose of obtaining a recommendation.

- d. When a Planned District Ordinance or Special Procedure Approval requires that all architecture be reviewed by the ARB and/or the Planning Commission, all amendments and proposed modifications shall also be reviewed by said Board and/or Commission.

C. General Requirements For Site Design. All projects should address the following requirements as directed by the City of Chesterfield:

- 1. Site Relationships. Developments should emphasize site relationships to provide a seamless transition between phases of a project, which are compatible with neighboring developments, and which also provide a transition from the street to the building.

Desirable Practices	Undesirable Practices
Provide safe pedestrian movement between elements Provided through sidewalks and paved access-ways.	Site design that impairs or interferes with other properties or developments The site is designed to seamlessly blend with the adjacent landscape/sites.
Provide public plazas, courtyards, assembly areas, etc. N/A	Excessive noise, lighting, glare None of the above.
Incorporate scenic views, fountains, public art, etc., within outdoor spaces N/A	Delivery zones, trash enclosures, storage areas, transformers and generators that are not screened and are visible by the public Rooftop units will be hidden behind roof equipment screen, trash enclosures are not visible by the public, electric pad and equipment will be relocated and not visible by the public.
Consider climate, solar angles, and outdoor activities when designing elements within outdoor spaces N/A	Above ground public utilities N/A

- 2. Circulation System And Access. Circulation systems shall be designed to avoid conflicts between vehicular, bicycle, and pedestrian traffic to and from buildings on the site. Circulation patterns shall be safe, obvious, and simple as described in the standards below.

<p>Bicycle Circulation Provided.</p>	<ul style="list-style-type: none"> • Provide bicycle parking in highly visible locations. • Provide racks with a locking opportunity.
<p>Pedestrian Circulation Design standards are met. Asphalt sidewalk will be provided along the eastern/main entryway into the building.</p>	<ul style="list-style-type: none"> • Give precedence to pedestrian circulation over vehicular circulation. • Provide pedestrian access from large parking areas. • Design open and attractive circulation systems between buildings, blocks, and adjacent developments. • Utilize materials, textures and/or colors to improve safety and visibility at points of conflict with vehicular routes. • Surface routes with durable materials in order to eliminate "short cuts" which damage landscape areas.
<p>Vehicular Circulation N/A</p>	<ul style="list-style-type: none"> • Provide accommodations for public transportation as directed by the City of Chesterfield and transportation agencies.
<p>Parking The existing parking lot will be utilized in this project. ADA parking stalls will be repainted and corresponding signs and clearances will be implemented.</p>	<ul style="list-style-type: none"> • Encourage rear and side parking areas. Front parking may be considered if appropriate landscaping and setbacks are incorporated into the parking design. • Provide landscaped separation of parking areas and buildings and create a landscaped foreground for buildings.
<p>Pedestrian Orientation N/A</p>	<ul style="list-style-type: none"> • Establish areas with visual interest such as outdoor dining areas or outdoor seating areas which face the street and pedestrian ways. • Provide open spaces, such as covered walkways, courtyards and plazas. • Provide connections to public transportation, bus stops, future light rail stations and commuter lots.

3. Topography.

Design standards are met. There will be minor regrading of the existing site.

- a. Utilize topography for screening, buffering, and transition between uses and developments.
- b. Retain the natural slope and topography while minimizing changes to the existing topography. Avoid abrupt or unnatural appearing grading design.

- c. Round proposed cut and fill slopes, both horizontally and vertically.
- 4. Retaining Walls.
 - N/A
 - a. Minimize the height and length of retaining walls. Screen with appropriate landscaping, where appropriate.
 - b. Incorporate design elements of other architectural or natural features of the project.
 - c. Use terracing as an alternative to tall or prominent retaining walls, particularly in highly visible areas on hillsides.
 - d. Use stone, masonry or textured concrete walls or other similar materials.
 - e. Use of timber tie walls is not permitted.

D. General Requirements For Building Design. These requirements shall apply to all structures.

1. Scale.

Design standards are met; See corresponding plans.

Building Scale	<ul style="list-style-type: none"> • Demonstrate through elevations and renderings that the size, proportion, design and orientation of buildings are compatible with the adjacent or predominant development in the area. • Provide transitions between buildings and uses to visually reduce differences in scale and proportion.
Human Scale	<ul style="list-style-type: none"> • Design to achieve a sense of human scale through the use of wall insets, balconies, window projections or other architectural elements.
Generic Scale	<ul style="list-style-type: none"> • Respect and/or improve the rhythm established by adjacent or predominant buildings and development. • Coordinate the actual and apparent height of adjacent structures. Adjust apparent height by placing window lines, belt courses and other horizontal elements in a pattern that complements the same elements on neighboring buildings.

2. Design.

Design standards are met; See corresponding plans and photos of the adjacent sites.

- a. Design and coordinate all facades with regard to color, types and numbers of materials, architectural form and detailing.
- b. Avoid linear repetitive streetscapes.

- c. Avoid stylized, "corporate" and/or franchise designs that use the building as advertising.
 - d. Provide architectural details particularly on facades at street level.
 - e. Encourage art elements such as wall sculptures, murals, and artisan created details, etc., throughout a project. **N/A**
 - f. Encourage designs that enhance energy efficiency.
 - g. Encourage the use of environmentally conscious building techniques and materials.
 - h. Provide entry recesses, plazas, roof overhangs, wall fins, projecting canopies or other similar features indicating the building's entry points while providing protection.
 - i. Paint and trim temporary barriers/walls to complement the permanent construction excluding tree protection fencing.
 - j. Screen rooftop equipment on all visible sides with materials that are an integral part of the architecture. Parapet walls or screen walls shall be treated as an integral part of the architecture and shall not visually weaken the design of the structure.
3. Materials And Colors.

Desirable Practices	Undesirable Practices
Use compatible colors, materials and detailing on a building. Colors, materials and detailing should also be compatible with adjacent buildings and properties. Encourage the use of integral color where practical. Colors and materials used in this project are congruent with adjacent buildings.	False or decorative facade treatments, inconsistent adornment and overly frequent material changes should be avoided.
Utilize durable materials. Durable materials are being utilized; See plans.	Highly reflective materials and prefabricated buildings are discouraged.
Utilize contrasting paving surfaces for pedestrian access in large paved areas. N/A	

4. Landscape Design And Screening.

The landscaping design is guided by FAA AC 150/5200-33C – Hazardous Wildlife Attractants on or near Airports.

<p>Development Landscaping N/A</p>	<ul style="list-style-type: none"> • Use a consistent theme throughout each development. Variations may be used to create distinction between spaces but such themes shall be internally consistent. • Use landscape design to accentuate significant views. • Incorporate or include landscaped areas throughout the site design. Tree and shrub plantings should be grouped together to create strong accent points. • Incorporate existing landscape elements into design. Mature trees, tree groupings and rock outcroppings shall be considered as design determinants. • Provide for screening of unfavorable views either to or from the subject site.
<p>Building Landscaping FAA AC 150/5200-33C</p>	<ul style="list-style-type: none"> • Incorporate landscaping into building design. • Incorporate landscaped setbacks to buffer adjacent buildings and uses and to create separation between the building and the street. • Include works of art in landscape plans.
<p>Parking Area Landscaping FAA AC 150/5200-33C</p>	<ul style="list-style-type: none"> • Project landscape materials from pedestrian or motor traffic with curbs, tree guards, or other devices. • Enhance paved access, parking, and circulation spaces with berms, islands or other landscaped spaces. Provide trees and tree groupings. • Screen parking structures with dense landscaping on all sides.
<p>Walls and Fences Existing AOA fence is being utilized.</p>	<ul style="list-style-type: none"> • Design sound walls, masonry walls, and fences to minimize visual monotony through changes in plane, height, material or material texture. • Present fencing design and materials in the Architect's Letter of Intent submitted for review. Chain link fencing is discouraged; additionally, chain link fencing with wood or any type of inserts or lining is not considered suitable.

<p>Screening The rooftop screening accentuates the building’s design.</p>	<ul style="list-style-type: none"> • Use screening materials for exterior trash and storage areas, service yards, loading docks and ramps, wood service poles, electric and gas meters, irrigation back flow prevention devices, and transformers that are substantial, durable, opaque, and well designed. • Integrate the design of fencing, sound walls, carports, trash enclosures, rooftop screening, and similar site elements into the building design and construct with similar materials.
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Signage. Signs and sign packages are reviewed through a separate process. All signs shall adhere to the Unified Development Code (UDC) and/or the Sign Package for the site.

Design standards are met.

5. Lighting. Site Lighting is reviewed through a separate process. All lighting including architectural lighting and building light fixtures shall adhere to the UDC.

Interior and exterior lighting design standards are met. Parking lot lighting is existing.

6. Existing Structures. All additions and exterior renovations to existing structures shall advance such structures toward further compliance with the provisions of Section 405.04.010(D) of the Unified Development Code. Exterior additions shall be incorporated into one (1) cohesive design with the existing structure.

N/A

- E. Specific Requirements For The Chesterfield Valley. These requirements for Chesterfield Valley are to be applied to commercial and industrial development in addition to addressing all other applicable design standards in the UDC.

<p>Facades Design standards are met; See plans attached.</p>	<ul style="list-style-type: none"> • Utilize architectural elements from the front facade on the side and rear of the structure. • Utilize accent lighting and avoid flood lighting for facades of buildings facing I-64/US 40. • Screen trash enclosures and construct with materials consistent to the building.
<p>Storage N/A</p>	<ul style="list-style-type: none"> • Screen outdoor storage of goods, equipment or automobiles for sale or service from I-64/US 40.
<p>Utilities Design standards are met.</p>	<ul style="list-style-type: none"> • Install all new and existing site utilities underground.
<p>Parking The existing parking lot is being utilized.</p>	<ul style="list-style-type: none"> • Locate parking primarily to the side or rear of any building facade facing I-64/US 40 or along North Outer 40. • Screen loading areas and construct with material consistent to the building.



SAINT LOUIS COUNTY
Spirit of St. Louis Airport

February 20, 2025

Woolpert
Attn.: Adam Acree
720 South Colorado Boulevard, Suite 1200-S
Glendale, CO 80246

RE: Spirit of St. Louis Air Park 18600 Edison Ave (West Terminal)

Dear Mr. Acree,

The Airport has reviewed sheets C-100 thru C-500 (10 sheets) as well as A-912 and A-913, all dated 2/21/25 for the above referenced project. The Airport has no objections to the improvements shown.

Regards,

Justin Ryder
Airport Engineer at Spirit of St. Louis Airport
Saint Louis County
18270 Edison Avenue
Chesterfield, MO 63005
636-532-2222

**OPPORTUNITY
CENTRAL**



Feb, 21st 2025

**United States
Department of
Agriculture**

Animal and Plant
Health Inspection
Service

Wildlife Services

18004 Edison Ave
Chesterfield, MO 63005
816-602-0672 (office)

To Whom It May Concern,

USDA Wildlife Services staff have reviewed the document submitted by the City of Chesterfield, specifically the Landscaping Plan (Point 19) and Chapter 405 of the UDC. Though the airport environment is not specifically listed as a “special or unusual site” per (405.04.020 (N)), special considerations should be made given the proximity to the AOA. Trees can provide attractive habitat for hazardous wildlife in the form of food or shelter. The majority of bird species involved in strikes at KSUS according to the strike record are attracted to trees. Wildlife attractants should be considered when creating a landscaping plan for the West Terminal as is required by federal regulation. Per AC 150/5200-33C (Section 2.8.2.1), "Vegetation that produces seeds, fruits, or berries, or that provides dense roosting or nesting cover should not be used".

The primary purpose of an airport is to provide a safe environment for aviation, and all other considerations must be secondary. The airport is obligated by federal regulations (advisory circulars) to limit habitat that may attract hazardous wildlife. USDA recommends utilizing only non-attractive, easily manageable grasses and/or rock in landscape situations. The use of trees, shrubs, or ornamental vegetation increases risk of attracting hazardous wildlife.

Dan Durbin
Wildlife Specialist & STL Team Lead
FAA Qualified Airport Biologist
United States Department of Agriculture
Daniel.Durbin@usda.gov



APHIS Protecting American Agriculture

Equal Opportunity Employer

WEST TERMINAL

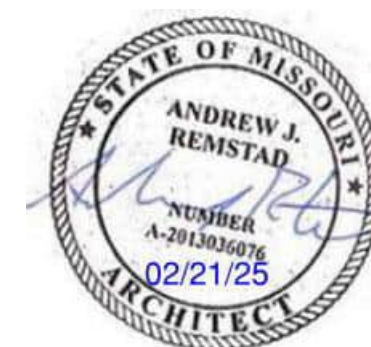
SPIRIT OF ST. LOUIS AIRPORT

ISSUED FOR PERMIT - 02/21/2025

WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
831 WILDWOOD DRIVE
SUITE 101
JEFFERSON CITY MO 65109
800.414.1064

100%
SUBMITTAL

**ISSUED FOR PERMIT
NOT FOR
CONSTRUCTION**



ISSUANCE SCHEDULE NUMBER	DESCRIPTION	DATE	ISSUED FOR BID	ISSUED FOR PERMIT
1		02/21/2025		
2				

SPIRIT OF ST. LOUIS AIRPORT
WEST TERMINAL
18600 EDISON AVENUE, CHESTERFIELD, MO 63005

PROJECT NO: 10019117
DATE ISSUED: 11/05/2024
DESIGNED BY: AMA
DRAWN BY: RCS
CHECKED BY: AJR

SHEET NAME:
COVER SHEET

SHEET NO:

G-001

PROJECT TEAM

Architect
Woolpert
931 Wildwood Dr, Suite 101
Jefferson City, MO 65109
Attn: Andy Remstad

Civil Engineering
EFK Moen
13523 Barrett Parkway Dr, Suite 250
St. Louis, MO 63021
Attn: John Huebbe

MEP Engineering
Wilson & Company
800 East 101st Terrace, Suite 200
Kansas City, MO 64131
Attn: Marc Hess
Attn: Clayton Abbott

Structural Engineering
The Vertex Companies, LLC
4049 Pennsylvania Avenue Suite 203
Kansas City, MO 64111
Attn: Sam McGlamery

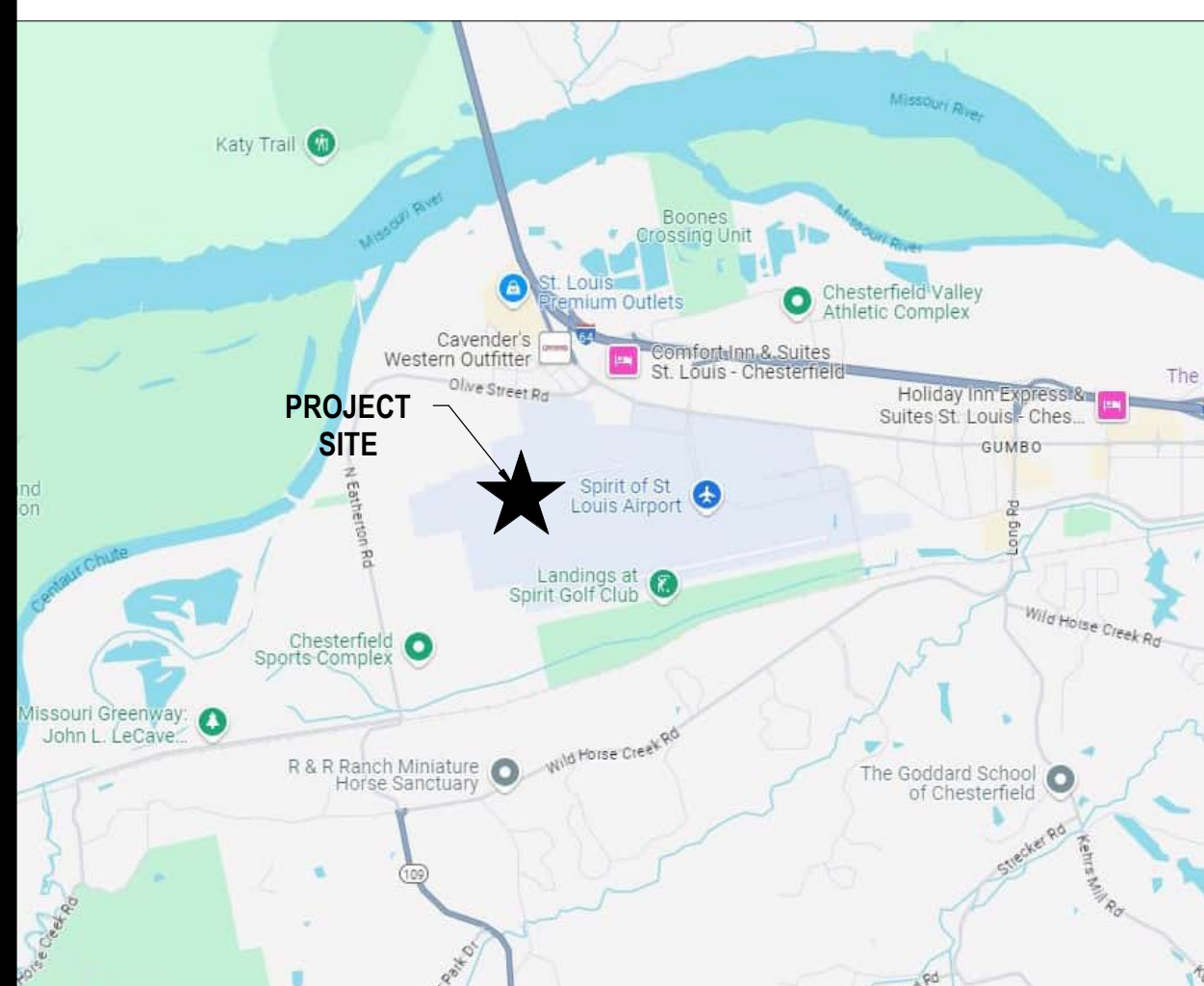
PROJECT IMAGE



SHEET INDEX

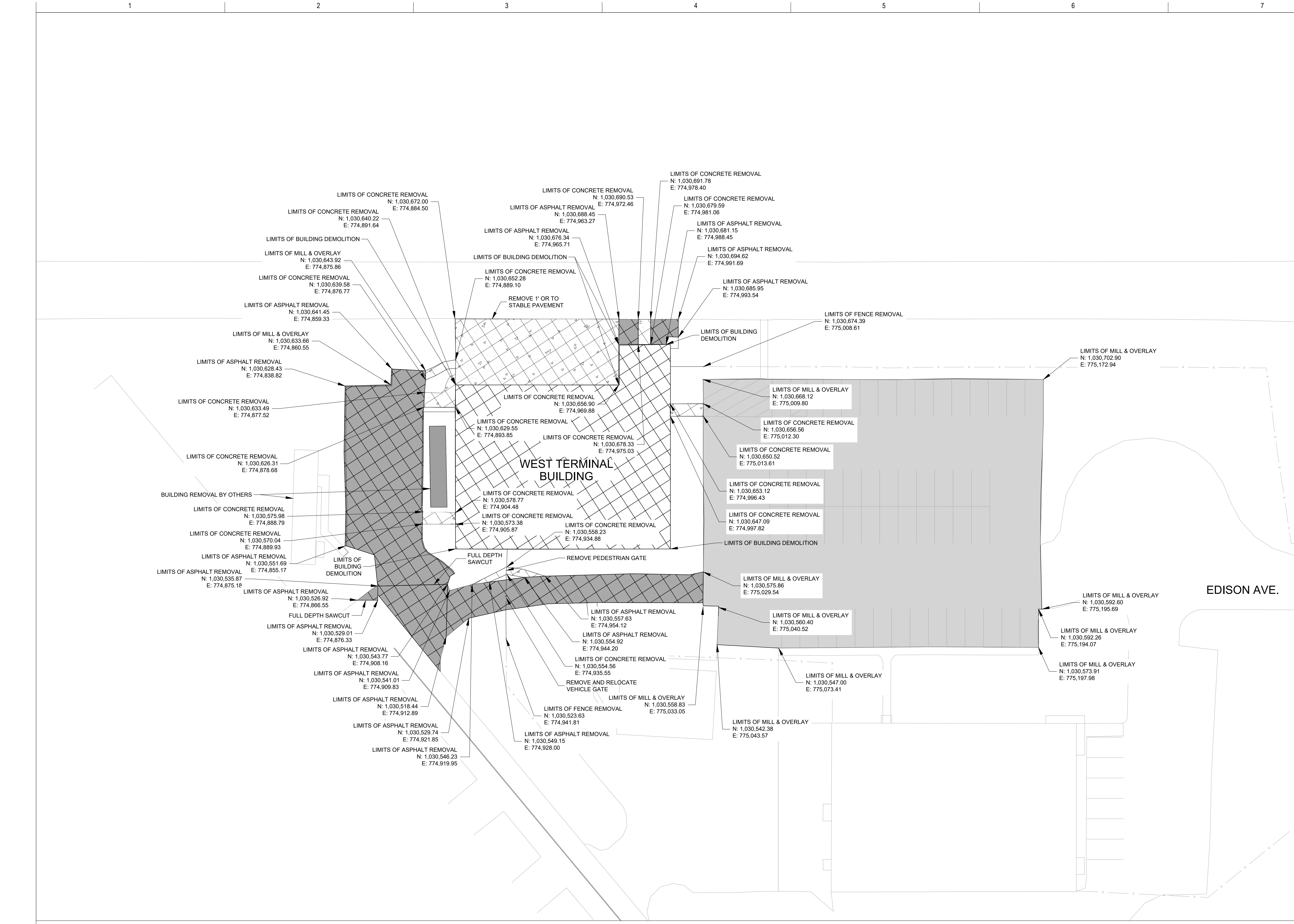
SHEET NUMBER	SHEET NAME
GENERAL	
G-001	COVER SHEET
G-002	CIVIL LEGEND
G-003A	GENERAL NOTES
G-003B	GENERAL NOTES
G-004	QUANTITIES
G-005	SURVEY
G-006	GEOTECHNICAL INVESTIGATION
G-021	BORE LOGS
G-050	CONSTRUCTION SAFETY OVERALL PHASING PLAN
G-051	CONSTRUCTION SAFETY NOTES AND DETAILS
G-052	CONSTRUCTION PHASING PLAN
G-053	CONSTRUCTION PHASING PLAN
G-070	ENVIRONMENTAL PLAN
G-100	CODE STUDY
CIVIL	
C-100	SITE DEMOLITION PLAN
C-101	SITE UTILITIES DEMOLITION PLAN
C-200	GEOMETRIC PLAN
C-201	HANGAR BUILDING GEOMETRIC PLAN
C-202	SITE PHOTOMETRIC PLAN
C-220	HANGAR DRIVEWAY TYPICAL SECTIONS
C-300	GRADING PLAN
C-301	CIVIL DETAILS
C-302	CIVIL DETAILS
C-303	CIVIL DETAILS
C-400	GRADING AND DRAINAGE PLAN
C-500	PROPOSED UTILITIES PLAN
C-501	SITE PLAN WITH WATER, STORM AND SEWER UTILITIES AND PROPOSED GRADING
C-600	TERMINAL HANGAR PAVEMENT DRIVEWAY JOINT PLAN
C-800	WEST TERMINAL EROSION CONTROL PLAN AND DETAILS
E-200	WEST TERMINAL ELECTRICAL SITE PLAN AND DETAILS
STRUCTURAL	
S-000	GENERAL NOTES
S-001	STATEMENT OF SPECIAL INSPECTIONS
S-002	TYPICAL CONCRETE DETAILS
S-003	TYPICAL LT GAGE DETAILS
S-004	TYPICAL STEEL FRAMING DETAILS
S-005	TYPICAL STEEL DECKING DETAILS
S-200	SECTIONS & DETAILS
S-201	FOUNDATION PLAN
S-220	ROOF FRAMING PLAN
S-300	BRACED FRAME DETAILS
S-301	EXTERIOR ELEVATIONS
S-600	FRAMING DETAILS 601-625
ARCHITECTURE	
A-001	SYMBOLS AND ABBREVIATIONS
A-002	PARTITION AND ROOF TYPES
A-100	SLAB FLOOR PLAN
A-101	FIRST FLOOR PLAN
A-111	FIRST FLOOR REFLECTED CEILING PLAN
A-121	ROOF PLAN
A-201	BUILDING ELEVATIONS
A-211	COLORLED BUILDING ELEVATIONS
A-301	BUILDING SECTIONS
A-311	WALL SECTIONS
A-312	WALL SECTIONS
A-401	ENLARGED RESTROOM PLAN, ELEVATIONS AND SCHEDULE
A-402	ENLARGED RECEPTION AND SNACK COUNTER PLAN AND DETAILS
A-451	INTERIOR ELEVATIONS AND CASEWORK DETAILS
A-501	EXTERIOR DETAILS
A-511	CEILING DETAILS
A-521	ROOF DETAILS
A-601	DOOR SCHEDULE & TYPES
A-602	DOOR DETAILS
A-621	STOREFRONT ELEVATIONS AND DETAILS
A-701	FINISH & EQUIPMENT PLAN, SCHEDULES, AND DETAILS
A-801	SIGNAGE PLAN, SCHEDULE, AND DETAILS
FIRE PROTECTION	
FP-101	FIRE PROTECTION PLAN
PLUMBING	
P-001	PLUMBING GENERAL NOTES & LEGENDS
P-101	PLUMBING WASTE & VENT PLAN
P-102	PLUMBING DOMESTIC WATER PLAN
P-103	PLUMBING ROOF PLAN
P-401	ENLARGED PLUMBING PLAN
P-501	PLUMBING DETAILS
P-601	PLUMBING SCHEDULES
MECHANICAL	
M-001	MECHANICAL GENERAL NOTES & LEGENDS
M-101	MECHANICAL HVAC PLAN
M-102	MECHANICAL ROOF PLAN
M-501	MECHANICAL DETAILS
M-601	MECHANICAL SCHEDULES
ELECTRICAL	
E-001	ELECTRICAL GENERAL NOTES & LEGENDS
E-101	ELECTRICAL LIGHTING PLAN
E-102	ELECTRICAL POWER PLAN
E-103	ELECTRICAL SPECIAL SYSTEMS PLAN
E-104	ELECTRICAL FIRE ALARM PLAN
E-501	ELECTRICAL DETAILS
E-502	ELECTRICAL DETAILS
E-601	ELECTRICAL DIAGRAMS AND SCHEDULES

LOCATION MAP



VICINITY MAP





DEMOLITION LEGEND

	FULL DEPTH ASPHALT REMOVAL
	FULL DEPTH CONCRETE REMOVAL
	MILL & OVERLAY
	BUILDING/TERMINAL DEMOLITION

- ### DEMOLITION NOTES:
- GENERAL DEMOLITION NOTES:**
- DEMOLITION OF EXISTING PAVEMENTS SHALL BE PERFORMED WITHIN THE CONSTRUCTION PHASING PLAN PARAMETERS. SEE PHASING SHEETS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR MAY ELECT TO SAW ALTERNATE BUTT JOINT WIDTH TO ACCOMMODATE PAVING EQUIPMENT, SUBJECT TO APPROVAL OF THE RESIDENT ENGINEER. ADDITIONAL MATERIAL WILL NOT BE DIRECTLY PAID FOR AND WILL BE INCIDENTAL TO THE CONSTRUCTION OF THE BUTT JOINT.
 - ANY PAVEMENT DAMAGED DURING REMOVAL OUTSIDE THE PROPOSED REMOVAL LIMITS SHALL BE SQUARED OFF TO THE SATISFACTION OF THE ENGINEER. ALL COSTS ASSOCIATED WITH THE ADDITIONAL REMOVAL AND RECONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - FULL DEPTH PAVEMENT REMOVAL INCLUDES THE REMOVAL OF ANY UNDERLYING ASPHALT PAVEMENT AND STABILIZED BASE LAYERS.
 - UNCLASSIFIED EXCAVATION INCLUDES THE REMOVAL AND DISPOSAL OF STABILIZED SOILS.
 - CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION AND LANDSCAPING (TREES, BUSHES, BOLLERS, ROCK BEDS, ETC.) LOCATED WITHIN PROJECT LIMITS, REGARDLESS OF WHETHER THE ITEM IS SHOWN OR NOT SHOWN ON THE PLANS. CONTRACTOR SHALL THOROUGHLY INSPECT SITE PRIOR TO BID TO DETERMINE THE EXTENTS OF EXISTING VEGETATION AND LANDSCAPING. REMOVAL SHALL BE IN ACCORDANCE WITH P-151 CLEARING AND GRUBBING. IF ANY TREES, BUSHES, AND LANDSCAPING ARE TO REMAIN IN PLACE THEY ARE TO BE PROTECTED. SUCH CASES WILL BE CALLED OUT IN THE PLANS IF ANY.
 - AT THE ENGINEER'S DIRECTION, ANY MATERIAL DESIRED BY THE AIRPORT TO BE SALVAGED SHALL BE NEATLY STACKED ON PALLETS, SECURED, AND STORED IN A LOCATION DETERMINED BY THE AIRPORT. ALL COSTS TO SALVAGE AND STORE MATERIALS SHALL BE INCIDENTAL TO THE RESPECTIVE DEMOLITION BID ITEM.
 - FOR ON-SITE STOCKPILE LOCATIONS FOR DURATION OF THE PROJECT ONLY, THE LOCATION SHALL BE CONSULTED WITH THE ENGINEER AND AIRPORT. MATERIAL DISPOSED OFF SITE SHALL BE DISPOSED AT A SITE DETERMINED BY THE CONTRACTOR.
 - ALL DEMOLITION ITEMS THAT DO NOT HAVE A SPECIFIC BID ITEM ARE INCIDENTAL TO SECTION 202 ITEMS.
 - ALL REMOVAL NORTHINGS AND EASTINGS ARE APPROXIMATE.
 - SEE SHEET CD101 FOR UTILITY DEMOLITION PLAN.
 - DEMOLITION WORK SHALL INCLUDE THE REMOVAL AND BACKFILL OF ALL UTILITIES INCLUDING UTILITIES NOT SHOWN ON THE PLANS. THESE ARE STILL REQUIRED TO BE REMOVED AND PAID FOR UNDER THE TERMINAL DEMOLITION PAY ITEM AT NO ADDITIONAL COST TO THE OWNER (UNLESS NOTED OTHERWISE). ALL UTILITY JUNCTION BOXES, ELECTRICAL BOXES/MANHOLES AND ASSOCIATED TANKS/PUMPS THAT MUST BE REMOVED FOR THE PROJECT'S DEVELOPMENT ARE ALSO TO BE REMOVED AS A PART OF THIS WORK.
- DEMOLITION NOTES:**
- DEMOLITION TO INCLUDE REMOVAL AND BACKFILL OF ALL STRUCTURES (BUILDINGS) ON AND AROUND THE PROPERTY SHOWN ON THIS PROPERTY INCLUDING THE STRUCTURE AND ITS COMPONENTS.
 - ALL MATERIALS (SALVAGEABLE, NON-SALVAGEABLE) SHALL BE DISPOSED OF AS APPROVED BY THE ENGINEER IN WRITING. TEMPORARY OR SHORT-TERM DISPOSAL STOCKPILES ARE PERMITTED WITH APPROVAL FROM THE ENGINEER. BURIAL, BURNING, OR USE OF BLASTING FOR DEMOLITION OR DISPOSAL OF MATERIALS ON-SITE IS STRICTLY PROHIBITED. IN NO CASE SHALL REGULATED MATERIALS BE REMOVED AND DISPOSED WITHOUT REQUIRED DOCUMENTATION.
 - CONTRACTOR TO TEST FOR REGULATED (E.G. ASBESTOS OR LEAD BASED PAINTS) OR CONTAMINATED SOILS (E.G. FUEL IN SOILS) AND PERFORM ANY NECESSARY REMEDIATION PRIOR TO DEMOLITION.
 - SALVAGEABLE MATERIALS (ITEMS) INCLUDING BUT NOT LIMITED TO MERCHANTABLE TIMBER MAY BE PROPERTY OF THE CONTRACTOR WHEN IN ACCORDANCE WITH THE BUILDING DEMOLITION ITEM. OTHERWISE, IT SHALL BE DISPOSED OFF SITE AS NON-SALVAGEABLE MATERIAL.
 - MILL 2" OF EXISTING ASPHALT AND OVERLAY WITH 2" TYPE "C" BITUMINOUS ASPHALT WEARING SURFACE. ADJUST THICKNESS OF BOTH MILL AND OVERLAY ALONG WESTERN EDGE OF PARKING LOT, ADJACENT TO NEW RAISED SIDEWALK/CURB AREA TO MATCH PROPOSED TOP OF PAVEMENT/BOTTOM OF CURB ELEVATIONS.



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NOT FOR
CONSTRUCTION**



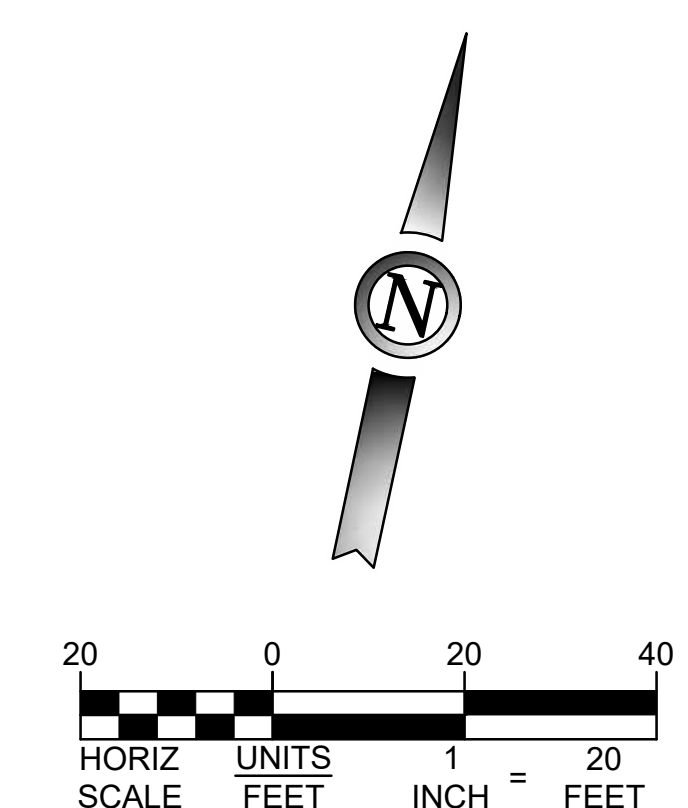
ISSUANCE SCHEDULE NUMBER	DATE	DESCRIPTION
1	2/21/25	ISSUED FOR BID - K.U.S.

**SPIRIT OF ST. LOUIS AIRPORT
WEST TERMINAL**

PROJECT NO: LOC-SUS-23-01
 DATE ISSUED: 02/21/2025
 DESIGNED BY: J.P.H.
 DRAWN BY: Z.J.W.
 CHECKED BY: C.D.L.

SHEET NAME:
**SITE DEMOLITION
 PLAN**

SHEET NO:
C-100



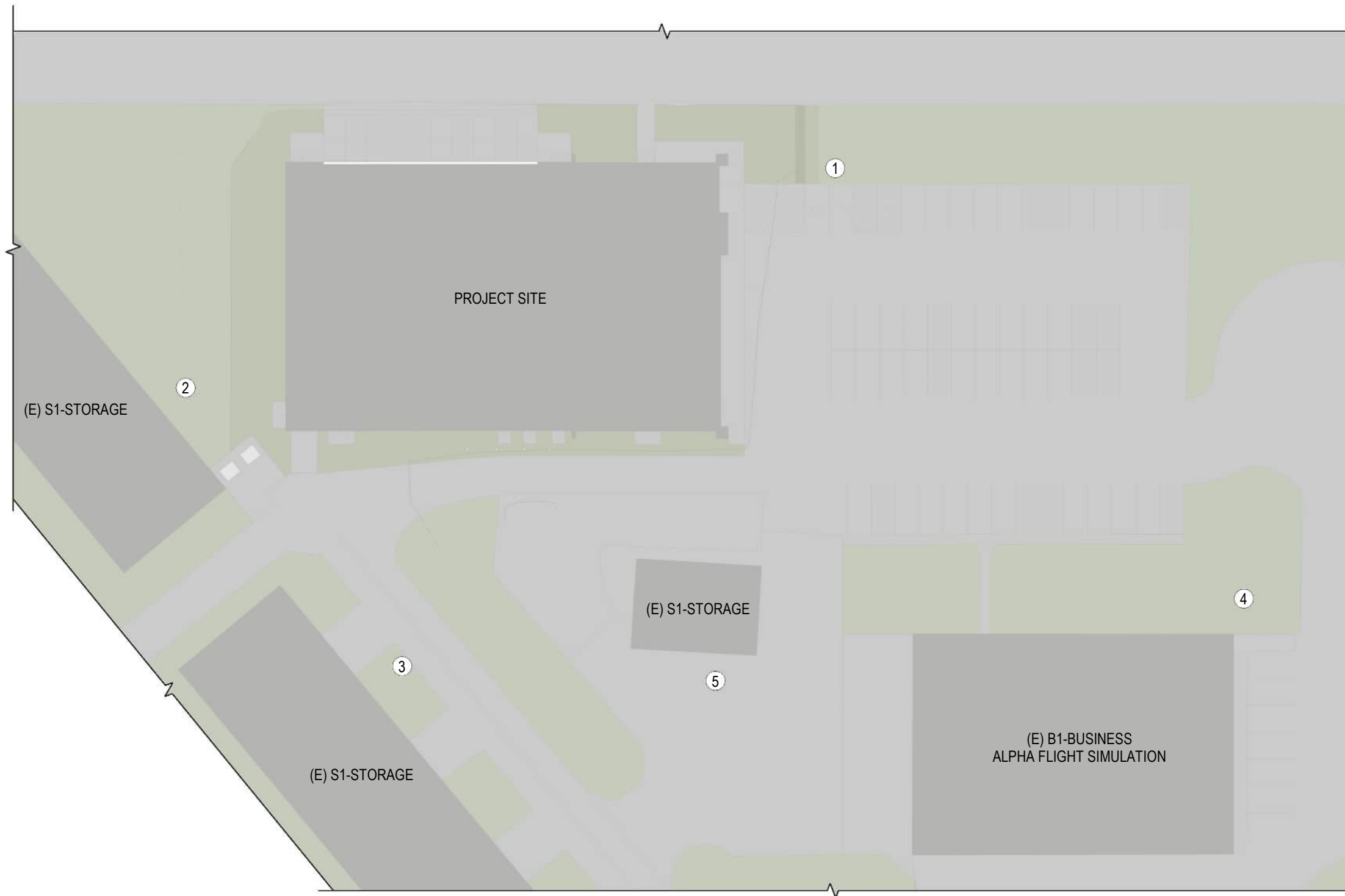


IMAGE - 1



IMAGE - 2



IMAGE - 3




IMAGE - 4



IMAGE - 5



A1 ADJACENT USES AND SITE PHOTOS
NTS


WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 931 WILDWOOD DRIVE
 SUITE 101
 JEFFERSON CITY MO 65109
 800.414.1044

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

**SPIRIT OF ST. LOUIS
 AIRPORT
 WEST TERMINAL**

18600 EDISON AVENUE,
CHESTERFIELD, MO 63005

SHEET NAME:
**ADJACENT USES AND
SITE PHOTOS**

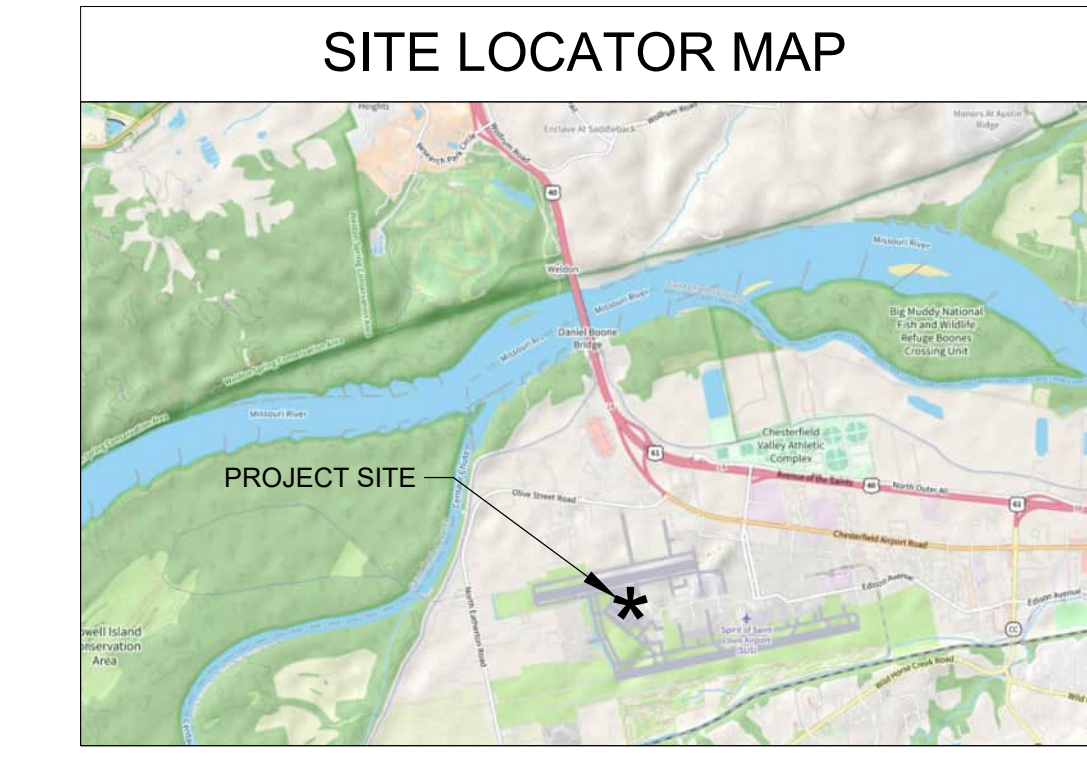
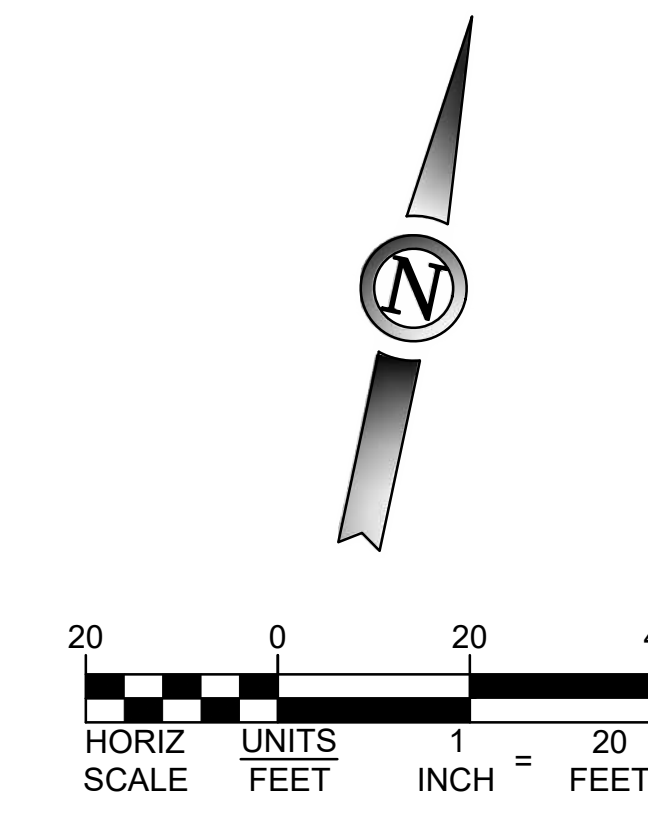
DATE:
09/26/24

PROJECT #:
10019117

SHEET #:
A-906

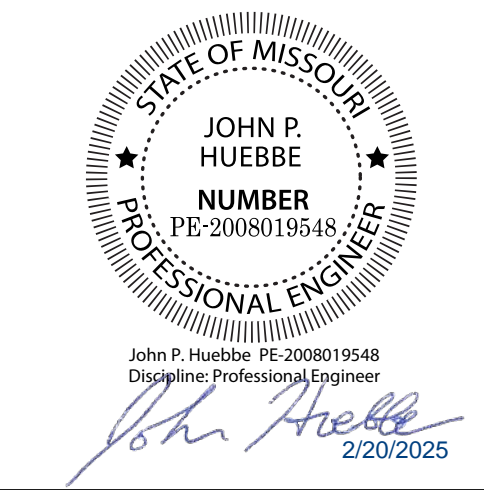
SITE INFORMATION:

PARCEL ACREAGE: 96.73 AC
 SITE ADDRESS: 18600 EDISON AVE, CHESTERFIELD, MO 63005
 OWNER: SPIRIT OF ST. LOUIS AIRPORT / ST. LOUIS COUNTY, 18270 EDISON AVE, CHESTERFIELD, MO 63005
 LOCATOR NUMBER: 17W240075
 CURRENT ZONING: M3 - PLANNED INDUSTRIAL DISTRICT
 ORDINANCE NO.: 1430
 CITY: CHESTERFIELD
 ZIP CODE: 63005
 FEMA FLOOD MAP: 29189C0145K (REVISED 2/3/2015) (ZONE X)
 SCHOOL DISTRICT: ROCKWOOD 8
 FIRE DISTRICT: MONARCH
 WATERSHED: MISSOURI RIVER
 SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER
 CABLE SERVICE: CHARTER SPECTRUM
 ELECTRIC SERVICE: AMEREN MISSOURI
 GAS SERVICE: SPIRE ENERGY
 PHONE SERVICE: AT&T
 WATER SERVICE: MISSOURI AMERICAN WATER COMPANY
 BUILDING TYPE: AIRCRAFT STORAGE & OFFICE
 BUILDING CONST.: STEEL FRAME

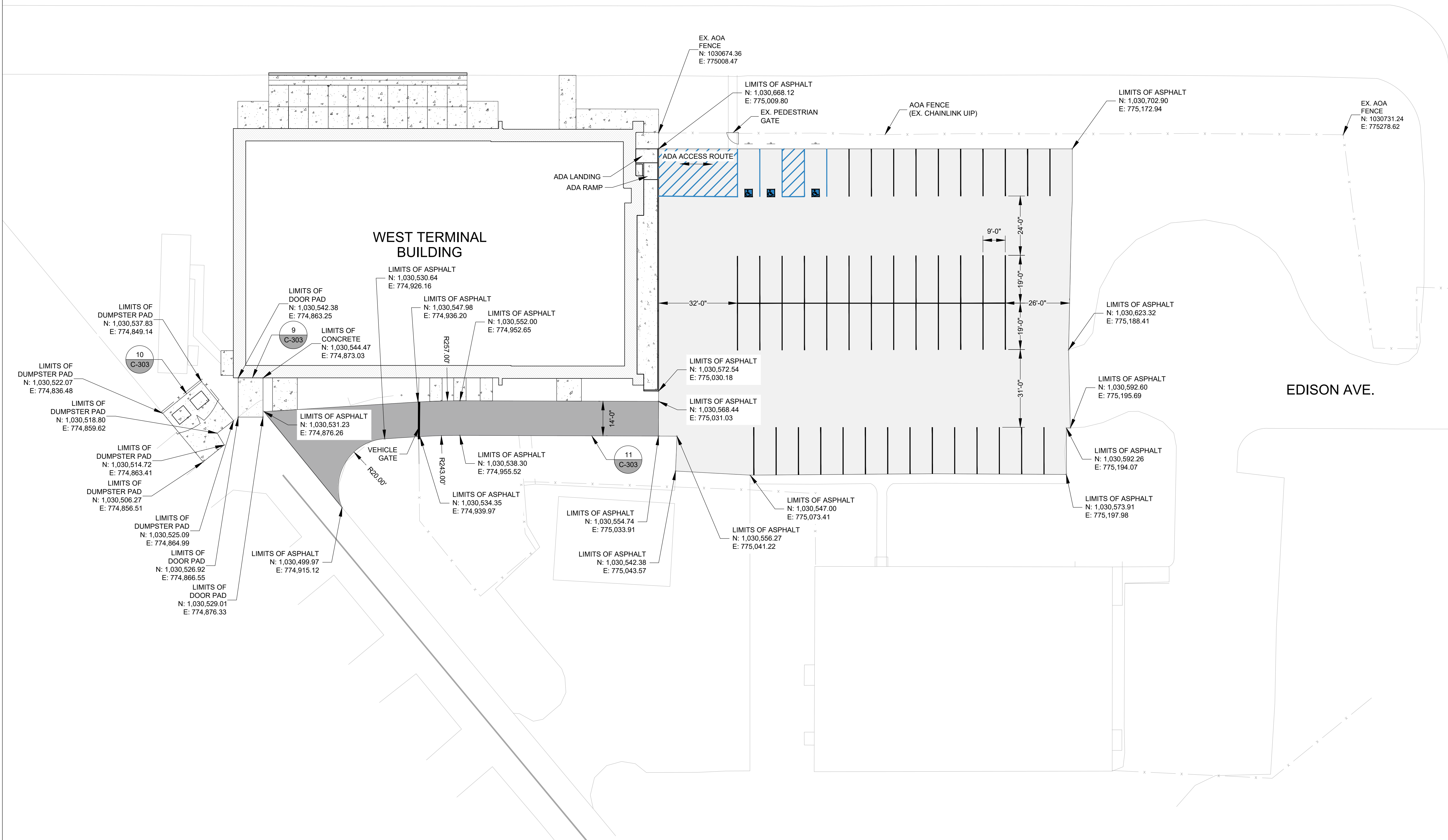


SITE LEGEND

- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT (REHABILITATION 2')
- PROPOSED ASPHALT PAVEMENT FULL SECTION
- PROPOSED FENCE



PRELIMINARY NOT FOR CONSTRUCTION



CITY OF CHESTERFIELD DEPARTMENT OF PLANNING
 SCRIPT FOR A SITE DEVELOPMENT PLAN

{ LEGAL DESCRIPTION WITH TOTAL ACREAGE }

_____, the owner(s) of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03._____-04-E, M-3 of City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature): _____
 (Name Typed): _____

State of MISSOURI)
) SS.
 County of ST. LOUIS)

On this _____ day of _____, A.D., 20____, before me personally appeared _____, to me known, who, being by me sworn in, did say that he/she is the _____ of _____ a corporation in the State of Missouri, and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said _____ (Officer of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my Office in _____, the day and year last above written.
 (County and State)

My term expires _____.
 (Notary Public)

This Site Development Plan was approved by the City of Chesterfield Planning Commission and duly verified on the _____ day of _____, 20____, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP
 Director of Planning
 City of Chesterfield, Missouri

Vickie McGownd, City Clerk
 City of Chesterfield, Missouri

GENERAL SITE NOTES:

- TOPOGRAPHIC SURVEY BY WOOLPERT / JUSTIN G. NESS
- PRESENT ZONING DISTRICT: M-3 PLANNED INDUSTRIAL
- ORDINANCE NO.: 1430
- SUBJECT PROPERTY LIES WITHIN FLOOD ZONE SHADED X (AREAS WITH REDUCED FLOOD RISK DUE TO LEVEE ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP 29189C0145K WITH EFFECTIVE DATE, REVISED 2/3/2015)
- BUILDING FLOOR AREA = HANGAR: 11,942 SF, OFFICE: 5,643 SF
 TOTAL BUILDING AREA = 17,585 SF (0.40 AC)
- FLOOR AREA RATIO: 0.40 AC / 96.72 AC = 0.004
- VEHICLE PAVEMENT AREA: 24,117 SF (0.55 AC)
- OPEN SPACE PERCENTAGE: [(96.72 - (0.40 + 0.55)) / 96.72] X 100 = 99 %
- SUBDIVISION NAME: SPIRIT OF ST. LOUIS AIRPARK
- LOT NUMBER: NONE
- PROPOSED USE: AIRPORT & HANGARS FOR STORAGE OF AIRCRAFT EQUIPMENT
- CONSTRUCTION TYPE: STEEL FRAME STRUCTURE
- MOST OF THE FENCE AT THE SITE IS EXISTING, A PEDESTRIAN TURNSTILE GATE AND A SECTION OF FENCE ON BOTH SIDES OF THE GATE WILL BE REPLACED TO CLOSE OFF THE AOA.
- NO WORK TO BE PERFORMED WITHIN ST. LOUIS COUNTY RIGHT OF WAY, PAVEMENT REHABILITATION SHALL MEET THE PARKING LOT EDGE WITH THE EXISTING PAVEMENT EDGE AT EDISON AVE CUL-DE-SAC
- THERE IS AN AREA DESIGNATED FOR TRASH WITHIN A FENCE ON THE SOUTHWEST SIDE OF THE HANGAR BUILDING.
- PROPOSED SANITARY TO FLOW TO THE SOUTH INTO EXISTING MSD STRUCTURE AND A 8" GRAVITY MAIN.
- PARKING CALCULATIONS:
 REQUIRED PARKING (MINIMUM):
 AIRPORT: 2 SPACES FOR EVERY 3 EMPLOYEES ON THE MAXIMUM SHIFT (10 EMPLOYEES = 7 SPACES)
 PLUS
 5 SPACES FOR EVERY 1000 S.F. GFA OF LOBBY (5 X 571/1000 = 5 SPACES)
 TOTAL PERMITTED (MINIMUM): 12 SPACES
 TOTAL PERMITTED (MAXIMUM): N/A
 TOTAL PROVIDED: 52 (3 ACCESSIBLE)
 ACCESSIBLE PARKING: RANGE OF SPACES: 51 TO 75
 NO. OF ACCESSIBLE SPACES: 3
 NO. OF VAN SPACES: 1
- REQUIRED LOADING:
 GFA = 17,585 S.F.
 TOTAL REQUIRED: 1 - 10x40 LOADING SPACE (TABLE A: 5,000 TO 25,000 = 1 10'X40')
 TOTAL PROVIDED: 0 (REQUEST MODIFICATION. PLENTY OF ROOM IN THE PARKING LOT, EXCESS SPACES CAN BE USED FOR LOADING FOR ANY SPECIFIC CIRCUMSTANCES.)

ST. LOUIS COUNTY BENCHMARK:

BENCHMARK # 11122
 NAVD83(SLC2011A) ELEV = 465.32 FT (US)
 NAD83 ELEV = 465.47 FT (US)

CUT "L" ON THE NORTHERNMOST CORNER OF THE CONCRETE BASE FOR A METAL TRAFFIC SIGNAL CONTROL BOX SITUATED SOUTHEAST OF THE RIGHT TURN LANE FROM NORTHBOUND SPIRIT OF ST. LOUIS BOULEVARD ONTO EASTBOUND CHESTERFIELD AIRPORT ROAD, ROUGHLY 76 FEET EAST OF THE CENTERLINE OF SPIRIT OF ST. LOUIS BOULEVARD, 79 FEET SOUTH OF THE CENTERLINE OF CHESTERFIELD AIRPORT ROAD, AND 23 FEET WEST OF THE SOUTHWEST CORNER OF SPIRIT AIRPORT ENTRANCE SIGN.

SP MO EAST N=314831 E=2372994 METER
 ESTIMATED ROUGH NAD83 LAT=38.670196°(N+) LONG=90.645953°(W-)

GEOTECHNICAL ENGINEER'S STATEMENT:

TSI GEOTECHNICAL INC., AT THE REQUEST OF WOOLPERT, HAS PROVIDED GEOTECHNICAL SERVICES FOR THE PROJECT PROPOSED HERON. A GEOTECHNICAL INVESTIGATION TITLED "SPIRIT OF ST. LOUIS AIRPORT SUS WEST TERMINAL", 2024, PROJECT NO.: 20241090.00. OUR FINDINGS INDICATE THAT THE EARTH-RELATED ASPECTS ARE SUITABLE FOR THE DEVELOPMENT PROPOSED PURSUANT TO THE GEOTECHNICAL RECOMMENDATIONS SET FORTH IN OUR GEOTECHNICAL REPORT.

ANDREW DECLUE P.E.
 2/21/2025
 DATE

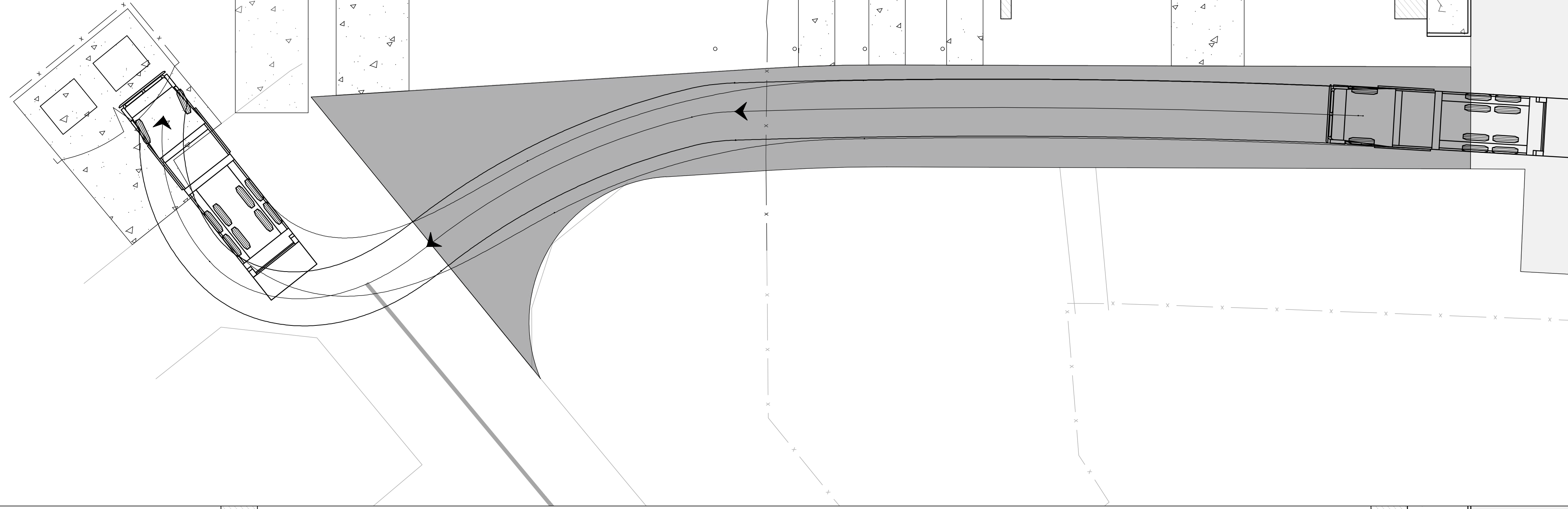
ISSUANCE SCHEDULE NUMBER	DATE	DESCRIPTION
1	2/21/25	ISSUED FOR BID - K.U.S.

SPIRIT OF ST. LOUIS AIRPORT WEST TERMINAL

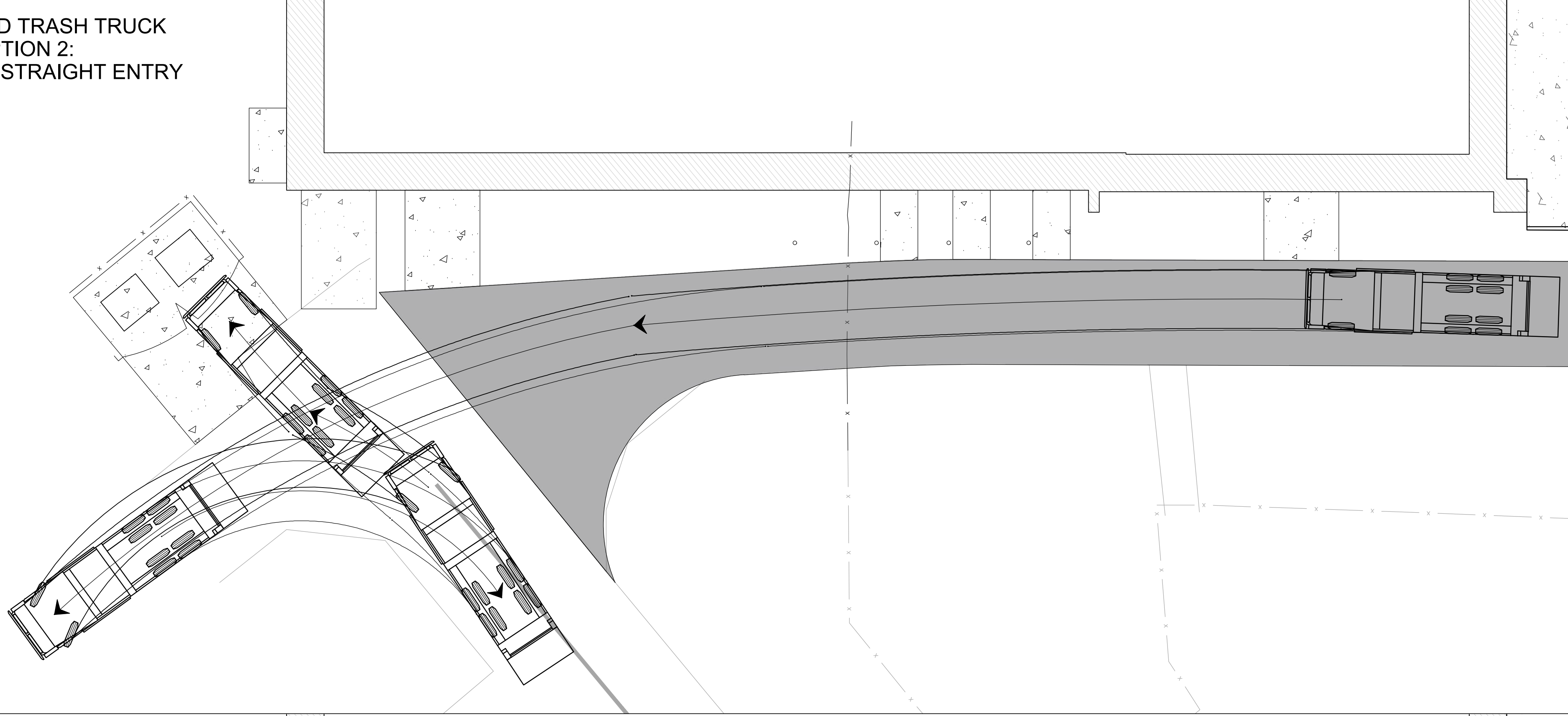
PROJECT NO: LOC-SUS-23-01
 DATE ISSUED: 02/21/2025
 DESIGNED BY: J.P.H.
 DRAWN BY: Z.J.W.
 CHECKED BY: C.D.L.

SHEET NAME:
 SITE PLAN
 SHEET NO:
A-912

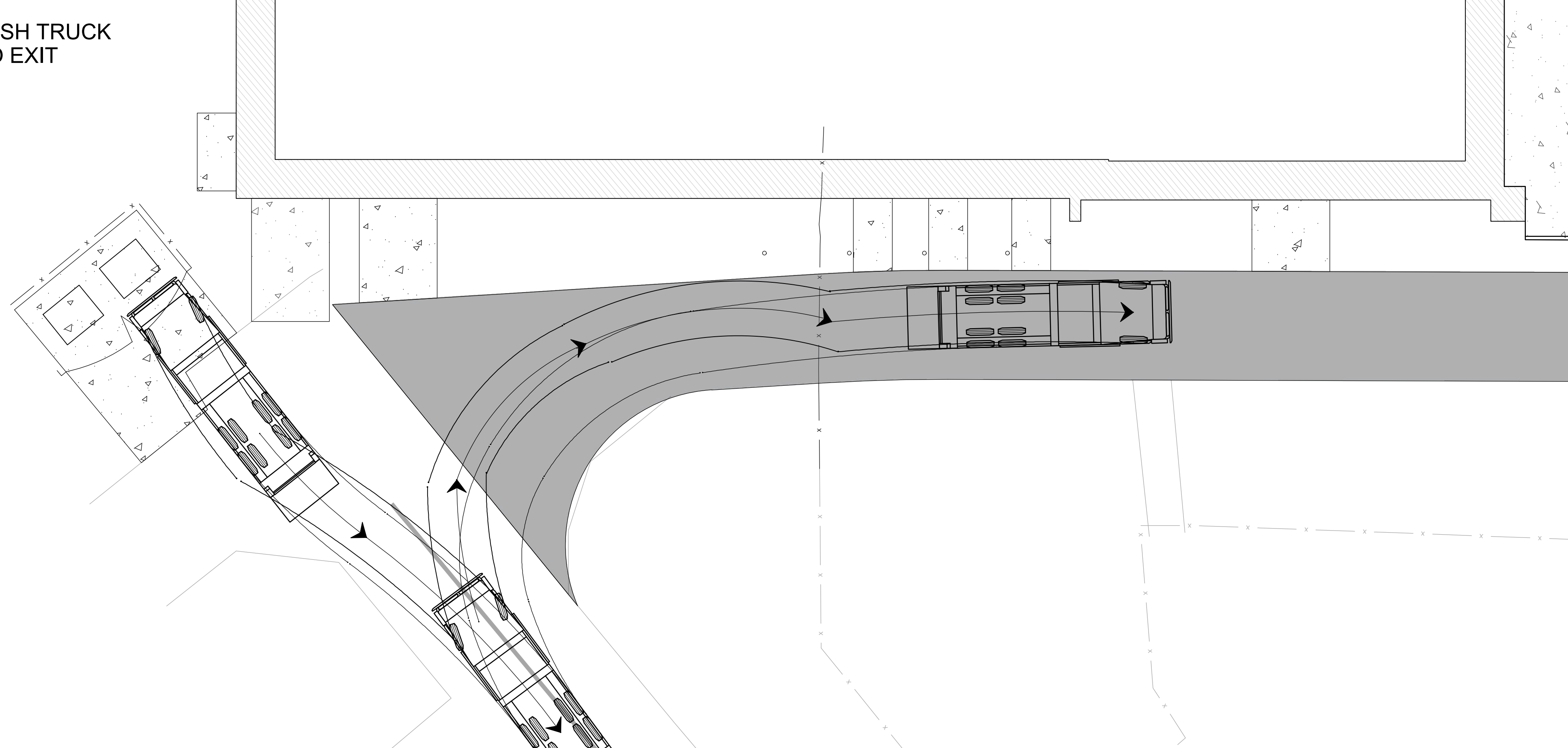
FRONT LOAD TRASH TRUCK
OPTION 1:
DIRECT ENTRY



FRONT LOAD TRASH TRUCK
OPTION 2:
REVERSE TO STRAIGHT ENTRY



FRONT LOAD TRASH TRUCK
REVERSE TO EXIT



WOOLPERT
ARCHITECTURE | ENGINEERING | GEOSPATIAL
831 WILDWOOD DRIVE
SUITE 101
JEFFERSON CITY, MO 65109
573.636.3200

STATE OF MISSOURI
JOHN P. HUEBBE
NUMBER
PE-2008019545
PROFESSIONAL ENGINEER
John P. Huebbe
2/20/2025

PRELIMINARY
NOT FOR
CONSTRUCTION



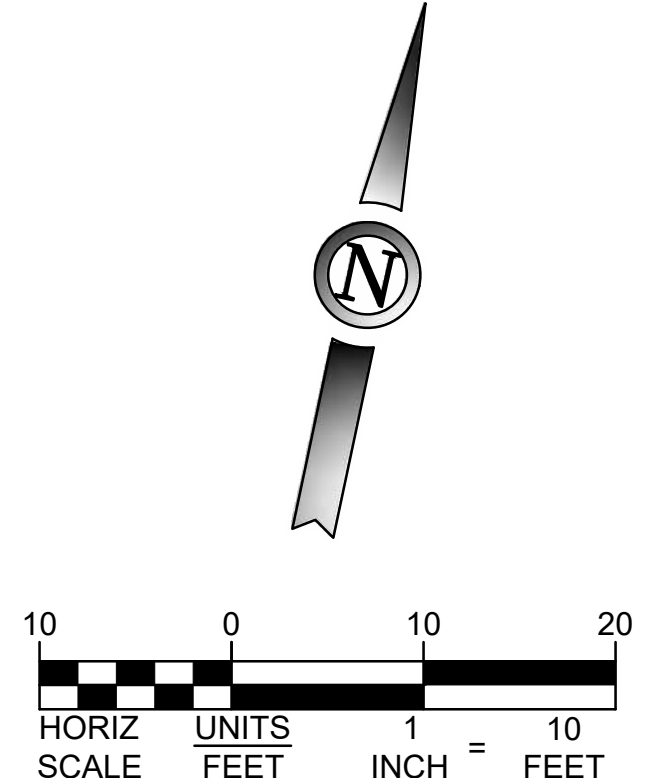
EFK Moen
Civil Engineering Design
13223 BARRETT PARKWAY DR.
SUITE 250
ST. LOUIS, MO 63021
314.394.3100

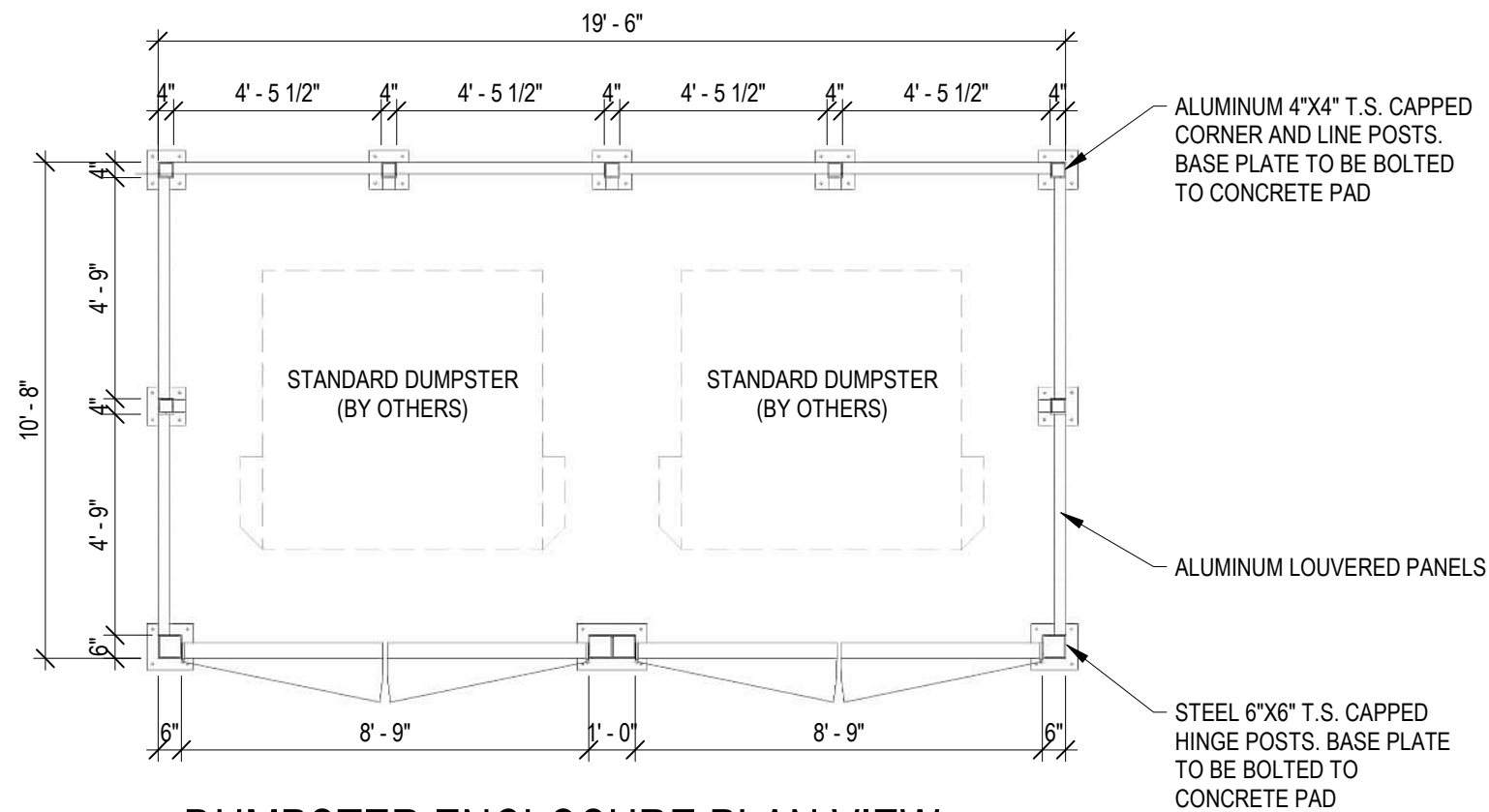
ISSUANCE SCHEDULE	NUMBER	DATE	DESCRIPTION
	1	2/21/25	ISSUED FOR BID - K.U.S.

PROJECT NO: LOC-SUS-23-01
DATE ISSUED: 02/21/2025
DESIGNED BY: J.P.H.
DRAWN BY: Z.J.W.
CHECKED BY: C.D.L.

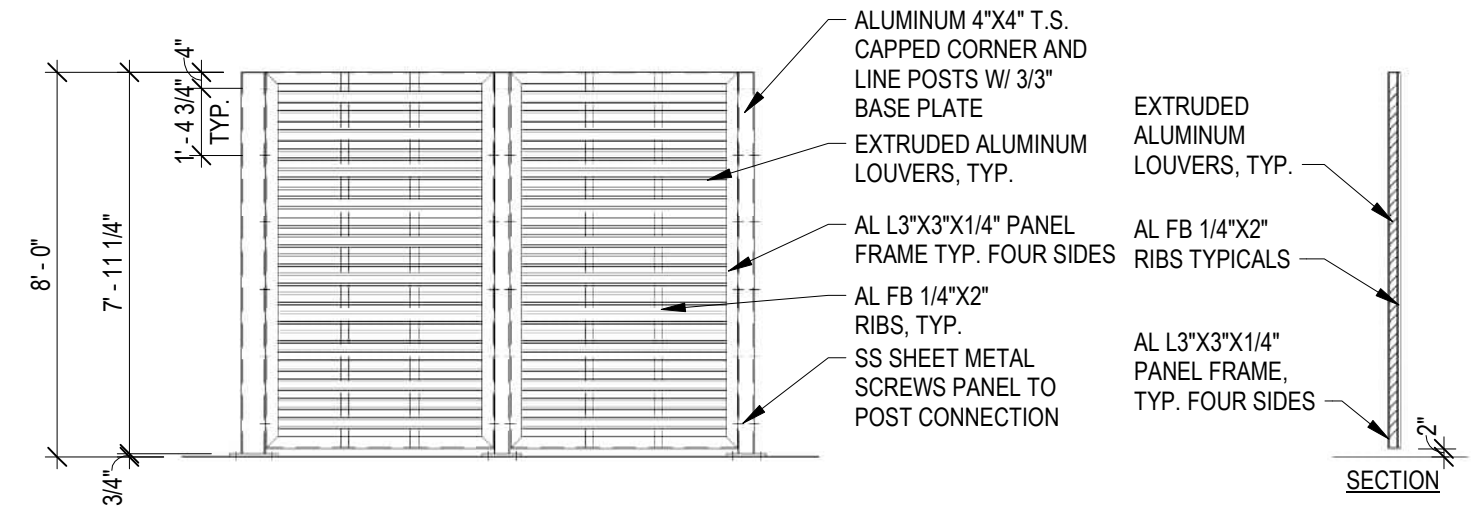
SHEET NAME:
**TRASH TRUCK
TURNING
TEMPLATE**

SHEET NO:
A-913

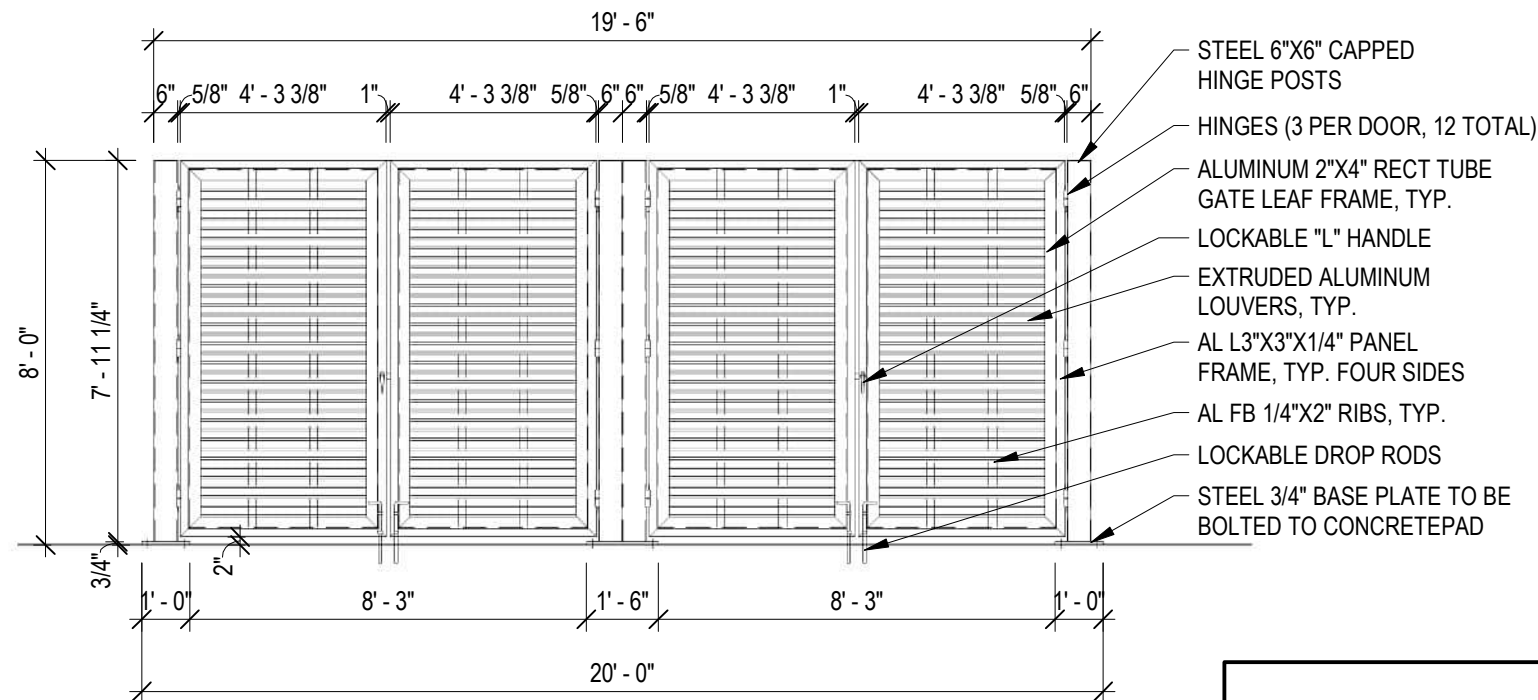




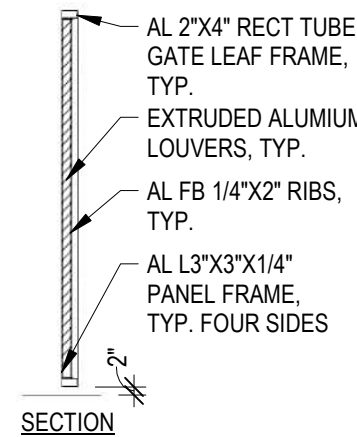
A2 DUMPSTER ENCLOSURE PLAN VIEW
1/4" = 1'-0"



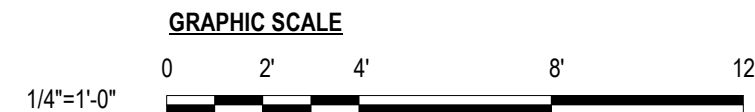
B2 DUMPSTER ENCLOSURE SIDE ELEVATION
1/4" = 1'-0"



A1 DUMPSTER ENCLOSURE FRONT ELEVATION
1/4" = 1'-0"



NOTE:
ENCLOSURE B.O.D. IS PLAMSHIELD LOUVERED DUMPSTER ENCLOSURE, CUSTOM SIZE.



 WOOLPERT ARCHITECTURE ENGINEERING GEOSPATIAL 931 WILDWOOD DRIVE SUITE 101 JEFFERSON CITY MO 65109 800.414.1044	PRELIMINARY NOT FOR CONSTRUCTION	SPIRIT OF ST. LOUIS AIRPORT WEST TERMINAL		DATE: 09/26/24
		18600 EDISON AVENUE, CHESTERFIELD, MO 63005	SHEET NAME: DUMPSTER SCREEN ENCLOSURE DETAILS	PROJECT #: 10019117

100%
 SUBMITTAL

**ISSUED FOR BID
 NOT FOR
 CONSTRUCTION**



A1 LANDSCAPE PLAN
 NTS

ISSUANCE SCHEDULE NUMBER	DATE	DESCRIPTION
C		

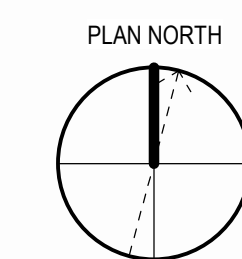
**SPRIT OF ST. LOUIS AIRPORT
 WEST TERMINAL**

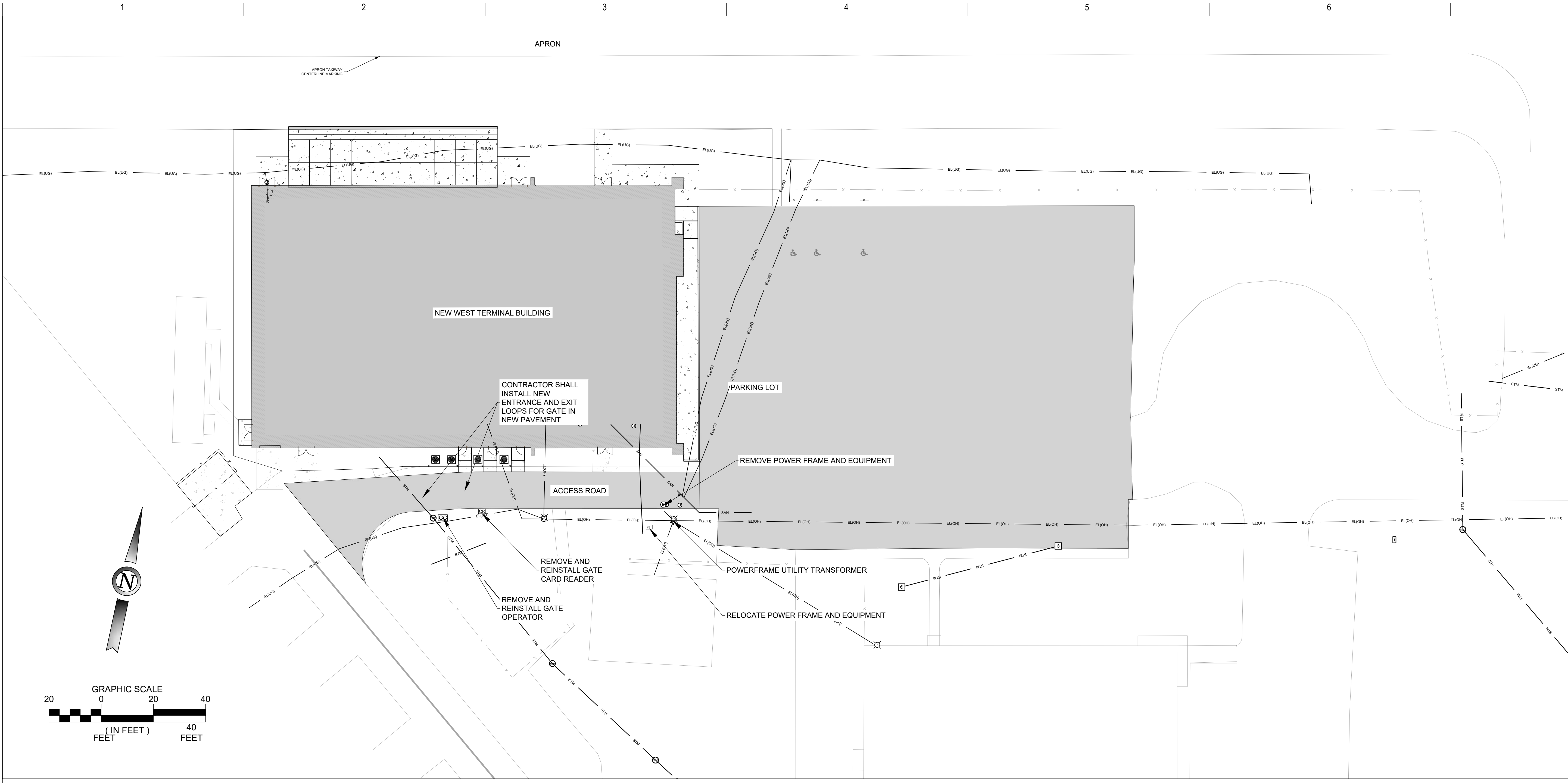
16600 EDISON AVENUE, CHESTERFIELD, MO 63005

PROJECT NO: 10019117
 DATE ISSUED: 09/24/2024
 DESIGNED BY: AMA
 DRAWN BY: RCS
 CHECKED BY: AJR

SHEET NAME:
 LANDSCAPE PLAN

SHEET NO:
A-911





**PRELIMINARY
 NOT FOR
 CONSTRUCTION**



ISSUANCE SCHEDULE
 DESCRIPTION
 NUMBER DATE
 1 2/21/25 ISSUED FOR BID - K.U.S.



1 EXISTING POWERFRAME TO BE RELOCATED
 N.T.S.

2 EXISTING ENCLOSURE
 N.T.S.

NOTES
 1. CONTRACTOR SHALL RELOCATE POWERFRAME EQUIPMENT TO LOCATION SHOWN ON PLANS. INSTALL EQUIPMENT ON NEW UNISTRUT RACK AND 5" CONCRETE FOUNDATION. CONTRACTOR SHALL INTERCEPT UTILITY POWER AND EXTEND TO NEW LOCATION. CONTRACTOR SHALL INTERCEPT GATE POWER AND RAMP LIGHTING POWER AND EXTEND TO NEW LOCATION. ALL WORK SHALL BE INCLUDED IN THE LUMP SUM BID ITEM UNIT PRICE FOR THE RELOCATION OF THE POWERFRAME.

**SPIRIT OF ST. LOUIS AIRPORT
 WEST TERMINAL**

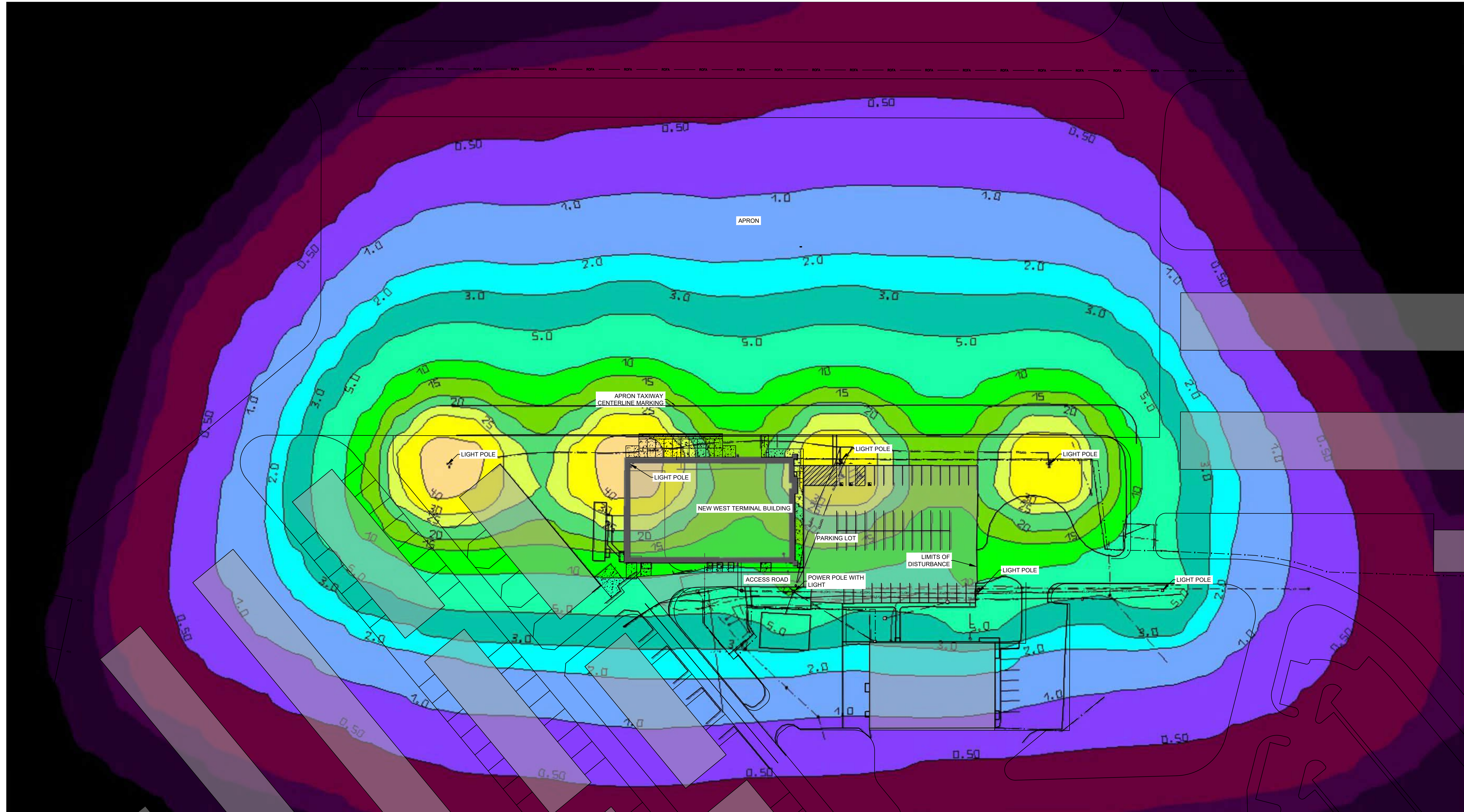
PROJECT NO: LOC-SUS-23-01
 DATE ISSUED: 02/21/2025
 DESIGNED BY: F.Z.D.
 DRAWN BY: F.Z.D.
 CHECKED BY: C.L.G.

SHEET NAME:
 WEST TERMINAL
 ELECTRICAL PLAN AND
 DETAILS

LEGEND

- EXISTING LIGHTING POLE
- EXISTING POWER POLE

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**



ISSUANCE SCHEDULE NUMBER	DATE	DESCRIPTION
1	2/21/25	ISSUED FOR BID - K.U.S.

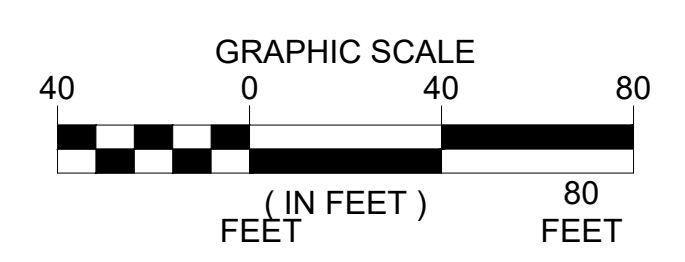
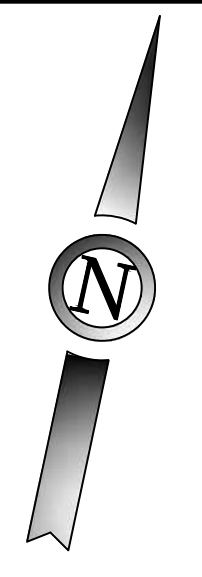
**SPIRIT OF ST. LOUIS AIRPORT
 WEST TERMINAL**

PROJECT NO: LOC-SUS-23-01
 DATE ISSUED: 02/21/2025
 DESIGNED BY: F.Z.D.
 DRAWN BY: F.Z.D.
 CHECKED BY: C.L.G.

SHEET NAME:
 SITE PHOTOMETRIC PLAN

SHEET NO:
C-202

**FOR
 REFERENCE
 ONLY**



GENERAL SHEET NOTES:


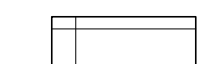
- A. REFER TO SHEET A-201 FOR EXTERIOR MATERIALS LEGEND.
- B. REFER TO SHEET A-621 FOR TYPICAL STOREFRONT ELEVATIONS AND WINDOW AND LOWER SCHEDULES.
- C. REFER TO SHEET A-601 AND A-602 FOR DOOR DETAIL SCHEDULE AND DETAILS.
- D. PROVIDE FLASHING & COUNTER-FLASHING AT ALL EXTERIOR OPENINGS.

SHEET KEYNOTES:

- 103 DOWNSPOUT, 3"x4", PAINT TO MATCH PEMB.
- 104 GUTTER, 6"W X 4.5"D, PAINT TO MATCH PEMB.
- 105 PLANTER, B.O.D. POTS PLANTERS & MORE, TOLGA MODERN PLANTER BOXES, 26"L X 16"W X 24"H, CHARCOAL GREY.
- 106 PLANTER, B.O.D. POTS PLANTERS & MORE, TOLGA MODERN PLANTER BOXES, 72"L X 16"W X 24"H, CHARCOAL GREY.
- 107 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
- 109 FIXED LADDER OVER PARAPET WALL.
- 111 4"x4" BOLLARD, PAINT SAFETY YELLOW, SEE STRUCTURAL DETAIL 317/SO.2.
- 117 METAL SUNSHADES WITH RECTANGULAR, 2"x12" BLADE PROFILES, MOUNT TO SFFIT ABOVE PER MFR RECOMMENDATION, B.O.D. CONSTRUCTION SPECIALTIES, LINEAR SUNSHADES, COLOR BLACK.
- 119 DIRECT MOUNT ROOF EQUIPMENT SCREEN, B.O.D. ARCHITECTURAL LOUVERS V6UNS-BLACK.

LEGEND:

EXTERIOR MATERIALS

-  FASTENED METAL PANELS; B.O.D. BERRIDGE "F" PANEL, 22 GA. EXPOSTED FASTENER PANELS, SYSTEM, COLOR TO MATCH PEMB.
-  MCM PANELS; B.O.D. CEI MATERIALS R3000

WINDOW GLAZING TYPES

-  INSULATED GLASS

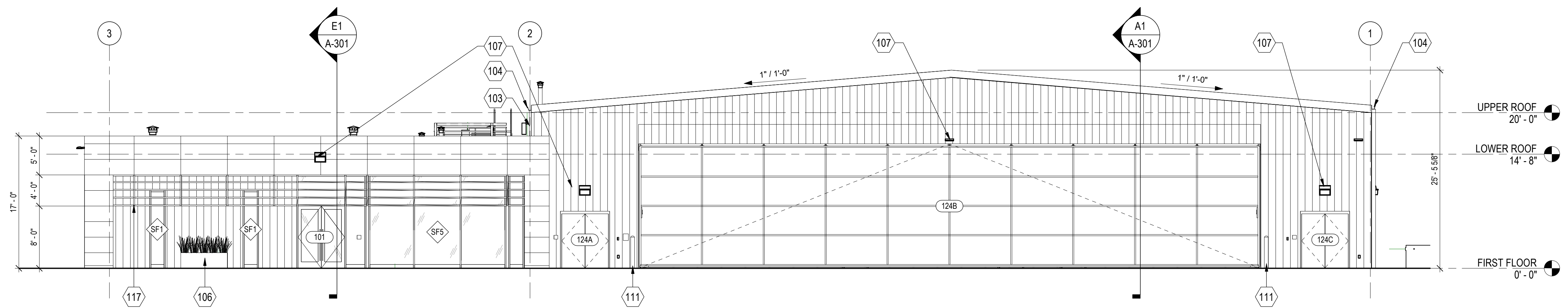
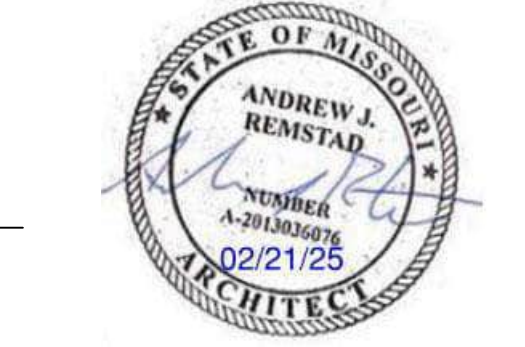
NOTES:

- A. SEE STOREFRONT ELEVATIONS ON SHEET A-621 FOR TEMPERED GLASS LOCATIONS.
- B. COORDINATE FRAME PREP AND CONDUIT ROUTING FOR DOOR CONTACTS; REFER TO ELEC. DWGS. FOR LOCATIONS.
- C. ALL EXTERIOR CURTAIN WALL AND STOREFRONT SHALL BE THERMALLY BROKEN. INTERIOR STOREFRONT SIDELIGHTS / BORROW LIGHTS SHALL NOT BE THERMALLY BROKEN.

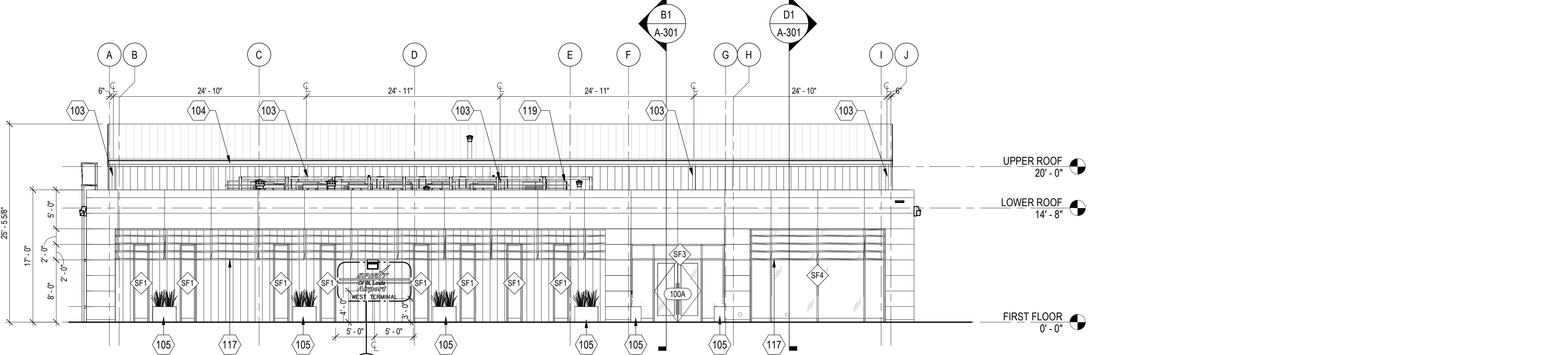


100% SUBMITTAL

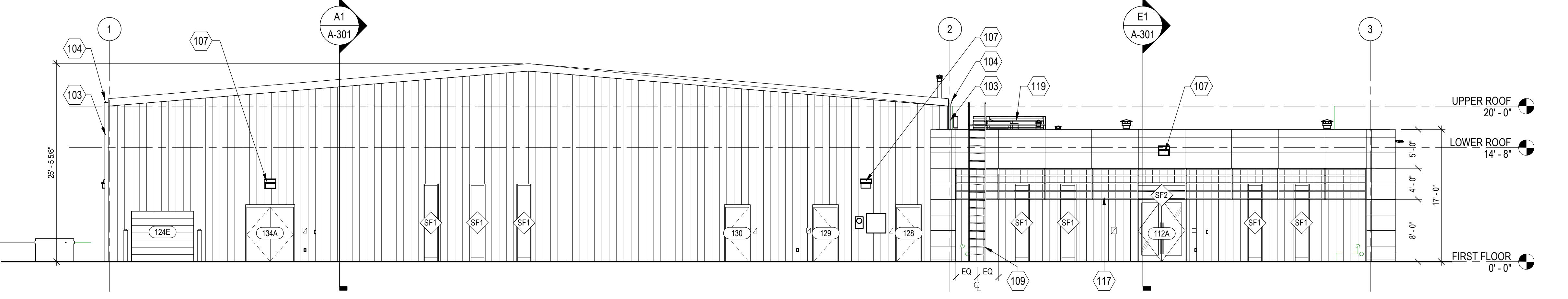
ISSUED FOR PERMIT NOT FOR CONSTRUCTION



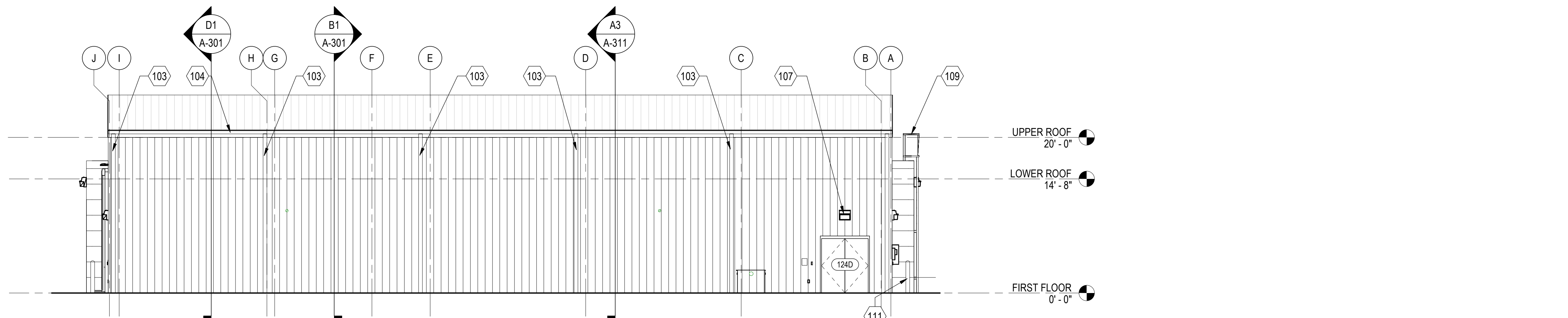
E1 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



D1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



B1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



A1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

ISSUANCE SCHEDULE NUMBER	DATE	DESCRIPTION
1	9/24/24	ISSUED FOR BID
2	02/21/2025	ISSUED FOR PERMIT

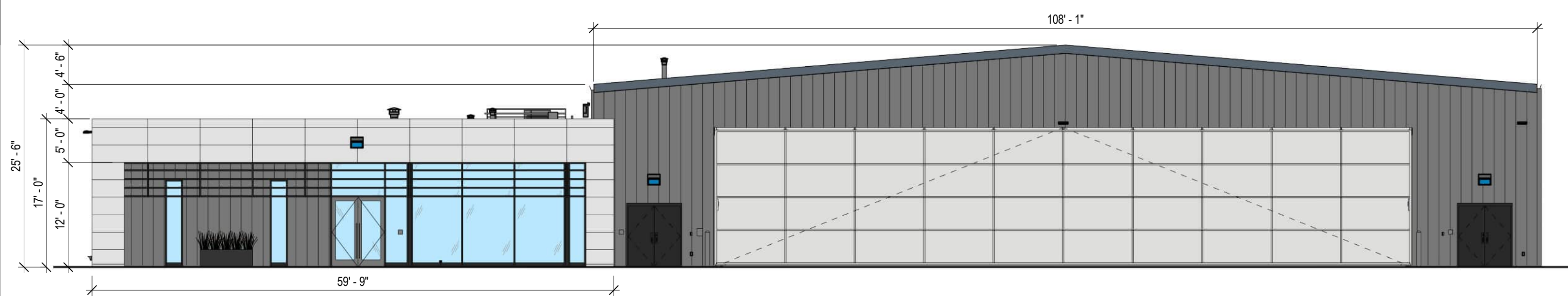
SPIRIT OF ST. LOUIS AIRPORT WEST TERMINAL
18600 EDISON AVENUE, CHESTERFIELD, MO 63005

PROJECT NO: 10019117
DATE ISSUED: 11/05/2024
DESIGNED BY: AMA
DRAWN BY: RCS
CHECKED BY: AJR

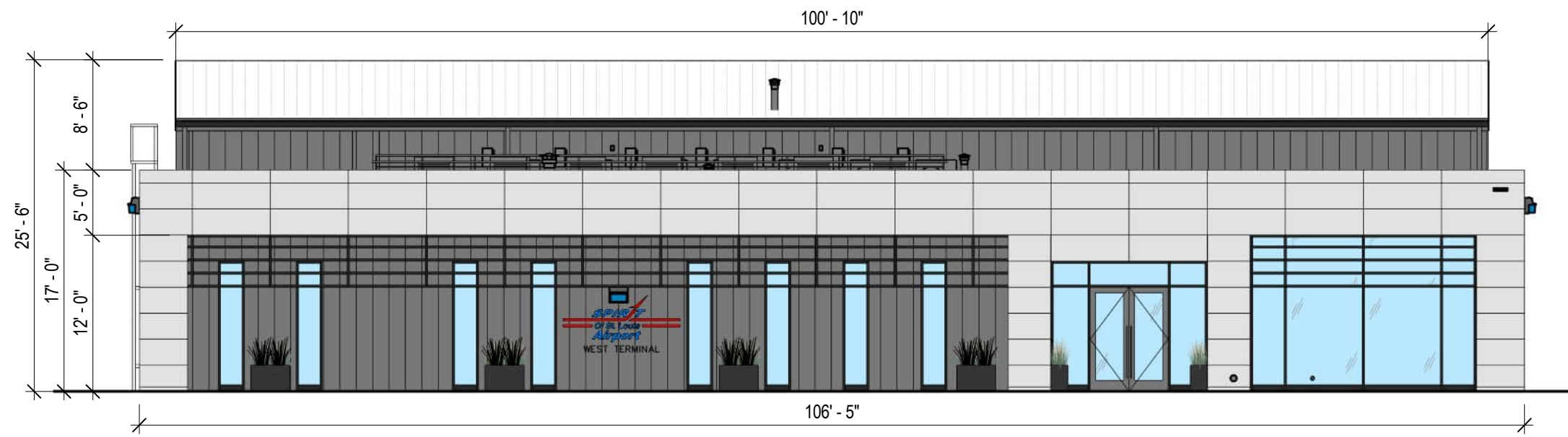
SHEET NAME:
BUILDING ELEVATIONS

SHEET NO:
A-201






A1 EXTERIOR ELEVATION - NORTH
3/32" = 1'-0"



A2 EXTERIOR ELEVATION - EAST
3/32" = 1'-0"


LEGEND:


WINDOW GLAZING TYPES

 INSULATED GLASS, SEE STOREFRONT ELEVATIONS FOR TEMPERED GLASS LOCATIONS


- NOTES:**
- A. COORDINATE FRAME PREP. AND CONDUIT ROUTING FOR DOOR CONTACTS; REFER TO ELEC. DWGS. FOR LOCATIONS.
 - B. ALL EXTERIOR CURTAIN WALL AND STOREFRONT SHALL BE THERMALLY BROKEN. INTERIOR STOREFRONT / SIDELIGHTS / BORROW LIGHTS SHALL NOT BE THERMALLY BROKEN.

EXTERIOR MATERIALS

 FASTENED METAL PANELS; B.O.D. BERRIDGE "R" PANEL 22 GA. EXPOSTED FASTENER PANEL SYSTEM. COLOR TO MATCH PEMB.

 STANDING SEAM METAL ROOF; B.O.D. PEMB MFR.

 MCM PANEL, ALUCOBOND COLOR MOONSTONE METALLIC OR EQ.

 STOREFRONT, KAWNEER COLOR BLACK ANODIZED OR EQ.

NOTE: DIMENSIONS ARE TO NEAREST 1"

GRAPHIC SCALE




WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 931 WILDWOOD DRIVE
 SUITE 101
 JEFFERSON CITY MO 65109
 800.414.1044

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**SPIRIT OF ST. LOUIS
AIRPORT
WEST TERMINAL**

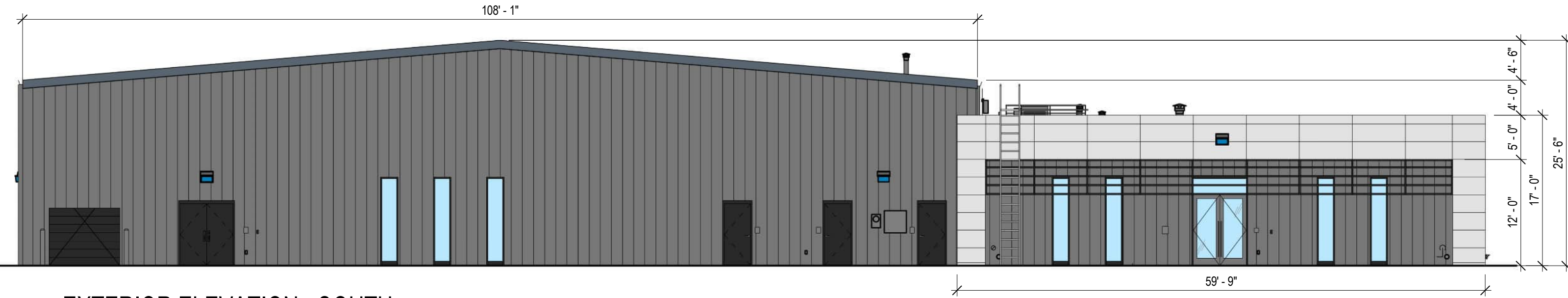
18600 EDISON AVENUE,
CHESTERFIELD, MO 63005

SHEET NAME:
**COLORED BUILDING
ELEVATIONS**

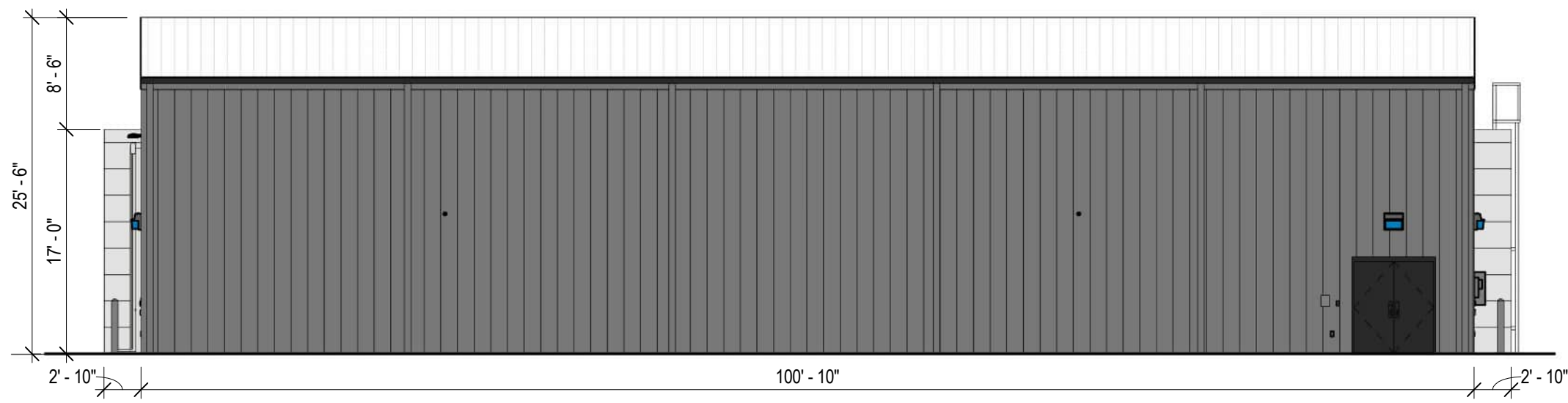
DATE:
09/26/24

PROJECT #:
10019117

SHEET #:
A-902



A1 EXTERIOR ELEVATION - SOUTH
3/32" = 1'-0"



A2 EXTERIOR ELEVATION - WEST
3/32" = 1'-0"



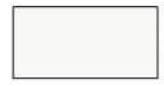

LEGEND:

WINDOW GLAZING TYPES

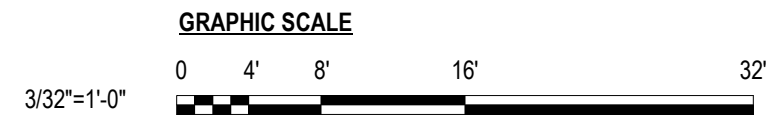
 INSULATED GLASS, SEE STOREFRONT ELEVATIONS FOR TEMPERED GLASS LOCATIONS

- NOTES:**
- A. COORDINATE FRAME PREP. AND CONDUIT ROUTING FOR DOOR CONTACTS; REFER TO ELEC. DWGS. FOR LOCATIONS.
 - B. ALL EXTERIOR CURTAIN WALL AND STOREFRONT SHALL BE THERMALLY BROKEN. INTERIOR STOREFRONT / SIDELIGHTS / BORROW LIGHTS SHALL NOT BE THERMALLY BROKEN.

EXTERIOR MATERIALS

-  FASTENED METAL PANELS; B.O.D. BERRIDGE "R" PANEL 22 GA. EXPOSED FASTENER PANEL SYSTEM. COLOR TO MATCH PEMB.
-  STANDING SEAM METAL ROOF; B.O.D. PEMB MFR.
-  MCM PANEL, ALUCOBOND COLOR MOONSTONE METALLIC OR EQ.
-  STOREFRONT, KAWNEER COLOR BLACK ANODIZED OR EQ.


NOTE: DIMENSIONS ARE TO NEAREST 1"



 WOOLPERT ARCHITECTURE ENGINEERING GEOSPATIAL 931 WILDWOOD DRIVE SUITE 101 JEFFERSON CITY MO 65109 800.414.1044	PRELIMINARY NOT FOR CONSTRUCTION	SPIRIT OF ST. LOUIS AIRPORT WEST TERMINAL		DATE: 09/26/24
		18600 EDISON AVENUE, CHESTERFIELD, MO 63005	SHEET NAME: COLORED BUILDING ELEVATIONS	PROJECT #: 10019117



**SOUTHEAST PERSPECTIVE
RENDERING**


WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 931 WILDWOOD DRIVE
 SUITE 101
 JEFFERSON CITY MO 65109
 800.414.1044

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**SPIRIT OF ST. LOUIS
AIRPORT
WEST TERMINAL**

18600 EDISON AVENUE,
CHESTERFIELD, MO 63005

SHEET NAME:
**COLORED
RENDERINGS**


DATE:
09/26/24

PROJECT #:
10019117

SHEET #:
A-904



**NORTHEAST PERSPECTIVE
RENDERING**


WOOLPERT
 ARCHITECTURE | ENGINEERING | GEOSPATIAL
 931 WILDWOOD DRIVE
 SUITE 101
 JEFFERSON CITY MO 65109
 800.414.1044

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**SPIRIT OF ST. LOUIS
AIRPORT
WEST TERMINAL**

18600 EDISON AVENUE,
CHESTERFIELD, MO 63005

SHEET NAME:
**COLORED
RENDERINGS**

DATE:
09/26/24

PROJECT #:
10019117

SHEET #:
A-905

6PR LED 6" Shallow Plenum Downlight – Round

FEATURES

- Innovative TrimLock reflector retention system ensures trim remains flush with ceiling plane
- Beam angles ranging from 25° narrow to 85° wide for tailored performance
- Die-cast trim with flush or angled lens provides glare-free illumination for a soft ceiling appearance
- New construction mounting pan, IC-rated, or pan-less remodel kit available
- Contemporary design provides glare-free illumination for a soft ceiling appearance
- Industry-leading efficacies as high as 106 lm/W – ENERGY STAR® certified
- Fully room-side accessible
- Low UGR meets LEED and WELL requirements
- Wireless in-fixture control solutions available
- Made Right Here® in the USA

SPECIFICATIONS

- HOUSING** – Spun housing with forged aluminum heat sink. Galvanized steel splice compartment with driver mounting plate/enclosure. Mounting clips allow for ceiling thickness from 1/2"– 1-1/4" (consult factory for additional ceiling thicknesses).
- TRIMLOCK** – Innovative TrimLock reflector retention system ensures the trim remains flush with the ceiling plane.
- LENSED TRIM** – Die-cast aluminum frame with micro-prismatic, acrylic lens.
- ELECTRICAL** – High-performance Class 2 C.O.B. LED array. Modular quick-connect plug for easy field-connection of LED light assembly to driver. Reported L70>55,000 hours. Reported L90>55,000 hours. Estimated L70 = 200,000 hours.
- MOUNTING** – Recessed. 20 ga. galvanized steel mounting pan for new construction or IC-rated enclosure. Remodel kit option includes receiver bracket hardware. Minimum 24" O.C. marked spacing required for L50 - L70 lumen packages.
- LISTINGS** –
 - cCSAus conforms to UL STD 1598; Certified to CAN/CSA STD C22.2 No. 250.0 for dry and damp locations. LED light assembly conforms to UL 2108 for remote installation.
 - Suitable for wet location under covered ceiling when specified with WET/CC option.
 - ENERGY STAR® certified in select configurations, see www.energystar.gov
 - IC-rated for direct contact with insulation when specified with I Mounting Type.
 - City of Chicago Environmental Air approved when specified with CP option.
 - IP65 rated trim when specified with IP option.
 - Complies with ASTM-E283 when specified with ATH option.
 - RoHS compliant.
 - Complies with the Buy American Act and other federal regulations. Request certification at hew.com/baa.
- WARRANTY** – 5-year limited warranty, see hew.com/warranty.

FIXTURE PERFORMANCE DATA

	DISTRIBUTION	DELIVERED LUMENS	WATTAGE	EFFICACY (lm/W)
L10	W	1111	10.7	104
	M	1127	10.7	105
	N	1137	10.7	106
L15	W	1696	16.6	102
	M	1720	16.6	104
	N	1736	16.6	105
L20	W	2208	22.7	97
	M	2239	22.7	99
	N	2260	22.7	100
L30	W	3293	33.2	99
	M	3309	33.2	100
	N	3224	33.2	97
L40	W	4394	44.1	100
	M	4415	44.1	100
	N	4302	44.1	98
L50	W	5503	54.7	101
	M	-	-	-
	N	-	-	-
L60	W	6010	68.2	88
	M	-	-	-
	N	-	-	-
L70	W	7023	78.2	90
	M	-	-	-
	N	-	-	-

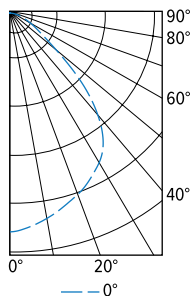
MULTIPLIER TABLES

	COLOR TEMPERATURE		TRIM	
	CCT	CONVERSION FACTOR	CATALOG NUMBER	CONVERSION FACTOR
	80 CRI	2700K	0.92	S
3000K		0.98	AD	0.85
3500K		1.00	PD	0.85
4000K		1.01		
5000K		1.02		
90 CRI	2700K	0.76		
	3000K	0.79		
	3500K	0.82		
	4000K	0.84		
	5000K	0.88		

- Photometrics tested in accordance with IESNA LM-79. Results based on L Trim Type, WH Reflector Finish, W Distribution, 80 CRI/3500K CCT, average wattage for 120V input, and 25°C ambient temperature. Actual performance may vary +/-5%
- To calculate lumen output in emergency mode, multiply the battery wattage by the efficacy.
- Use multiplier tables to calculate additional options.

PHOTOMETRY

6PR-TL-L20/835-DIM-UNV-LW-OF-WH Report #: 12326812.29; 06/08/18 | Total Luminaire Output: 2208 lumens; 22.7 Watts | Efficacy: 97.3 lm/W | 81.8 CRI; 3647K CCT



CANDLEPOWER DISTRIBUTION	VERTICAL ANGLE	HORIZONTAL ANGLE	ZONAL LUMENS
		0°	
	0	1169	
	5	1148	81
	15	1075	174
	25	989	243
	35	859	267
	45	556	183
	55	223	86
	65	111	47
	75	51	21
	85	12	3
	90	1	

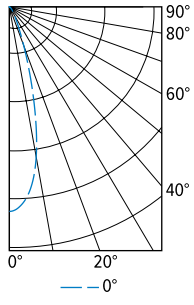
LUMEN SUMMARY	ZONE	LUMENS	% FIXTURE
	0 - 40	1399	64
	0 - 60	2029	92
	0 - 90	2208	100
	0 - 180	2208	100

PHOTOMETRY CONTINUED ON NEXT PAGE.



6PR LED 6" Shallow Plenum Downlight – Round

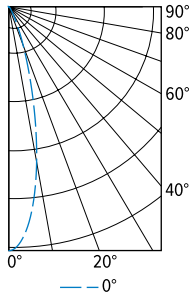
6PR-TL-L20/835-DIM-UNV-LM-OF-WH Report #: 12326812.31; 06/08/18 | Total Luminaire Output: 2239 lumens; 22.7 Watts | Efficacy: 98.8 lm/W | 81.7 CRI; 3644K CCT



CANDLEPOWER DISTRIBUTION	VERTICAL ANGLE	HORIZONTAL ANGLE	ZONAL LUMENS
		0°	
	0	5151	
	5	4950	333
	15	3241	421
	25	1025	188
	35	304	80
	45	134	46
	55	70	27
	65	36	15
	75	17	7
	85	3	1
	90	0	

LUMEN SUMMARY	ZONE	LUMENS	% FIXTURE
	0 - 40	2013	90
	0 - 60	2182	97
	0 - 90	2239	100
	0 - 180	2239	100

6PR-TL-L20/835-DIM-UNV-LN-OF-WH Report #: 12326812.32; 06/08/18 | Total Luminaire Output: 2260 lumens; 22.7 Watts | Efficacy: 99.7 lm/W | 81.6 CRI; 3629K CCT



CANDLEPOWER DISTRIBUTION	VERTICAL ANGLE	HORIZONTAL ANGLE	ZONAL LUMENS
		0°	
	0	8348	
	5	7547	466
	15	3235	381
	25	771	137
	35	212	57
	45	107	38
	55	66	27
	65	37	16
	75	16	7
	85	3	1
	90	0	

LUMEN SUMMARY	ZONE	LUMENS	% FIXTURE
	0 - 40	2060	91
	0 - 60	2203	98
	0 - 90	2260	100
	0 - 180	2260	100

EMERGENCY BATTERY OPTIONS

Additional limitations apply, see page 1. Specify CEC in the option code when California Energy Commission regulations are required.

CATALOG NUMBER	DESCRIPTION
EM/7W	7-watt emergency battery ^[1]
EM/7W/RTS	7-watt emergency battery with regressed test switch ^[2]
EM/7W/IPRTS	7-watt emergency battery with IP65 rated regressed test switch
EM/10W	10-watt emergency battery ^[1]
EM/10W/RTS	10-watt emergency battery with regressed test switch ^[2]
EM/10W/IPRTS	10-watt emergency battery with IP65 rated regressed test switch

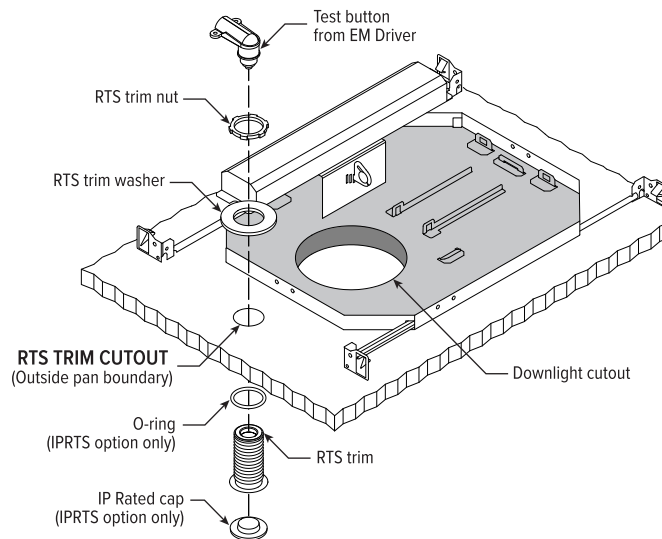
DE only

- 1 Not available with S Trim Type or IP Option.
- 2 Not available with S Trim Type, IP or WET/CC Options.

REGRESSED TEST SWITCH DETAILS



Shown Installed



6PR LED 6" Shallow Plenum Downlight – Round

APERTURE ADAPTOR ORDERING INFO

ORDERING EXAMPLE: 4DR - GR - 0575 - WHT			
SERIES	CATALOG NUMBER	CEILING CUTOUT	FINISH
4AR 6AR 4DR 6DR 4DS 6DS 4PR 6PR 4PS 6PS 8DR	GR	Specify ceiling cutout in 1/8" increments. Example: 5.75" = 0575 See Kit Components for application limits.	CS Clear semi-specular powder coat WH White texture powder coat BL Black texture powder coat

For use with remodel downlights.
Additional finishes available, consult factory.
For limitations and instructions, see hew.com/aperture-adaptor.pdf

TRIMLOCK DETAILS

TWIST



PULL

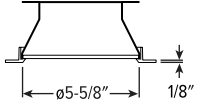


RELEASE

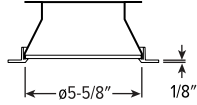


TRIM TYPE DETAILS

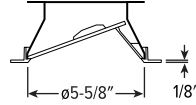
FLUSH



SHOWER

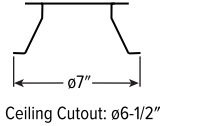


ANGLED

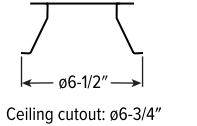


FLANGE TYPE DETAILS

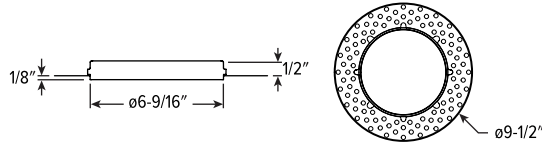
1/2" STANDARD



1/4" MUD-IN



MUD FLANGE MOUNTING KIT (SLIM FLANGE TYPE)



REFLECTOR FINISH DETAILS

CS

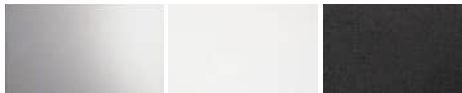
Clear semi-specular

WH

White

BL

Black



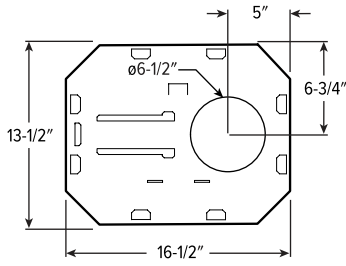
SEE NEXT PAGE FOR MOUNTING DETAILS



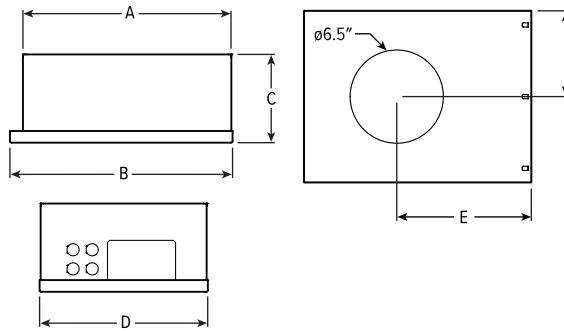
6PR LED 6" Shallow Plenum Downlight – Round

MOUNTING TYPE DETAILS

NEW CONSTRUCTION

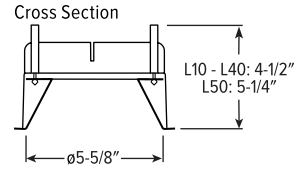


IC-RATED

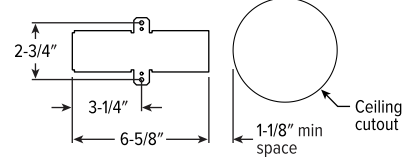


LUMENS	LENGTH					
	A	B	C	D	E	F
L10 - L20	15-1/16"	16"	4-1/2"	12-1/8"	9-1/2"	6-1/16"
L30	15-3/16"	16"	6-3/8"			

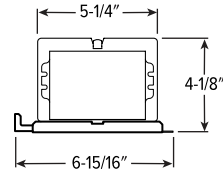
REMODEL



Receiver Bracket

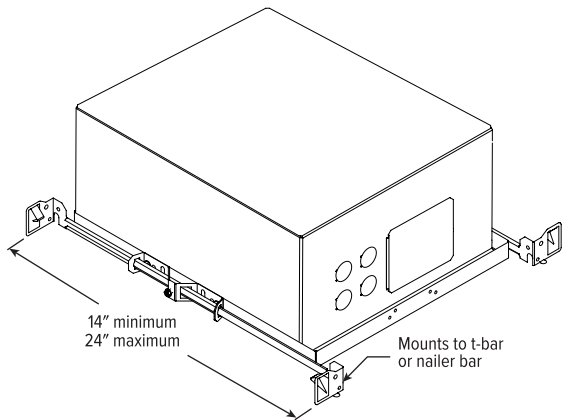
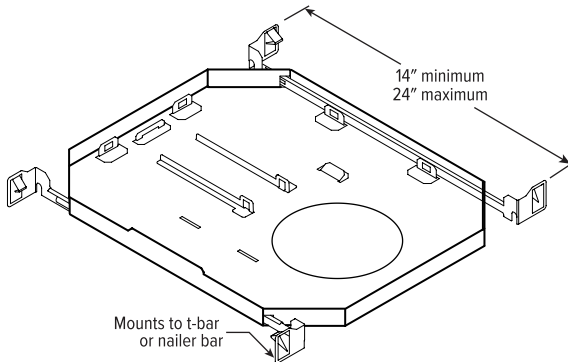


Driver and Junction Box



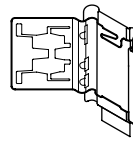
MOUNTING HARDWARE DETAILS

F1 Integral 2-position fixed pan bracket, universal bar hanger included

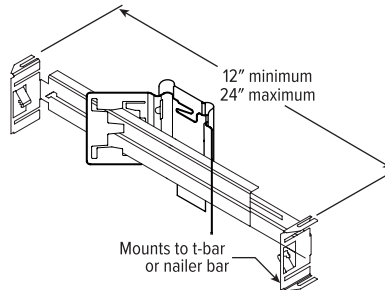


F1 with I Mounting Type

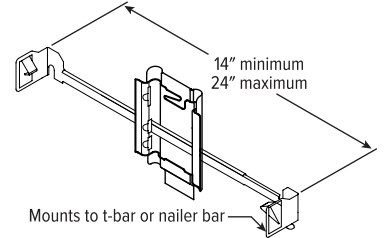
BA1 Adjustable butterfly pan bracket, bar hanger not included (N Mounting Type only)



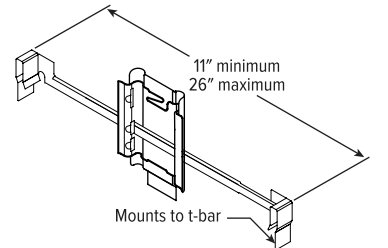
BA2 Adjustable butterfly pan bracket, heavy-duty universal bar hanger included (N Mounting Type only)



CA1 Adjustable caterpillar pan bracket, universal bar hanger included (N Mounting Type only)



CA2 Adjustable caterpillar pan bracket, t-bar hanger included (N Mounting Type only)



SEE NEXT PAGE FOR CONTROL DETAILS.



6PR LED 6" Shallow Plenum Downlight – Round

AVI-ON BLUETOOTH WIRELESS CONTROL DETAILS

FEATURES

Simple

- Gateway-free distributed control
- Factory pre-commissioning
- Contractor friendly installation
- Occupancy/vacancy/daylight sensing

Scalable

- Virtually unlimited network size
- Spans small offices to large warehouses
- Flexible control strategies

Secure

- Optional cloud connectivity
- UL IoT platinum security rating
- DLC 5.0 compliant

COMMISSIONING & INSTALLATION TOOLS

Avi-on mobile apps provide intuitive, quick installation and commissioning. Pro tools are available to qualified installers. Live commissioning training and on-site or remote support by Avi-on must be ordered separately through Avi-on.



Commissioning Mobile App



Zone Scanner Web App



Commissioning Pro App

SYSTEM COMPONENTS



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ACCESSORIES

WALL STATIONS	
AVI-2401AC	Scene controller - numbered 1-4, 120-277VAC
AVI-2402BAT	Scene controller - numbered 1-4, battery powered
AVI-2401AC-2	Dimmer with presets - percentages, 120-277VAC
AVI-2402BAT-2	Dimmer with presets - percentages, battery powered
AVI-2401AC-3	On/off/dimming, 120-277VAC
AVI-2402BAT-3	On/off/dimming, battery powered

NETWORK	
AVI-RAB-LTE	Remote access bridge
AVI-KIT-NTM	Network time manager with battery backup

CEILING MOUNT SENSORS	
AVI-KIT-SEN-DUCM	PIR motion and ultrasonic sensor kit
AVI-KIT-SEN-ICM	PIR motion and photocell sensor kit

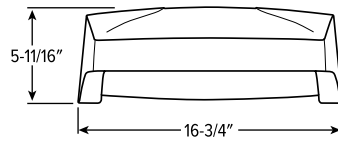
For load controllers and additional accessory info, see hew.com/avi-on

ADDITIONAL CONTROL/DRIVER OPTIONS

Lumen restrictions apply: L30 max for DMX driver, L30 max for Lutron drivers, L50 max for DIM LINE driver. R mounting type requires top access with DMX controls. R Mounting Type not available with VRF or FCJS controls. 347V may require stepdown transformer, see product builder at hew.com/product-builder. I Mounting Type not available with Lutron controls.

CATALOG NUMBER	DESCRIPTION
AVI-LVFA/DA	Avi-on wireless fixture control for use with driver with 12V auxiliary power
VRF/DBI/LDE1	Lutron Vive integral fixture control, RF only (DFCSJ-OEM-RF) and digital link interface, with Lutron HI-lume 1% EcoSystem dimming LED driver
FCJS/DIM	Lutron Vive PowPak wireless fixture control with dimming driver
FCJS/DIM1	Lutron Vive PowPak wireless fixture control with 1% dimming driver
DIM	Dimming driver prewired for 0-10V low voltage applications
DIM1	1% dimming driver prewired for 0-10V low voltage applications
DIM LINE	Line voltage dimming driver (TRIAC and ELV compatible at 120V only)
DALI	DALI dimming driver
DMX	0.1% dimming driver for DMX controls
LDE1	Lutron HI-lume 1% EcoSystem dimming LED driver





Legend

- Both
- F1E
- F2

VWPH Front View

CATALOG #: _____

TYPE: _____

PROJECT: _____



FEATURES

- Designed to illuminate sidewalks, entryways, perimeters or facades
- Intended for use in both uplight and downlight applications
- Optional tamper-resistant screws for vandal-prone areas
- Blends seamlessly with a variety of architectural styles
- Purposefully modeled to allow runoff of dirt and water for an always-clean appearance
- Precision optics provide multiple distribution options
- Wireless in-fixture control solutions available
- Made Right Here® in the USA

SPECIFICATIONS

- HOUSING – Die-cast aluminum enclosure.
- THERMAL MANAGEMENT – Integral die-cast aluminum heatsink and LED assembly provide passive thermal management. Rated -30°C to 40°C ambient operating temperature (-20°C to 40°C with EM/10WC; 0°C to 35°C VWPV, 0°C to 37°C VWPH with EM/10CEC; 0°C to 39°C with EM/4W).
- OPTICAL SYSTEM – Precision, injection-molded, refractive acrylic lensing produces standard IES distributions.
- LED ASSEMBLY – ANSI 3000K, 4000K, or 5000K CCT, minimum 70 CRI.
- LED DRIVER – 0-10V dimming.
- ELECTRICAL – 120-277, 347, and 480 VAC input range; 50-60Hz; power factor >.90; THD <20% at full load. 10kA/10kV surge protection standard. Quick-disconnect wiring provided. L70 >60,000 hours per IES TM-21.
- FINISH – Super durable polyester powder coat bonded to phosphate-free, multi-stage pretreated metal, meets and exceeds AAMA 2604 specifications for outdoor durability.
- MOUNTING – Surface mounts directly over a 4" maximum outlet box. Must be anchored to adequate structure that can safely support fixture weight (VWPH = 15 lbs, VWPV = 23 lbs).
- LISTINGS –
 - cCSAus certified as luminaire suitable for wet locations.
 - FCC Class A compliant.
 - IDA Dark-Sky approved (downlight applications only).
 - RoHS compliant.
 - IP65 rated.
 - Title 24 compliant with OCCWS FSP-311-L option.
 - Complies with the Buy American Act and other federal regulations. Request certification at hew.com/baa.
- WARRANTY – 5-year limited warranty, see hew.com/warranty.

ORDERING EXAMPLE: VWPH - L30/740 - T3 - DBZ - SDGL - OPTIONS - CONTROL/DIM - UNV

ORDERING INFO

SERIES	LUMENS ^[1]	CRI	CCT	DISTRIBUTION ^[2]
VWPH Horizontal	L30 3,000lm	7 70	30 3000K	T2 Type II
VWPV Vertical	L60 6,000lm	8 80	40 4000K	T3 Type III
	L85 8,500lm ^[3]		50 5000K	TFT Type forward throw

FINISH OPTIONS ^[4]

- BLK Black (RAL #9004)
- DBZ Dark bronze
- DBR Medium bronze
- GRAY Standard gray
- GRN Green (RAL #6005)
- SLV Satin aluminum (RAL #9006)
- WHT White (RAL #9003)

SHIELDING

- CGL Clear tempered glass lens
- SDGL Micro-prismatic tempered glass lens

OPTIONS ^[5]

- EM/4W 4-watt integral emergency battery ^[6]
- EM/10WC 10-watt emergency, low temperature battery ^[7]
- EM/10CEC 10-watt emergency CEC qualified battery ^[8]
- SF Single fuse ^[9]
- DF Double fuse ^[10]
- PC Factory-installed button-style photocell ^[11]
- HSGX Empty housing extension used to match units with EM batteries, control sensors, or conduit entry options
- TP Tamper-resistant Torx head screws ^[12]

CONDUIT ENTRY ^[13]

- CR Right side conduit entry
- CL Left side conduit entry
- CD Dual conduit entry
- CTOP Top conduit entry ^[14]

CONTROL

- See page 4 for ADDITIONAL CONTROL OPTIONS.
- None
 - AVI-IFAC-OA Avi-on wireless fixture control with outdoor antenna ^[15]

DRIVER

- DIM Driver with external dimming wires prewired for 0-10V low voltage applications

VOLTAGE

- 208 208V
- 240 240V
- 277 277V
- UNV 120-277V
- 347 347V ^[16]
- 480 480V ^[17]

ACCESSORIES

- TPTX-25 TOOL Tamper-resistant tool for Torx head screws. ^[18]

NOTES

- ¹ Lumen output based on 70 CRI/4000K CCT. Actual performance may vary +/-5%, see page 2 for FIXTURE PERFORMANCE DATA.
- ² See page 2 for DISTRIBUTION DETAILS.
- ³ Not available with EM batteries when specified with VWPV.
- ⁴ See page 2 for FINISH OPTIONS.
- ⁵ See page 2 for FIXTURE DETAILS.
- ⁶ 120-277V only. VWPV includes housing extension, increases fixture depth.
- ⁷ VWPH and 120-277V only. Includes housing extension, increases fixture depth.
- ⁸ 120-277V only.
- ⁹ 120V, 277V, or 347V only; must specify voltage
- ¹⁰ 208V, 240V, or 480V only; must specify voltage.
- ¹¹ 120V, 208V, or 277V only; must specify voltage. Right side when viewed from behind fixture.
- ¹² Silver finish only. Safety screws providing added support to the lens are not tamper-resistant (lens is sealed to the fixture via adhesion). Requires a tamper-resistant tool, see Accessories.
- ¹³ Housing extension included, increases fixture depth. Left and right sides when viewed from behind fixture. Provided with 1/2" NPT tapered pipe thread and plug, increases fixture height. Conduit fitting supplied by others. See page 2 for FIXTURE DETAILS.
- ¹⁴ VWPV only.
- ¹⁵ See page 3 for AVI-ON BLUETOOTH WIRELESS CONTROL DETAILS.
- ¹⁶ Includes stepdown transformer. Not available with Avi-on Controls.
- ¹⁷ Includes stepdown transformer. Not available with Avi-on Controls.
- ¹⁸ Ordered separately. Please specify quantity required per project.



FIXTURE PERFORMANCE DATA

	DISTRIBUTION	FLUX (lm)	WATTAGE	EFFICACY (lm/W)	BUG RATING
L30	T2	3489	27	129.2	B2-UO-G1
	T3	3468		128.4	B1-UO-G1
	TFT	3325		123.1	B1-UO-G1
L60	T2	6414	49	130.9	B2-UO-G1
	T3	6470		132.0	B1-UO-G1
	TFT	6391		130.4	B2-UO-G1
L85	T2	8931	72	124.0	B2-UO-G1
	T3	8953		124.3	B2-UO-G2
	TFT	8665		120.3	B3-UO-G1

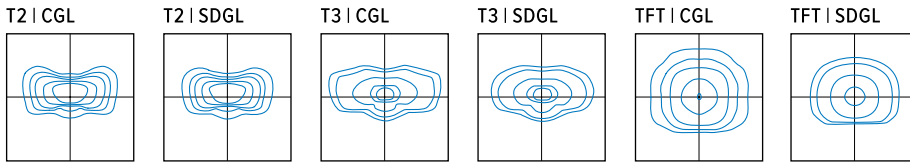
MULTIPLIER TABLES

CCT	COLOR TEMPERATURE	
	CCT	CONVERSION FACTOR
70 CRI	3000K	0.95
	4000K	1.00
	5000K	1.03
80 CRI	3000K	0.86
	4000K	0.91
	5000K	0.94

SHIELDING	CONVERSION FACTOR
CGL	1.00
SDGL	0.98

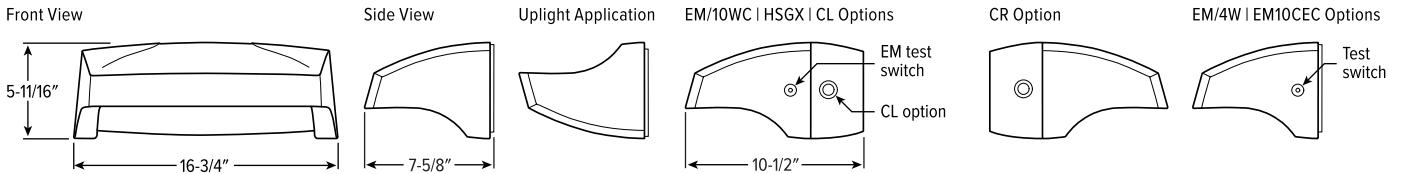
- Photometrics tested in accordance with IESNA LM-79. Results based on 70 CRI/4000K CCT, wattage average for 120V through 277 input, and 25°C ambient temperature. Actual performance may vary +/-5%.
- To calculate lumen output in emergency mode, multiply the battery wattage by the efficacy.
- Use multiplier tables to calculate additional options.

DISTRIBUTION DETAILS

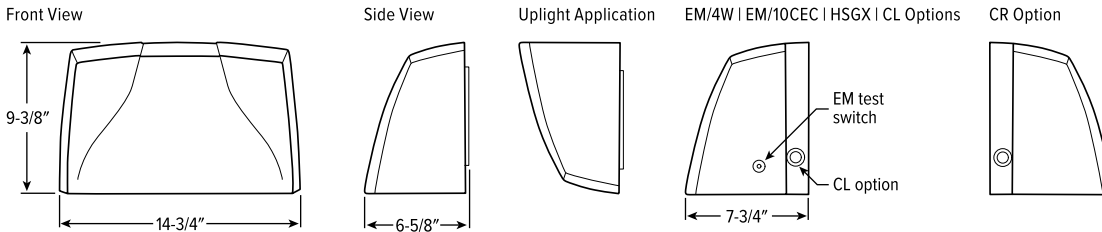


FIXTURE DETAILS

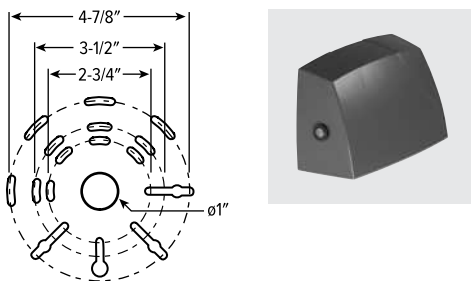
VWPH Weight: 15 lbs. Max weight with EM/10WC or HSGX: 27 lbs.



VWPV Weight: 23 lbs



MOUNTING BOLT PATTERN PC OPTION



FINISH OPTIONS



For custom color, please specify RAL code or a manufacturer code with description. All custom colors other than RAL require two sample swatches, minimum 1" square.

AVI-ON BLUETOOTH WIRELESS CONTROL DETAILS

FEATURES

Simple

- Gateway-free distributed control
- Factory pre-commissioning
- Contractor friendly installation
- Occupancy/vacancy/daylight sensing

Scalable

- Virtually unlimited network size
- Spans small areas to large garages
- Flexible control strategies

Secure

- Optional cloud connectivity
- UL IoT platinum security rating
- DLC 5.0 compliant

COMMISSIONING & INSTALLATION TOOLS

Avi-on mobile apps provide intuitive, quick installation and commissioning. Pro tools are available to qualified installers. Live commissioning training and on-site or remote support by Avi-on must be ordered separately through Avi-on.



Commissioning Mobile App



Zone Scanner Web App



Commissioning Pro App

ACCESSORIES

NETWORK	
AVI-RAB-LTE	Remote access bridge
AVI-KIT-NTM	Network time manager with battery backup

For load controllers and additional accessory info, see hew.com/avi-on

SEE NEXT PAGE FOR ADDITIONAL CONTROL OPTIONS

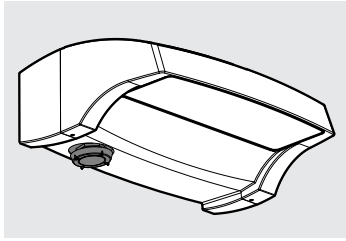
SYSTEM COMPONENTS



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SENSOR PLACEMENT DETAILS



ADDITIONAL CONTROL OPTIONS

VWPH only, includes housing extension (increases fixture depth).

OCCWS-FSP-311-L_-120/277 Wattstopper PIR motion and daylight sensor, 120/277. Must specify lens: L2, L3, or L7. Factory installed.

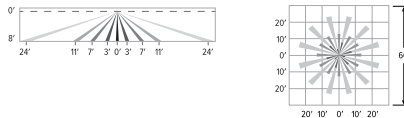
OCCWS-FSP-211-L_-120/277 Wattstopper PIR motion and daylight sensor, 120/277. Must specify lens: L2, L3, or L7. Factory installed.

FSIR-100 Remote controller for 211 sensor. Please specify quantity required per project. Ordered and shipped separately.

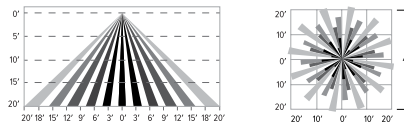
SPECIFICATIONS	
TYPE	PIR Motion + Daylight
MOUNTING HEIGHT	8' – 40'
DETECTION ANGLE	360°
TEMPERATURE RANGE	-40° to 75°C
COMMISSIONING	311 Sensor: App (iOS or Android) 211 Sensor: FSIR-100 Remote

SENSOR COVERAGE PATTERNS

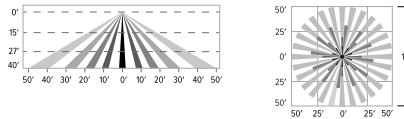
L2 8' height: ø48' coverage



L3 20' height: ø40' coverage



L7 40' height: ø100' coverage



SENSOR DETAIL



Dimensions
L2/L3: ø2-3/8" | L7: ø3-1/4"



Project		Catalog #		Type	
Prepared by		Notes		Date	



McGraw-Edison

GFLD Galleon II Floodlight

Floodlight Luminaire

Product Features



Interactive Menu

- Ordering Information [page 2](#)
- Product Specifications [page 2](#)
- Mounting Details [page 3](#)
- Optical Distributions [page 8](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 11](#)

Product Certifications

Quick Facts

- Lumen Packages range from 1,200 - 54,000 (18W - 368W)
- 10 NEMA Type flood distributions
- Efficacy up to 170 lumens per watt

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details

1 Square - Knuckle Mount

19-3/4" [504mm]
13-1/4" [334mm]
3-3/4" [95mm]
9-5/8" [245mm]

3 Square - Adjustable Slipfitter Mount

22-3/4" [579mm]
13-1/4" [334mm]
4-1/2" [115mm]
22" [556mm]

6 Square - Adjustable Slipfitter Mount

32-1/2" [826mm]
21" [531mm]
4-3/4" [121mm]
22" [556mm]

NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: GFLD-SA1C-940-U-TSB-T-BK

Product Family ^{1,2}	Light Engine		Color Temperature	Voltage	Distribution and IES NEMA Type (HxV)		Mounting Options	Finish
	Configuration	Drive Current						
GFLD=Galleon II Floodlight BAA-GFLD=Galleon Floodlight Buy American Act Compliant ²⁴ TAA-GFLD=Galleon Floodlight Trade Agreements Act Compliant ²⁴	SA1=1 Square SA2=2 Squares SA3=3 Squares SA4=4 Squares SA5=5 Squares SA6=6 Squares	A=350mA ³ B=615mA C=800mA D=1050mA E=1200mA	722=70CRI, 2200K 727=70CRI, 2700K 730=70CRI, 3000K 735=70CRI, 3500K 740=70CRI, 4000K 750=70CRI, 5000K 927=90CRI, 2700K 930=90CRI, 3000K 935=90CRI, 3500K 940=90CRI, 4000K AMB=Amber, 590nm ⁴	U=120-277V 1=120V 2=208V 3=240V 4=277V 8=480V ²⁵ 9=347V	TSB=Tight Spot Baffle ²¹ TS=Tight Spot ²¹ NR=Narrow Symmetrical Round MR=Medium Symmetrical Round MWR=Medium Wide Symmetrical Round WR=Wide Symmetrical Round NAT=Narrow Asymmetrical Rectangular ²¹ WAF=Wide Asymmetrical Flood ²¹ VWR=Very Wide Symmetrical Round ²² LAM=Lambertian ²²	NEMA 1x1 NEMA 2x2 NEMA 3x3 NEMA 4x4 NEMA 5x5 NEMA 6x6 NEMA 6x4 NEMA 7x6 NEMA 7x7 NEMA 7x7	T=Trunnion P=Adjustable Pole Mount ⁵ S=Adjustable Slipfitter ⁶ K=Knuckle ^{3,7} W=Wall Mount Y=Yoke ⁵	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White

Options (Add as Suffix)	Controls and Systems Options (Add as Suffix)	Accessories (Order Separately)
DIM=External 0-10V Dimming Leads ²⁰ F=Single Fuse ¹² FF=Double Fuse ¹² 20K=20kV UL 1449 Fused Surge Protective Device 2L=Two Circuits ¹⁸ CC=Coastal Construction L90=Optics Rotated 90° Left ⁸ R90=Optics Rotated 90° Right ⁸ AHD145=After Hours Dim, 5 Hours ⁹ AHD245=After Hours Dim, 6 Hours ⁹ AHD255=After Hours Dim, 7 Hours ⁹ AHD355=After Hours Dim, 8 Hours ⁹ HA=50°C High Ambient DALI=DALI Drivers WG=Factory installed Wire Guard ¹⁰ LVR=Factory installed Fixed Louver SLD=Factory installed Vandal Shield TB=3-position Terminal Block	BPC=Button Type Photocontrol ²³ PR=NEMA 3-PIN Photocontrol Receptacle PR7=NEMA 7-PIN Photocontrol Receptacle ¹¹ WPS2XX=WaveLinX PRO, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{14,19} WPS4XX=WaveLinX PRO, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{14,19} WLS2XX=WaveLinX LITE, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{14,19} WLS4XX=WaveLinX LITE, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{14,19} SPB1=Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting ¹³ SPB2=Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting ¹³ SPB4=Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting ¹³ DIM10-L08=AirMesh Occupancy Sensor (<8' Mounting) ¹¹ DIM10-L20=AirMesh Occupancy Sensor (9'-20' Mounting) ¹¹ DIM10-L40=AirMesh Occupancy Sensor (21'-40' Mounting) ¹¹	OA/RA1013=Photocontrol Shorting Cap MA1252=10kV Surge Module Replacement WOLC-7P-10A=WaveLinX Outdoor Control Module ¹⁵ TL7-HVG=AirMesh 7-PIN node, 110-480V ¹⁵ WPS2-XX=WaveLinX Wireless Sensor, 7'-15' Mounting Height ¹⁴ WPS4-XX=WaveLinX Wireless Sensor, 15'-40' Mounting Height ¹⁴ VSR/1/XX=Visor for 1 square housing ¹⁶ VSR/3/XX=Visor for 3 square housing ¹⁶ VSR/6/XX=Visor for 6 square housing ¹⁶ LS/WG/1=Field installed Wire Guard, 1 Sq ¹⁰ LS/WG/3=Field installed Wire Guard, 3 Sq ¹⁰ LS/WG/6=Field installed Wire Guard, 6 Sq ¹⁰ LS/LVR=Field installed Fixed Louver ¹⁷ LS/SLD/1=Field installed Vandal Shield, 1 Sq LS/SLD/3=Field installed Vandal Shield, 3 Sq LS/SLD/6=Field installed Vandal Shield, 6 Sq SRA238=Slipfitter adaptor for 2-3/8" O.D. tenon

NOTES:
 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
 2. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
 3. Available with SA1 only.
 4. Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose drive current B; supplied at 500mA drive current only. Not available with HA option.
 5. Not available with SA1.
 6. SA1, SA2 and SA3 housings fit to 2-3/8" tenon. SA4, SA5 and SA6 housings fit to 3" tenon; for mounting to 2-3/8" O.D. tenon, order accessory SRA238.
 7. Utilizes 1/2" NPS threads.
 8. L90, R90 only available with NAT and WAF optics.
 9. Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptacle with photocontrol accessory.
 10. Extended lead times may apply.
 11. Not available if any SPB or WaveLinX sensor is selected.
 12. Single fuse (F) specify voltage 120V, 277V or 347V. Double fuse (FF) specify voltage 208V, 240V or 480V.
 13. Sensor configuration mobile application required for configuration. See controls page for details.
 14. Replace "XX" with housing color (WH, BZ or BK).
 15. Requires PR7 receptacle.
 16. Replace "XX" with finish.
 17. Order one per light square.
 18. 2L not available with motion sensors (WaveLinX, SPB or DIM10), 20K, AHD or FF. 2L in 1 square housing not available with 347V or 480V.
 19. WAC Gateway required to enable field-configurability. Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed. WAC not required for Bluetooth Programmable sensors.
 20. Low voltage control lead brought out 18" outside fixture. Not available with DALI or integrated controls options.
 21. Available in 90 CRI only.
 22. Available in 70 CRI only.
 23. Specify voltage.
 24. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information.
 Components shipped separately may be separately analyzed under domestic preference requirements.
 25. Not to be used with ungrounded or impedance grounded systems.

Product Specifications

Construction

- Single-piece die-cast aluminum housing with integrated heat sink
- Available in three housing sizes: small (1 light square), medium (2 or 3 light squares), and large (4, 5 or 6 light squares)
- Housing and optics IK10 rated

Optics

- Ten IES NEMA optical distributions for Flood applications
- Shield and guard options include Visor (VSR), Vandal Shield (SLD), Wire Guard (WG) and Fixed Louver (LVR)
- TSB NEMA 1x1 optical distribution includes factory installed black polycarbonate baffle for optimal control
- VSR constructed of stamped aluminum and available in 6 standard finishes; VSR/1 and VSR/3 provide 30° of occlusion, VSR/6 provides 15° of occlusion; Two VSR/3 may be installed on a single large housing for maximum occlusion

- SLD constructed of Makrolon GP, UV stabilized clear polycarbonate, with a thickness of 3/16" and impact rated IK10; Secured at 4 fastening points and spaced 3/16" from optical lens
- WG constructed of 11-gauge wire in a 1"x1" cell pattern; Chrome color poly powder coat finish
- LVR constructed of black polycarbonate, providing 26° of occlusion; Field rotatable to 90°, 180° and 270

Electrical

- Standard with 0-10V dimming
- Standard with 10kV surge module; optional 20kV surge module
- Suitable for operation in -40°C to 40°C ambient environments
- Optional 50°C high ambient (HA) configuration

Mounting

- Available with Adjustable Slipfitter, Adjustable Pole mount, Trunnion, Knuckle, Yoke or Wall mount
- All arms factory installed and painted to match housing

Typical Applications

- Outdoor area, building façade, monuments, flags, bridges

Finish

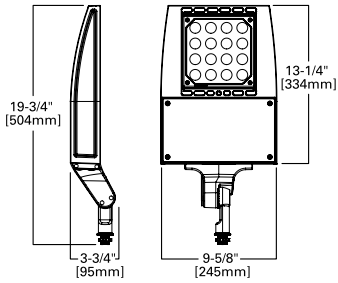
- Six standard finishes use super durable TGIC polyester powder coat paint, providing 2.5 mil nominal thickness and salt-spray tested to 3,000 hours per ASTM B117.
- RAL and custom color matches available
- Coastal Construction (CC) option salt-spray tested to 5,000 hours per ASTM B117

Warranty

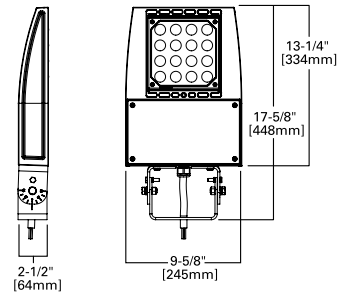
- Five year limited warranty, consult website for details www.cooperlighting.com/legal

Mounting Details - 1 Square

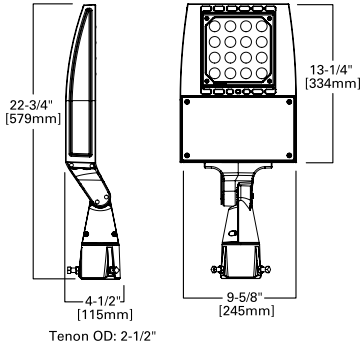
1 Square - Knuckle Mount (K)



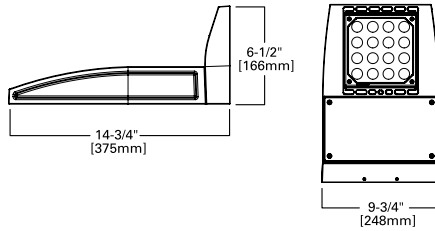
1 Square - Trunnion Mount (T)



1 Square - Adjustable Slipfitter Mount (S)

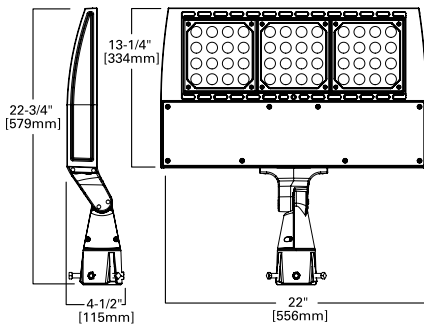


1 Square - Wall Mount (W)

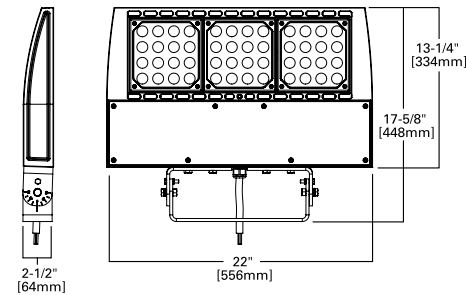


Mounting Details - 3 Square

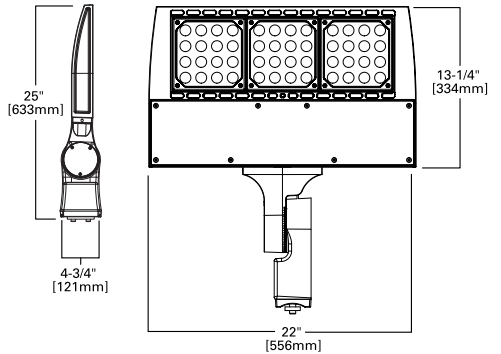
3 Square - Adjustable Slipfitter Mount (S)



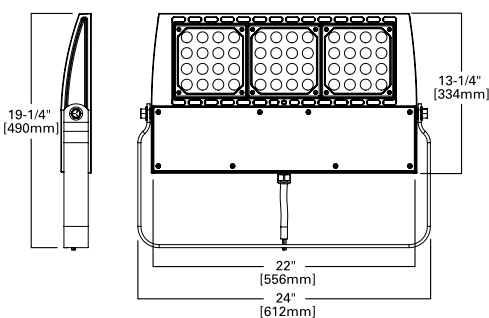
3 Square - Trunnion Mount (T)



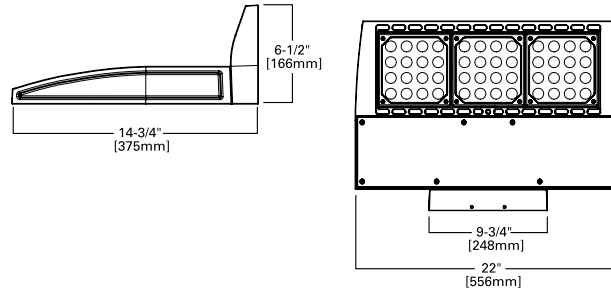
3 Square - Adjustable Pole Mount (P)



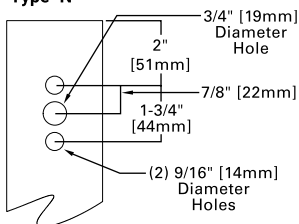
3 Square - Yoke Mount (Y)



3 Square - Wall Mount (W)

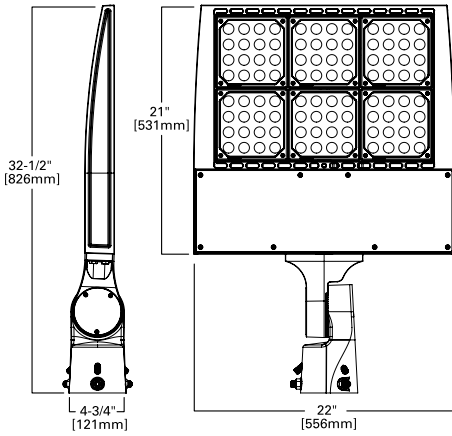


Pole Mount Drilling Pattern
Type "N"

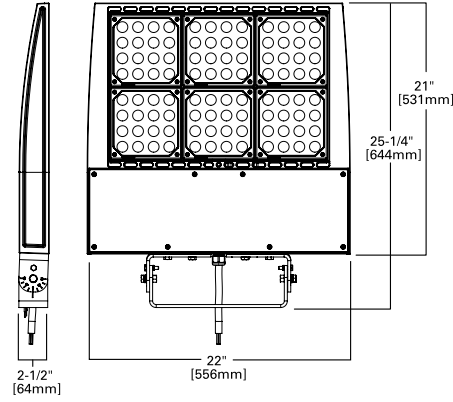


Mounting Details - 6 Square

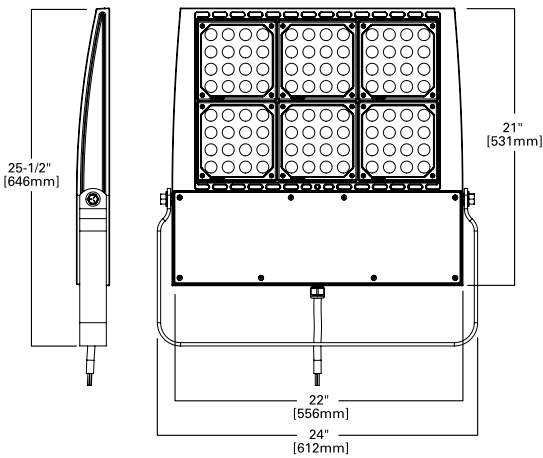
6 Square - Adjustable Slipfitter Mount (S)



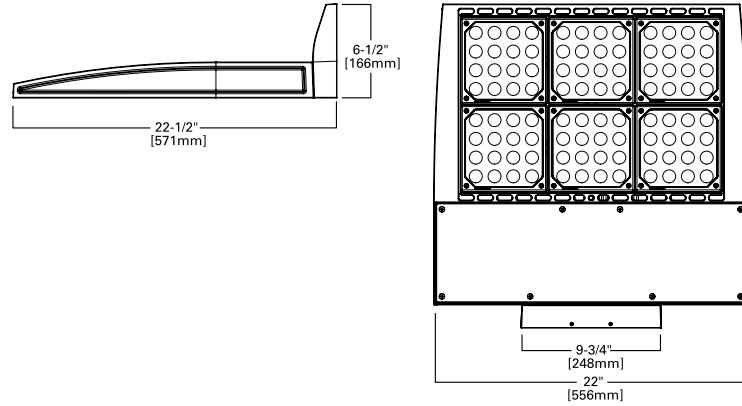
6 Square - Trunnion Mount (T)



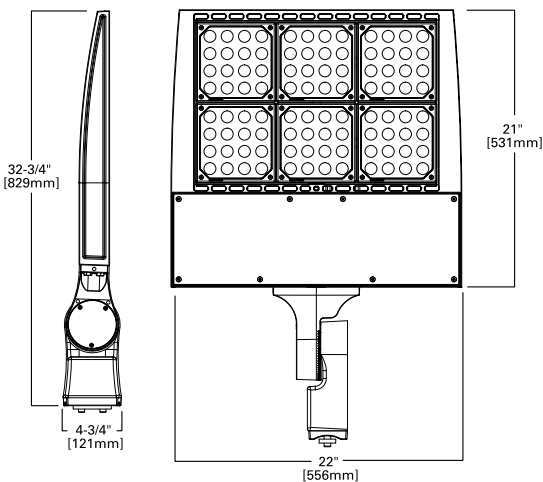
6 Square - Yoke Mount (Y)



6 Square - Wall Mount (W)

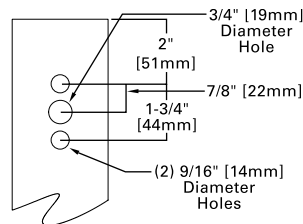


6 Square - Adjustable Pole Mount (P)



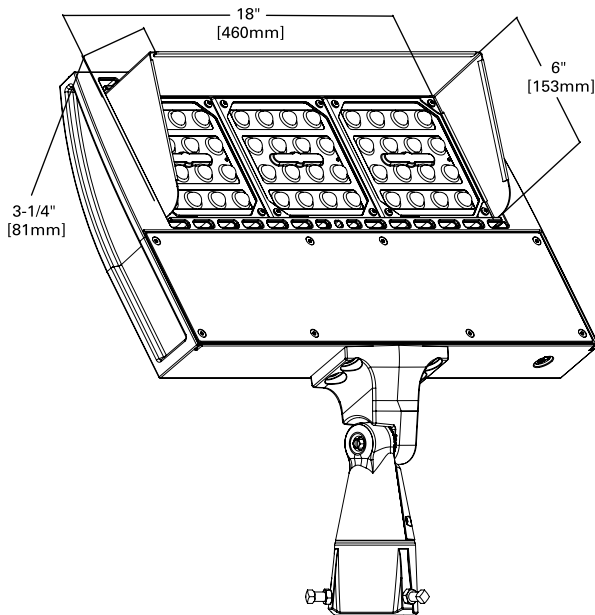
Pole Drilling Patterns

Type "N"

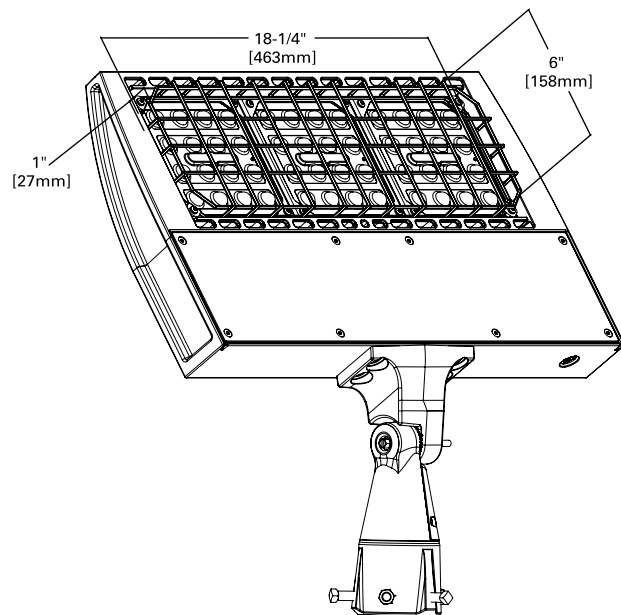


Product Accessories

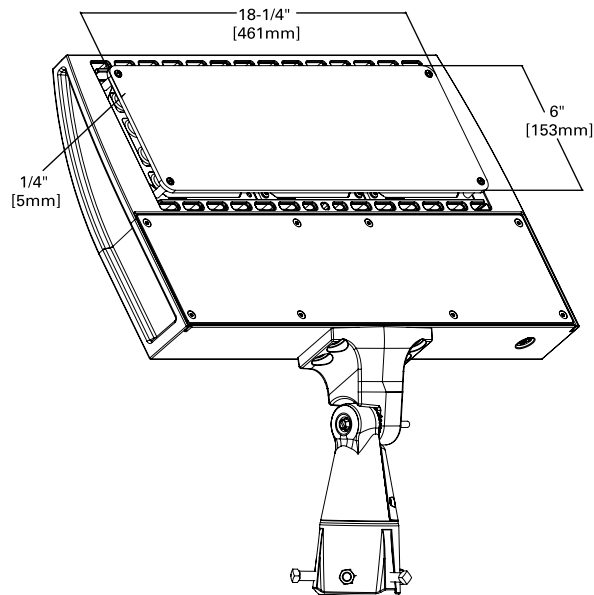
Visor Shield (VSR) ¹



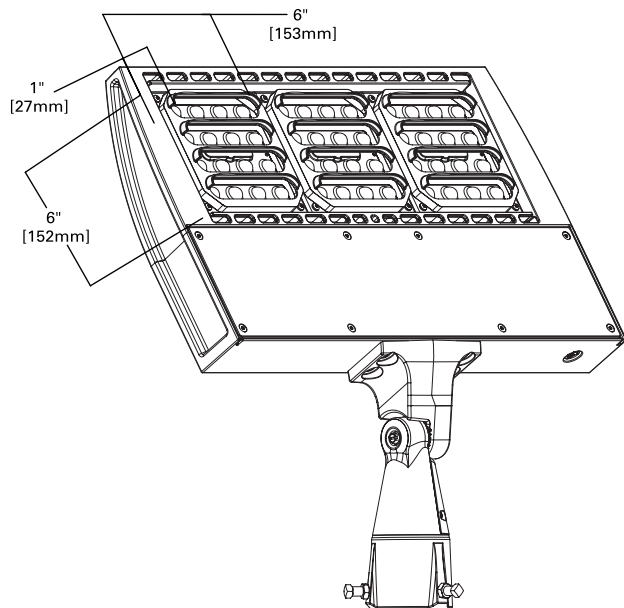
Wire Guard (WG) ¹



Vandal Shield (SLD) ¹



Fixed Louver (LVR) ²



- NOTES:**
 1. Shown configured for a 3-square housing. Also available configured for 1-square and 6-square housings.
 2. Use one per square.

Energy and Performance Data

70 CRI 4000K CCT

Square Count	Drive Current		Optical Distribution, IES NEMA Type (H x V)						Power (W)	
			NR	MR	MWR	WR	VWR	LAM		
			3 x 3	4 x 4	5 x 5	6 x 6	7 x 7	7 x 7		
1 square	A 350mA	Lumens	3,023	2,961	2,952	2,892	2,926	2,906	18	
		Lm/W	167	164	163	160	162	161		
	B 615MA	Lumens	4,987	4,885	4,869	4,771	4,826	4,793	34	
		Lm/W	149	146	145	142	144	143		
	C 800MA	Lumens	6,187	6,061	6,041	5,919	5,987	5,946	44	
		Lm/W	142	139	139	136	138	137		
	D 1050MA	Lumens	7,433	7,281	7,257	7,111	7,193	7,144	57	
		Lm/W	130	127	127	124	126	125		
	E 1200MA	Lumens	8,161	7,994	7,968	7,807	7,897	7,843	66	
		Lm/W	123	121	120	118	119	118		
2 square	B 615mA	Lumens	10,153	9,945	9,913	9,713	9,825	9,758	64	
		Lm/W	160	156	156	153	154	153		
	C 800mA	Lumens	12,596	12,338	12,298	12,050	12,189	12,106	83	
		Lm/W	152	149	149	146	148	147		
	D 1050mA	Lumens	15,133	14,823	14,775	14,477	14,644	14,544	109	
		Lm/W	139	136	136	133	135	134		
	E 1200mA	Lumens	16,614	16,274	16,221	15,894	16,077	15,968	126	
		Lm/W	132	129	129	126	128	127		
	3 square	B 615mA	Lumens	14,434	14,048	14,139	14,418	13,967	13,987	94
			Lm/W	154	150	151	154	149	149	
C 800mA		Lumens	18,070	17,587	17,701	18,050	17,485	17,510	122	
		Lm/W	148	145	145	148	144	144		
D 1050mA		Lumens	22,549	21,946	22,088	22,524	21,819	21,851	160	
		Lm/W	141	137	138	141	136	136		
E 1200mA		Lumens	24,983	24,315	24,472	24,955	24,174	24,209	185	
		Lm/W	135	131	132	135	131	131		
4 square		B 615mA	Lumens	20,971	20,542	20,475	20,063	20,294	20,156	130
			Lm/W	162	159	158	155	157	156	
	C 800mA	Lumens	26,254	25,717	25,633	25,117	25,407	25,233	168	
		Lm/W	156	153	152	149	151	150		
	D 1050mA	Lumens	32,762	32,092	31,987	31,343	31,704	31,487	221	
		Lm/W	148	145	144	142	143	142		
	E 1200mA	Lumens	36,298	35,555	35,439	34,725	35,126	34,886	256	
		Lm/W	142	139	138	136	137	136		
	5 square	B 615mA	Lumens	25,726	25,200	25,118	24,612	24,896	24,725	159
			Lm/W	162	159	158	155	157	156	
C 800mA		Lumens	32,207	31,548	31,445	30,812	31,167	30,954	206	
		Lm/W	156	153	153	149	151	150		
D 1050mA		Lumens	40,190	39,368	39,239	38,449	38,892	38,627	271	
		Lm/W	148	145	145	142	143	142		
E 1200mA		Lumens	44,528	43,617	43,474	42,599	43,090	42,795	314	
		Lm/W	142	139	139	136	137	136		
6 square		B 615mA	Lumens	30,677	30,049	29,951	29,348	29,686	29,483	191
			Lm/W	161	158	157	154	156	155	
	C 800mA	Lumens	38,404	37,619	37,496	36,741	37,165	36,910	248	
		Lm/W	155	152	151	148	150	149		
	D 1050mA	Lumens	47,924	46,943	46,790	45,848	46,376	46,059	326	
		Lm/W	147	144	144	141	142	141		
	E 1200mA	Lumens	53,096	52,010	51,840	50,796	51,382	51,030	377	
		Lm/W	141	138	138	135	136	135		

Energy and Performance Data

90 CRI 4000K CCT

Square Count	Drive Current		Optical Distribution, IES NEMA Type (H x V)								Power (W)	
			TSB	TS	NR	MR	MWR	WR	NAT	WAF		
			1 x 1	2 x 2	3 x 3	4 x 4	5 x 5	6 x 6	6 x 4	7 x 6		
1 Square	A 350mA	Lumens	1,439	2,267	2,244	2,183	2,169	2,201	2,042	1,981	18	
		Lm/W	80	126	125	121	121	122	113	110		
	B 615mA	Lumens	2,373	3,740	3,702	3,602	3,578	3,631	3,368	3,268	33	
		Lm/W	71	112	111	108	107	109	101	98		
	C 800mA	Lumens	2,944	4,640	4,593	4,468	4,439	4,505	4,179	4,054	44	
		Lm/W	68	107	106	103	102	104	96	93		
	D 1050mA	Lumens	3,537	5,575	5,518	5,368	5,333	5,412	5,020	4,870	55	
		Lm/W	64	101	100	97	96	98	91	88		
	E 1200mA	Lumens	3,883	6,121	6,058	5,894	5,855	5,942	5,512	5,347	64	
		Lm/W	61	96	95	93	92	94	87	84		
2 Square	B 615mA	Lumens	4,743	7,476	7,400	7,200	7,152	7,258	6,733	6,531	63	
		Lm/W	75	118	117	114	113	114	106	103		
	C 800mA	Lumens	5,930	9,346	9,250	9,000	8,940	9,073	8,416	8,165	83	
		Lm/W	71	112	111	108	108	109	101	98		
	D 1050mA	Lumens	7,293	11,494	11,377	11,068	10,995	11,158	10,351	10,041	110	
		Lm/W	66	105	104	101	100	102	94	91		
	E 1200mA	Lumens	8,016	12,634	12,505	12,166	12,086	12,265	11,377	11,037	127	
		Lm/W	63	100	99	96	95	97	90	87		
	3 Square	B 615mA	Lumens	6,887	10,855	10,744	10,453	10,384	10,538	9,775	9,483	91
			Lm/W	76	119	118	115	114	116	107	104	
C 800mA		Lumens	8,609	13,569	13,431	13,067	12,980	13,173	12,219	11,854	119	
		Lm/W	72	114	112	109	109	110	102	99		
D 1050mA		Lumens	10,588	16,688	16,518	16,070	15,964	16,201	15,028	14,579	158	
		Lm/W	67	106	105	102	101	103	95	92		
E 1200mA		Lumens	11,638	18,344	18,156	17,664	17,548	17,808	16,519	16,025	182	
		Lm/W	64	101	100	97	96	98	91	88		
4 Square		B 615mA	Lumens	9,584	15,105	14,951	14,546	14,450	14,664	13,603	13,196	126
			Lm/W	76	120	119	116	115	116	108	105	
	C 800mA	Lumens	11,834	18,653	18,462	17,962	17,844	18,108	16,797	16,295	164	
		Lm/W	72	114	113	110	109	111	103	99		
	D 1050mA	Lumens	14,444	22,766	22,533	21,923	21,778	22,101	20,501	19,888	217	
		Lm/W	67	105	104	101	100	102	95	92		
	E 1200mA	Lumens	15,785	24,880	24,625	23,958	23,800	24,153	22,404	21,735	250	
		Lm/W	63	99	98	96	95	96	90	87		
	5 Square	B 615mA	Lumens	11,756	18,530	18,341	17,844	17,726	17,989	16,686	16,188	154
			Lm/W	76	120	119	116	115	117	108	105	
C 800mA		Lumens	14,517	22,882	22,648	22,034	21,889	22,214	20,605	19,990	201	
		Lm/W	72	114	113	110	109	111	103	100		
D 1050mA		Lumens	17,718	27,927	27,641	26,893	26,715	27,111	25,148	24,397	266	
		Lm/W	67	105	104	101	101	102	95	92		
E 1200mA		Lumens	19,364	30,520	30,208	29,390	29,196	29,629	27,484	26,663	307	
		Lm/W	63	99	98	96	95	97	90	87		
6 square		B 615mA	Lumens	14,019	22,096	21,870	21,277	21,137	21,450	19,897	19,303	185
			Lm/W	76	119	118	115	114	116	107	104	
	C 800mA	Lumens	17,311	27,285	27,006	26,274	26,101	26,488	24,570	23,836	241	
		Lm/W	72	113	112	109	108	110	102	99		
	D 1050mA	Lumens	21,128	33,301	32,960	32,068	31,856	32,328	29,988	29,092	319	
		Lm/W	66	104	103	101	100	101	94	91		
	E 1200mA	Lumens	23,090	36,393	36,021	35,045	34,814	35,330	32,772	31,793	368	
		Lm/W	63	99	98	95	95	96	89	86		

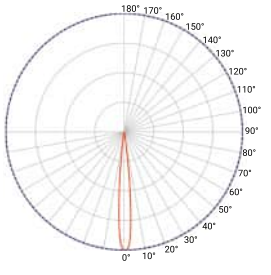
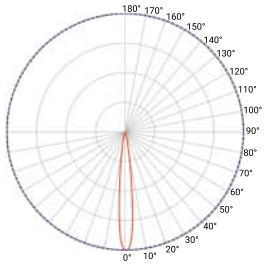
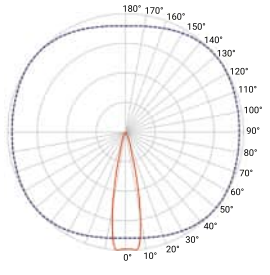
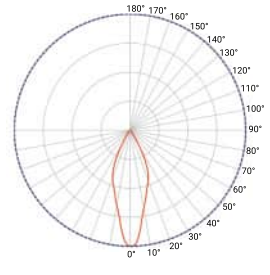
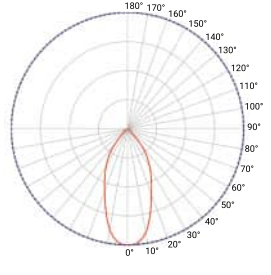
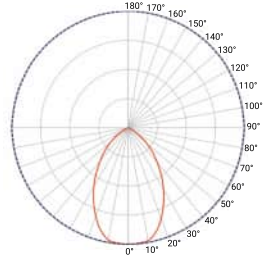
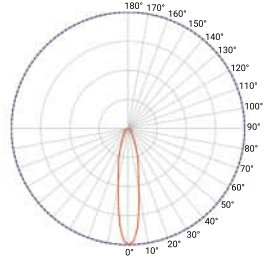
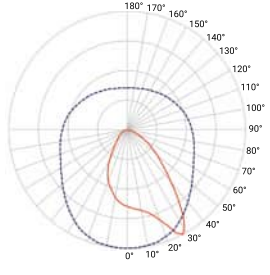
Optical Distributions

70 CRI, 4000K CCT

Distributions	NR	MR	MWR
IES NEMA Type	3 H X 3 V	4 H X 4 V	5 H X 5 V
Horizontal Beam Angle (50%)	13.7	28.8	51
Vertical Beam Angle (50%)	13.7	29	52.3
Horizontal Field Angle (10%)	31.6	52.3	74.5
Vertical Field Angle (10%)	31.6	52.3	74.5
Peak Intensity (cd) 1 square ¹	76,375	25,494	9,350
Peak Intensity (cd) 3 squares ¹	233,804	77,545	28,717
Peak Intensity (cd) 6 squares ¹	496,900	165,870	60,833
Luminous Intensity Polar Plot			
--- Vertical Plane Through 0° Lateral — Horizontal Cone Through 0° Vertical			
Distributions	WR	VWR	LAM
IES NEMA Type	6 H X 6 V	7 H X 7 V	7 H X 7 V
Horizontal Beam Angle (50%)	53.8	79.6	117.8
Vertical Beam Angle (50%)	53.8	79.6	117.8
Horizontal Field Angle (10%)	100.8	135.9	152.8
Vertical Field Angle (10%)	100.8	135.9	152.8
Peak Intensity (cd) 1 square ¹	7,661	4,366	2,563
Peak Intensity (cd) 3 squares ¹	24,489	13,365	7,910
Peak Intensity (cd) 6 squares ¹	49,848	28,407	16,673
Luminous Intensity Polar Plot			
--- Vertical Plane Through 0° Lateral — Horizontal Cone Through 0° Vertical			
NOTES: 1. 4000K CCT, 1200mA Drive Current *E*			

Optical Distributions

90 CRI, 4000K CCT

Distributions	TSB	TS	NR	MR
NEMA Type	1H X 1V	2H X 2V	3H X 3V	4H X 4V
Horizontal Beam Angle (50%)	9°	12°	24°	34°
Vertical Beam Angle (50%)	10°	12°	24°	34°
Horizontal Field Angle (10%)	16°	25°	39°	64°
Vertical Field Angle (10%)	17°	25°	39°	64°
Peak Intensity (cd) 1 square ¹	99,104	83,758	32,041	13,293
Peak Intensity (cd) 3 squares ¹	297,030	251,014	96,028	39,837
Peak Intensity (cd) 6 squares ¹	589,313	497,992	190,517	79,036
Luminous Intensity Polar Plot				
Distributions	MWR	WR	NAT	WAF
NEMA Type	5H X 5V	6H X 6V	6H X 4V	7H X 6V
Horizontal Beam Angle (50%)	47°	68°	77°	86°
Vertical Beam Angle (50%)	48°	69°	21°	61°
Horizontal Field Angle (10%)	85°	117°	127°	136°
Vertical Field Angle (10%)	84°	115°	56°	115°
Peak Intensity (cd) 1 square ¹	7,511	4,386	7,685	3,665
Peak Intensity (cd) 3 squares ¹	22,510	13,146	23,030	10,985
Peak Intensity (cd) 6 squares ¹	44,658	26,081	45,690	21,794
Luminous Intensity Polar Plot				
NOTES: 1. 4000K CCT, 1200mA Drive Current "E"				

Energy and Performance Data

Drive Current "A" (350mA)

Number of Light Squares	1
Nominal Power (Watts)	18
Input Current @ 120V	0.15
Input Current @ 208V	0.09
Input Current @ 240V	0.08
Input Current @ 277V	0.07

Drive Current "B" (615mA)

Number of Light Squares	1	2	3	4	5	6
Nominal Power (Watts)	33	63	93	121	154	182
Input Current @ 120V	0.28	0.53	0.78	1.06	1.31	1.56
Input Current @ 208V	0.16	0.31	0.46	0.62	0.77	0.92
Input Current @ 240V	0.14	0.27	0.40	0.54	0.67	0.80
Input Current @ 277V	0.13	0.24	0.35	0.47	0.58	0.70
Input Current @ 347V	0.10	0.18	0.27	0.36	0.45	0.54
Input Current @ 480V	0.07	0.13	0.20	0.27	0.33	0.40

Drive Current "C" (800mA)

Number of Light Squares	1	2	3	4	5	6
Nominal Power (Watts)	44	82	121	164	204	243
Input Current @ 120V	0.37	0.69	1.01	1.38	1.70	2.03
Input Current @ 208V	0.21	0.40	0.59	0.80	1.00	1.19
Input Current @ 240V	0.18	0.35	0.51	0.69	0.86	1.02
Input Current @ 277V	0.16	0.30	0.45	0.61	0.76	0.90
Input Current @ 347V	0.13	0.24	0.36	0.47	0.59	0.71
Input Current @ 480V	0.09	0.17	0.26	0.34	0.43	0.52

Drive Current "D" (1050mA)

Number of Light Squares	1	2	3	4	5	6
Nominal Power (Watts)	57	108	160	213	269	321
Input Current @ 120V	0.48	0.91	1.34	1.81	2.24	2.68
Input Current @ 208V	0.28	0.53	0.78	1.06	1.31	1.56
Input Current @ 240V	0.24	0.46	0.66	0.92	1.12	1.33
Input Current @ 277V	0.21	0.40	0.58	0.81	1.00	1.16
Input Current @ 347V	0.16	0.32	0.47	0.64	0.80	0.94
Input Current @ 480V	0.12	0.23	0.34	0.47	0.58	0.68

Drive Current "E" (1200mA)

Number of Light Squares	1	2	3	4	5	6
Nominal Power (Watts)	65	125	184	245	309	368
Input Current @ 120V	0.55	1.04	1.53	2.08	2.58	3.07
Input Current @ 208V	0.32	0.61	0.89	1.22	1.50	1.79
Input Current @ 240V	0.28	0.52	0.76	1.05	1.28	1.52
Input Current @ 277V	0.24	0.46	0.66	0.92	1.13	1.32
Input Current @ 347V	0.19	0.37	0.54	0.74	0.91	1.09
Input Current @ 480V	0.14	0.27	0.39	0.54	0.66	0.78

Fixture Weights and EPAs

Tilt Angle (Degrees)	Number of Light Squares	Weight	EPA
0°	1	10.0 lbs (4.5 kg)	0.45
	2-3	19.6 lbs (8.9 kg)	0.63
	4-6	32.9 lbs (14.9 kg)	0.77
60°	1	10.0 lbs (4.5 kg)	1.16
	2-3	19.6 lbs (8.9 kg)	2.37
	4-6	32.9 lbs (14.9 kg)	3.72

Control Options

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (BPC, PR and PR7)

Optional button-type photocontrol (BPC) and photocontrol receptacles (PR and PR7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PR7 receptacle.

After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (SPB)

These passive infrared (PIR) sensors are connected to a standard dimming driver, activating the luminaire at night when motion is detected. After a prescribed time period, the luminaire turns off or is dimmed to a selected level. The sensor default parameters are listed in the table below. The SPB can be configured utilizing the Sensor Configuration mobile application for iOS and Android devices. An integral photocontrol can be activated with the app for "dusk-to-dawn" control or daylight harvesting - the factory default is off. Three sensor lenses are available to optimize the coverage pattern for mounting heights up to 40'. Four sensor colors are available; Bronze, Black, Gray and White, and are automatically selected based on the luminaire finish as indicated by the table below.

SPB sensor finish matched to luminaire finish		
Luminaire Finish		SPB Sensor Finish
WH	White	White
BK	Black	Black
GM	Graphite Metallic	Black
BZ	Bronze	Bronze
AP	Gray	Gray
DP	Dark Platinum	Gray

WaveLinX Wireless Control and Monitoring System

Operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting.

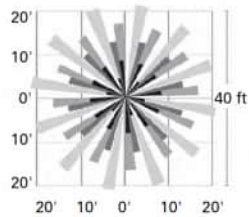
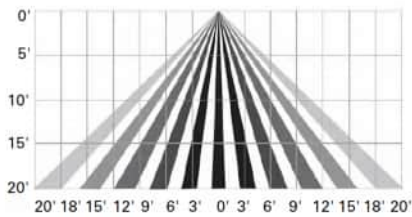
WaveLinX PRO (WPS2 and WPS4) outdoor wireless sensors offer passive infrared (PIR) occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed.

Sensors are factory preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinX mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

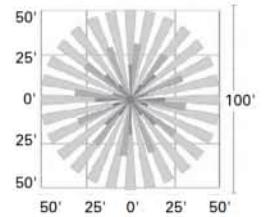
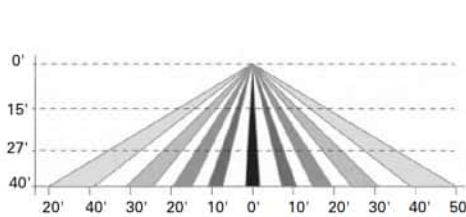
WaveLinX LITE (WLS4 and WLS2) outdoor wireless sensors provide PIR occupancy and photocell for closed loop daylight harvesting, and can be factory or field-installed. Sensors are factory

preset to dim down to 50% after 15 minutes of no motion detected. Two lens options are available for mounting heights of 7' to 40'. Use the WaveLinX Lite mobile application for set-up and configuration. WAC not required.

For mounting heights up to 15' (WPS2 and WLS2)



For mounting heights up to 40' (WPS4 and WLS4)



Default Program Settings (Out of the Box Functionality)

Occupancy Sensor			
Setting	SPB	WaveLinX Light Commercial	WaveLinX
High Mode %	100%	100%	100%
Low Mode %	10%	50%	50%
Time Delay	5 min	15 min	15 min
Cut Off Delay	1 hr	Disabled	Disabled
Photocell Enabled	No	Yes	Yes

WaveLinX Outdoor Control Module (WOLC-7P-10A) accessory provides a photocontrol enabling astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-the-box functionality is ON at dusk and OFF at dawn.

AirMesh (DIM10)

AirMesh integrated wireless controls system includes factory installed DIM10 Synapse control module and FSP-201 motion sensor; requires additional AirMesh components for operation. Contact Synapse at www.synapsewireless.com for product support, warranty and terms and conditions.

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Architectural Review Board Staff Report

Meeting Date: March 13th, 2025

From: Alyssa Ahner, Senior Planner

Location: Southeast of the intersection of Parkview Terrace and Wildhorse Lake Blvd

Description: **Wildhorse Village, Lot 2B-2 (Audere II):** A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for a 0.69-acre tract of land zoned “PC&R” – Planned Commercial and Residence District located southeast of the intersection of Parkview Terrace and Wildhorse Lake Blvd.

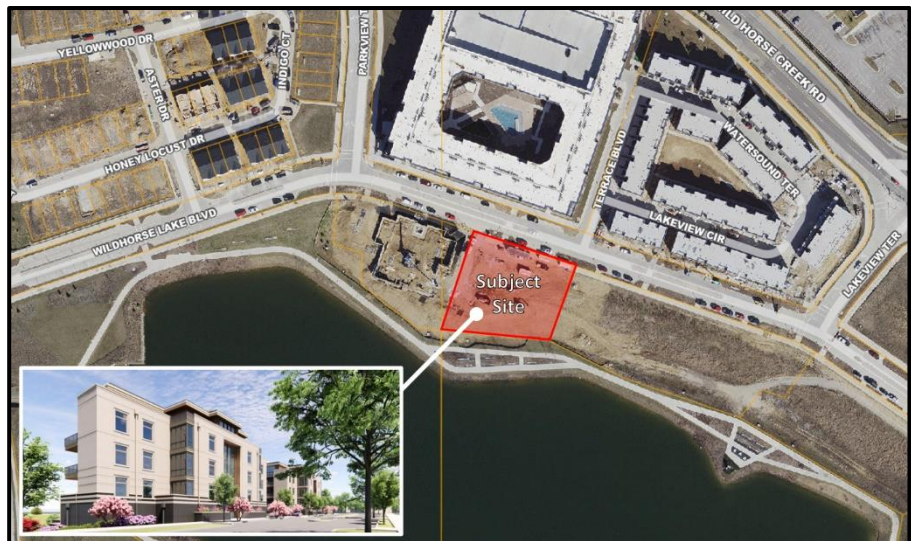
Proposal Summary

Core10 Architecture, on behalf of Audere 2 LLC, has submitted plans for the new construction of a 16-unit multi-family building within the development known as Wildhorse Village.

The building is roughly 62’ in height and contains a 32-space parking garage internal to the building hidden from the public eye. The building is pushed up close to the internal roadway (Wildhorse Lake Blvd.) as

required by the site-specific governing ordinance. The primary building materials consist of brick, wood siding, metal panel, and stained concrete.

The proposed design is similar to the 16-unit multi-family building to the west on Lot 2B-1 which was approved by the City in 2022. The development on Lot 2B-1, known as The Audere, is nearing completion thus triggering the second phase of development to be known as Audere II.



Current Status of Wildhorse Village

In 2021, the record plat for Wildhorse Village established a total of nineteen (19) lots. Over the last few years, lots have been sold, subdivided further, and developed under [Site-Specific Ordinance 3161](#). The table below provides a synopsis of the development that has occurred thus far. The development of the remainder of the vacant lots within Wildhorse Village are dependent on the real estate market and there is no estimated timeframe on when the City expects Wildhorse Village to be completely built out.

Lot Number	Development Name	Description	Current Status
1	The Townes at WHV	72 single-family residential townhome development.	42 of 72 lots have been approved for construction. 30 of the homes have received occupancy.
2A-1	The Flats at WHV	266 unit multi-family apartment building.	Construction completed and occupancy obtained.
2A-2	The Terraces at WHV	70 unit multi-family townhome development.	Construction completed and occupancy obtained.
2B-1	The Audere	16 unit multi-family condo building.	Under construction.
2B-2	Audere II	16 unit multi-family condo building.	Under review.
6	Waterfront at WHV	35 single-family residential development.	35 of 35 lots have been approved for construction. 32 of the 35 lots have obtained occupancy.
7	Common Ground	Common ground for the entirety of the Wildhorse Village subdivision.	Construction completed with exception to boat house.

Site Relationships

This is a multi-family development that is southeast of an attached single-family development, east of a multi-family condo building, south of a multi-family apartment building and multi-family townhome development, directly west of future programmed condo buildings of a similar size, and further west of a mixture of residential, office, and commercial activity all within the larger Wildhorse Village development. Recent photos of adjacent development are available in the applicant’s submittal packet.



Figure 2: Developments within the overall Wildhorse Village

Circulation & Access

The site is accessed by one shared curb cut off Wildhorse Lake Blvd which has already been constructed as part of the construction for the condo to the west. All vehicular access will utilize this drive for tenant parking, loading and trash. Internal pedestrian paths connect to the large pedestrian paths of the overall Wildhorse Village development. A color Site Development Section Plan (Figure 3) was provided in this packet depicting the access and circulation locations.

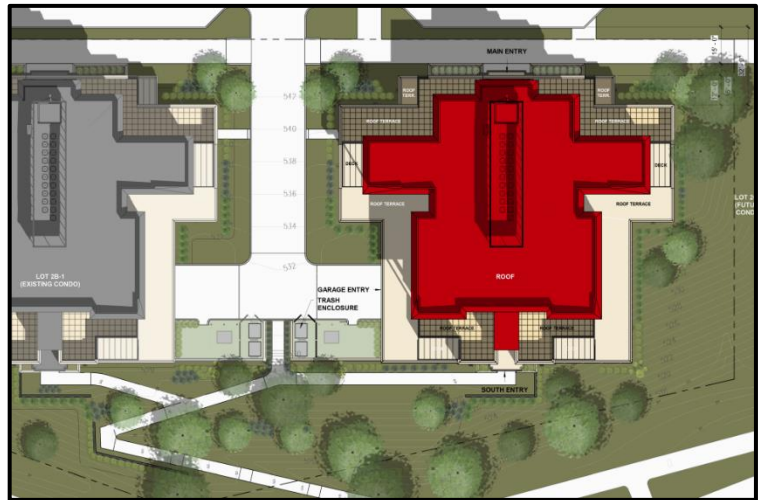


Figure 3: Color site development section plan

Topography & Retaining Walls

The site slopes from Wildhorse Lake Boulevard at the north down to the lake with the building positioned into the slope. Due to the amount of slope from north to south, the south side of the building features an exposed foundation wall. The concrete will be stained to match the building's accent brick and formliner has been selected to give the wall texture and interest. Low segmented block retaining walls will be used along the path to the lake to help hold grade as the path traverses down the hillside. The rendering in Figure 4 helps illustrate these details.



Figure 4: Rendering of south east corner of building

General Requirements for Building Design

The building is roughly 62' in height and contains a 32-space parking garage internal to the building hidden from the public eye. The building is pushed up close to the internal roadway (Wildhorse Lake Blvd.) as required by the site-specific governing ordinance. The building will be highly visible from all four facades.

Scale, Design, Materials, and Color

The site-specific governing ordinance has language in regards to the building placement, overall height, first floor height, and function. There is also a streetscape exhibit for Wildhorse Lake Blvd. The placement, overall height, and function all comply with the site-specific ordinance. The site does have a requirement in which the applicant is seeking a modification. The ordinance requires rooftop mechanical

equipment within “architecturally designed, fully enclosed penthouses that complement the building design”. The applicant does not have a fully enclosed penthouse but is requesting the modification to propose screen walls at the roof level to enclose the building’s elevator overrun and rooftop equipment. A roof plan has been provided in the ARB packet and is the same as what was approved for the condo building on Lot 2B-1.

The building is primarily two different colors of brick. Accents of wood siding are provided on all four elevations. An exposed concrete form-liner pattern stained to match the accent brick is seen on the east, west, and south elevations. The proposed building materials are the same as what was approved on the adjacent condo building and may be seen in Figure 5. A larger version may be found in the applicant’s submittal packet.

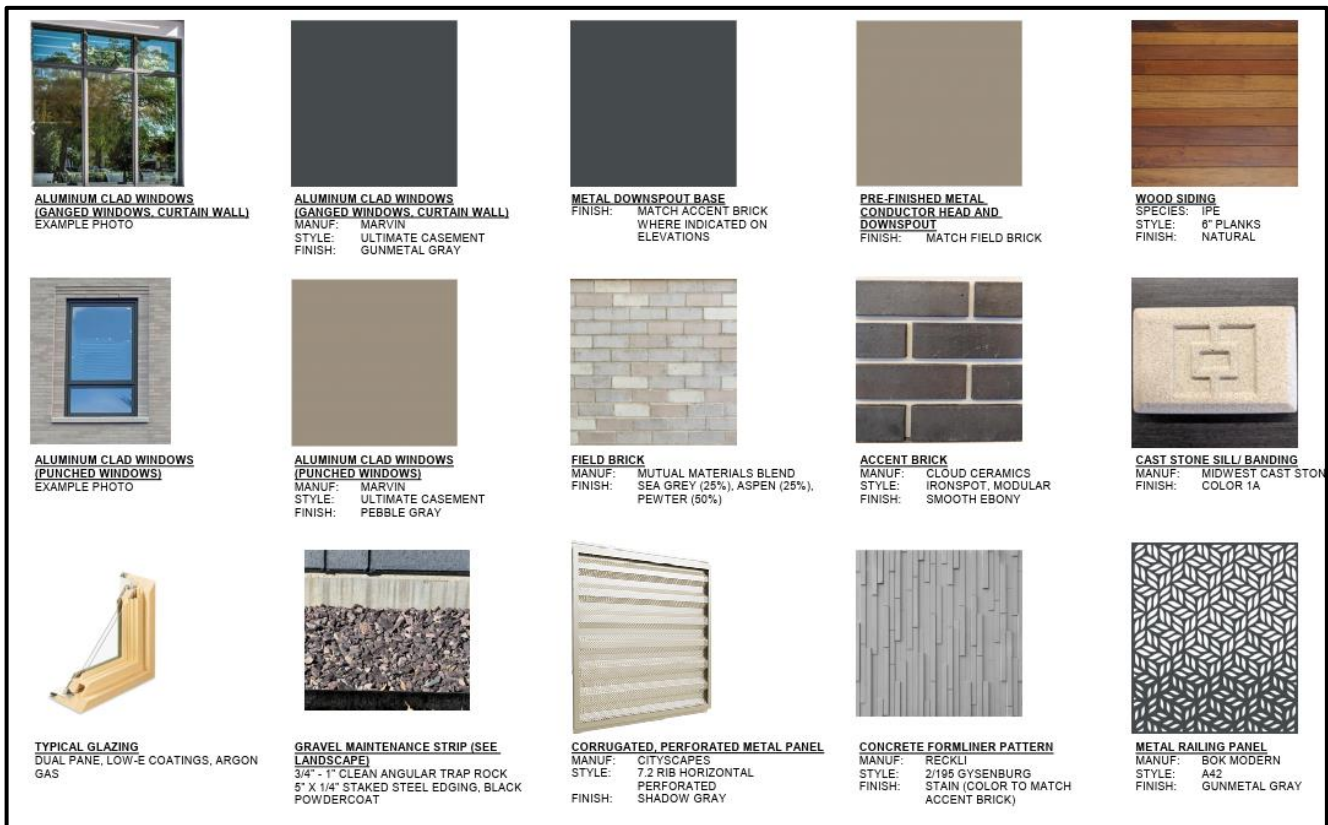


Figure 5: Proposed building materials

Landscape Design & Screening

The site contains a mixture of canopy trees, evergreen trees, and deciduous understory trees in addition to deciduous shrubs and evergreen shrubs. Due to the level of detail on the landscape plan, please view the proposal in the applicant’s submittal packet on pages L1.1 and L1.2.

The applicant has provided the aforementioned roof-top screening exhibit which is included in the packet. A portion of the trash enclosure is incorporated into an extension of the sculptural foundation wall. The remaining side and gate enclosure are painted wood slat screening to provide an easily maintainable and design compatible enclosure.

Lighting

All exterior lighting will adhere to all UDC lighting code requirements. All exterior lighting will be white in color, and all the cut sheets have been included within the submittal which is consistent with Lot 2B-1. The site does have a few bollards that are illuminated along the path that leads to the lake.

Modification Request

A modification is being requested in regards to the rooftop mechanical screening requirement. Ordinance 3161 states, *“rooftop mechanical equipment shall be permitted on roof within architecturally designed, fully enclosed penthouses that complement the building design”*. The applicant is proposing to screen the rooftop equipment on all visible sides with materials that are an integral part of the architecture. A full narrative of the modification request is included in this packet. The Architectural Review Board’s recommendation on the requested modification will be provided to the Planning Commission.

Department Input

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff’s report to the Planning Commission. Staff requests review and recommendation on this submittal for Wildhorse Village, Lot 2B-2 (Audere II).

Motion

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) “I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for Wildhorse Village, Lot 2B-2 (Audere II) as presented, with a recommendation for approval (or denial).”

- 2) “I move to forward the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for Wildhorse Village, Lot 2B-2 (Audere II) with the following recommendations...”

Attachments:

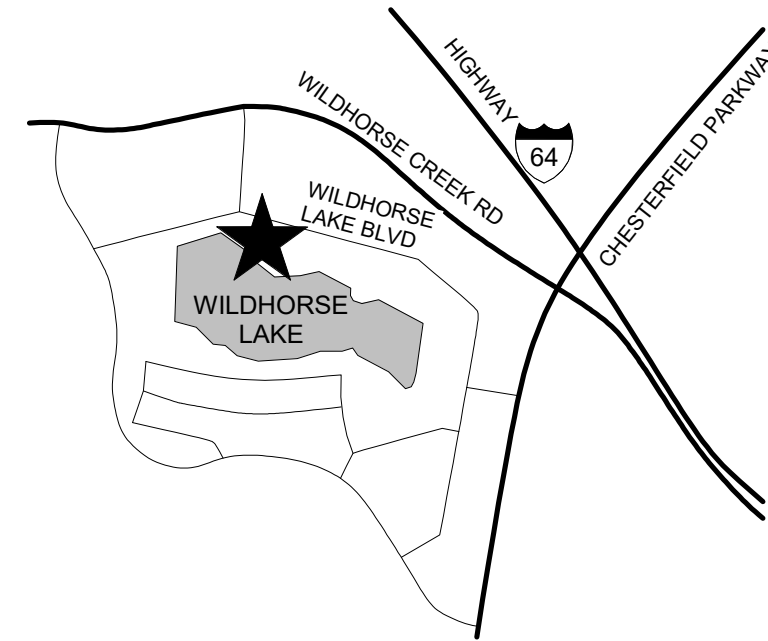
1. Architectural Review Packet Submittal



CORNER VIEW FROM STREET

AUDERE II CONDOMINIUMS

CHESTERFIELD, MISSOURI



LOCATION MAP

NOT TO SCALE

ARB SHEET LIST

G.00 COVER SHEET - ARB SUBMISSION

- A.01 SITE PLAN
- A.02 EXTERIOR ELEVATIONS
- A.03 EXTERIOR ELEVATIONS
- A.04 RENDERINGS
- A.05 RENDERINGS
- A.06 EXTERIOR BUILDING MATERIALS
- A.07 SITE PHOTOS
- A.08 SITE PHOTOS
- A.09 SITE DETAILS
- A.10 ARCHITECT'S STATEMENT
- A.11 ROOF PLAN

- L1.1 LANDSCAPE PLAN
- L1.2 LANDSCAPE SCHEDULE

- E1.1 SITE LIGHTING PLAN
- E1.2 SITE LIGHTING PHOTOMETRIC PLAN



COVER SHEET - ARB SUBMISSION
AUDERE II - WILDHORSE VILLAGE CONDOS
 16420 WILDHORSE LAKE BLVD
 CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

DATE # REVISION

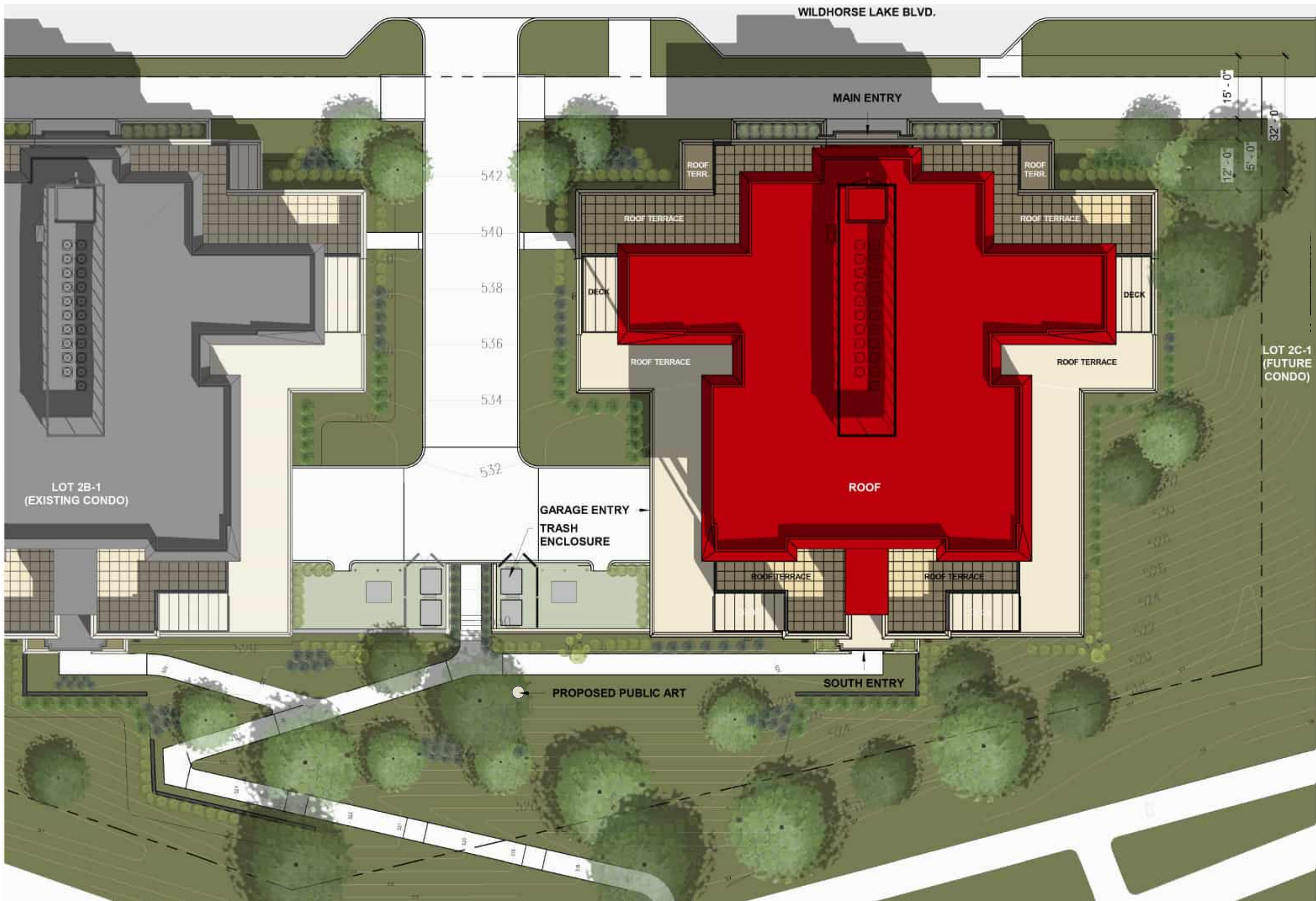
0" 1/2" 1"

3 MAR 2025
24015

G.00

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS
Page 64 of 79

PRELIMINARY NOT FOR CONSTRUCTION



core10
ARCHITECTURE

4501 Lindell Blvd, Suite 1a
Saint Louis, Missouri 63108
314.726.4858 CORE10architecture.com



SITE PLAN
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

DATE # REVISION

0" 1/2" 1"

3 MAR 2025
24015

A.01

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS
Page 65 of 79

1 ARCHITECTURAL SITE PLAN
A.01 1" = 20'-0"

PLAN NORTH TRUE NORTH

PRELIMINARY NOT FOR CONSTRUCTION



- TOP OF ELEVATOR 162' - 2"
- TOP OF ROOF EDGE 159' - 11 1/4"
- TRUSS BEARING 156' - 6 5/8"
- FIFTH FLOOR 146' - 5 1/2"
- FOURTH FLOOR 134' - 10 1/8"
- THIRD FLOOR 123' - 2 3/4"
- SECOND FLOOR 111' - 7 3/8"
- STREET 545' - 0"
- FIRST FLOOR 100' - 0"
- GARAGE 89' - 6"

2 SOUTH ELEVATION
A.03 1/16" = 1'-0"



- TOP OF ELEVATOR 162' - 2"
- TOP OF ROOF EDGE 159' - 11 1/4"
- TRUSS BEARING 156' - 6 5/8"
- FIFTH FLOOR 146' - 5 1/2"
- FOURTH FLOOR 134' - 10 1/8"
- THIRD FLOOR 123' - 2 3/4"
- SECOND FLOOR 111' - 7 3/8"
- STREET 545' - 0"
- FIRST FLOOR 100' - 0"
- GARAGE 89' - 6"

1 WEST ELEVATION
A.03 1/16" = 1'-0"

core10
ARCHITECTURE

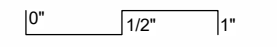
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314.726.4858 CORE10architecture.com

STATE OF MISSOURI
Professional Seal
Amanda
Architect
NUMBER
A-2008008198
03/03/2025
ARCHITECT

EXTERIOR ELEVATIONS
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

PRELIMINARY NOT FOR CONSTRUCTION

DATE # REVISION



3 MAR 2025
24015

A.03

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS
Page 67 of 79



STRAIGHT ON VIEW FROM STREET



STRAIGHT ON VIEW FROM LAKE SIDE



RENDERINGS
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

DATE # REVISION

PRELIMINARY NOT FOR CONSTRUCTION

0" 1/2" 1"

3 MAR 2025
24015

A.04

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS
Page 68 of 79



SIDE VIEW FROM ENTRY DRIVE



CORNER VIEW FROM LAKE SIDE



RENDERINGS
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

DATE # REVISION

PRELIMINARY NOT FOR CONSTRUCTION

0" 1/2" 1"

3 MAR 2025
24015

A.05

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS
Page 69 of 79



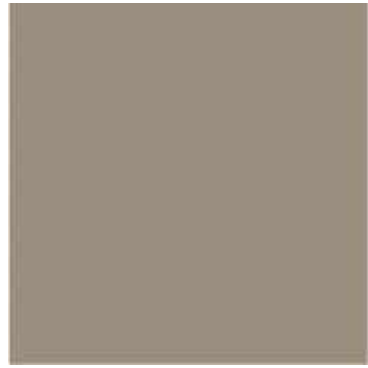
**ALUMINUM CLAD WINDOWS
(GANGED WINDOWS, CURTAIN WALL)**
EXAMPLE PHOTO



**ALUMINUM CLAD WINDOWS
(GANGED WINDOWS, CURTAIN WALL)**
MANUF: MARVIN
STYLE: ULTIMATE CASEMENT
FINISH: GUNMETAL GRAY



METAL DOWNSPOUT BASE
FINISH: MATCH ACCENT BRICK
WHERE INDICATED ON
ELEVATIONS



**PRE-FINISHED METAL
CONDUCTOR HEAD AND
DOWNSPOUT**
FINISH: MATCH FIELD BRICK



WOOD SIDING
SPECIES: IPE
STYLE: 6" PLANKS
FINISH: NATURAL



**ALUMINUM CLAD WINDOWS
(PUNCHED WINDOWS)**
EXAMPLE PHOTO



**ALUMINUM CLAD WINDOWS
(PUNCHED WINDOWS)**
MANUF: MARVIN
STYLE: ULTIMATE CASEMENT
FINISH: PEBBLE GRAY



FIELD BRICK
MANUF: MUTUAL MATERIALS BLEND
FINISH: SEA GREY (25%), ASPEN (25%),
PEWTER (50%)



ACCENT BRICK
MANUF: CLOUD CERAMICS
STYLE: IRONSPOT, MODULAR
FINISH: SMOOTH EBONY



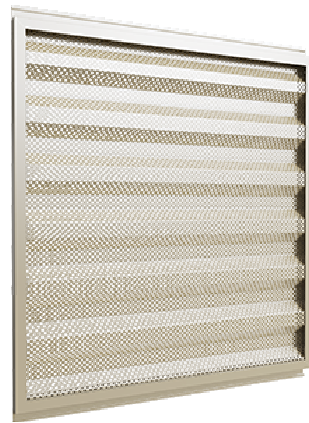
CAST STONE SILL/ BANDING
MANUF: MIDWEST CAST STONE
FINISH: COLOR 1A



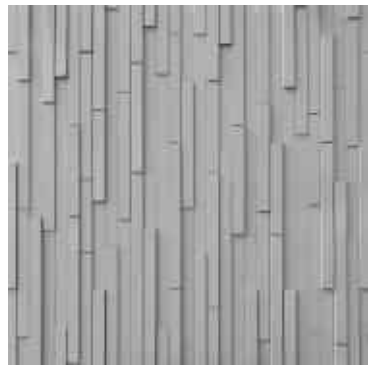
TYPICAL GLAZING
DUAL PANE, LOW-E COATINGS, ARGON
GAS



**GRAVEL MAINTENANCE STRIP (SEE
LANDSCAPE)**
3/4" - 1" CLEAN ANGULAR TRAP ROCK
5" X 1/4" STAKED STEEL EDGING, BLACK
POWDERCOAT



CORRUGATED, PERFORATED METAL PANEL
MANUF: CITYSCAPES
STYLE: 7.2 RIB HORIZONTAL
PERFORATED
FINISH: SHADOW GRAY



CONCRETE FORMLINER PATTERN
MANUF: RECKLI
STYLE: 2/195 GYSENBURG
FINISH: STAIN (COLOR TO MATCH
ACCENT BRICK)



METAL RAILING PANEL
MANUF: BOK MODERN
STYLE: A42
FINISH: GUNMETAL GRAY

MATERIALS LEGEND



DATE	#	REVISION

DATE: 3 MAR 2025
PROJECT NO. 24015

SHEET NO. **A.06**

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CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS AND EXISTING CONDITIONS
BEFORE CONSTRUCTION BEGINS.

PRELIMINARY NOT FOR CONSTRUCTION



AC HOTEL CHESTERFIELD - NORTH OF SITE



AVENTURA APARTMENTS - NORTH OF SITE



FLAIR HOME STAGINGS & DISPLAYS - NORTH OF SITE



PUBLIC LIBRARY - SOUTH OF SITE



YMCA SOUTH OF SITE



WILDHORSE APARTMENTS - NORTH OF SITE



VIEW LOOKING WEST DOWN WILDHORSE LAKE BLVD



VIEW LOOKING SOUTH AT PROJECT SITE



VIEW LOOKING SOUTH AT BUILDING ADJACENT TO PROJECT SITE

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ARCHITECTURE

4501 Lindell Blvd, Suite 1a
Saint Louis, Missouri 63108
314.726.4858 CORE10architecture.com



TEGETHOFF DEVELOPMENT, LLC

AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005

PRELIMINARY NOT FOR CONSTRUCTION

SITE PHOTOS

DATE # REVISION

0" 1/2" 1"

3 MAR 2025
24015

A.07

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS



VIEW LOOKING NORTH AT ADJACENT BUILDING TP PROJECT SITE



VIEW LOOKING EAST DOWN WILDHORSE LAKE BLVD



VIEW LOOKING NORTH AT BUILDING ACROSS FROM PROJECT SITE



AERIAL VIEW LOOKING NORTHWEST OF PROJECT SITE



AERIAL VIEW LOOKING NORTHEAST OF PROJECT SITE



AERIAL VIEW LOOKING NORTH ACROSS LAKE OF PROJECT SITE

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Saint Louis, Missouri 63108
314.726.4858 CORE10architecture.com



STATE OF MISSOURI
Amanda Scaring, Architect
NUMBER A-2008008198
03/03/2025
ARCHITECT

SITE PHOTOS
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

PRELIMINARY NOT FOR CONSTRUCTION

DATE	#	REVISION

0" 1/2" 1"

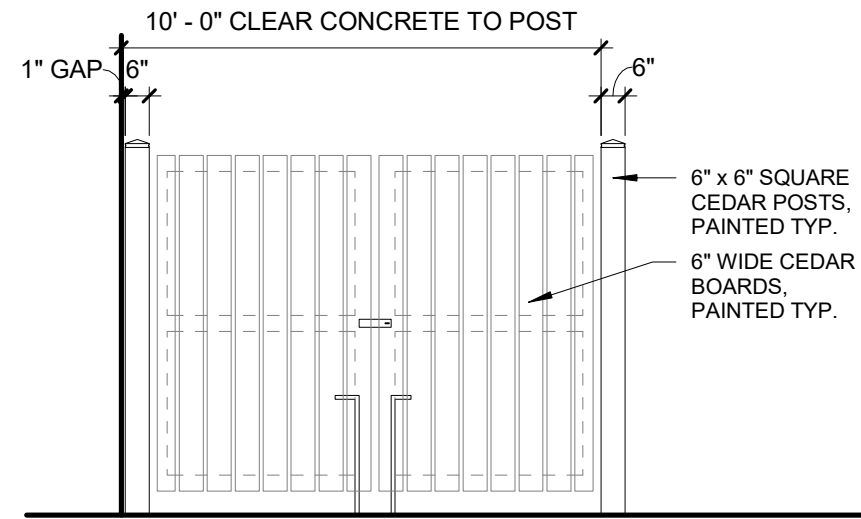
3 MAR 2025
24015

A.08

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS
Page 72 of 79



EXAMPLE MATERIAL PHOTO



1
A.09 TRASH ENCLOSURE FENCE/ GATE ELEVATION
1/4" = 1'-0"

Classic[®] 8

The Advantages of the Classic[®] System...

It's Fast...
Located on the underside of each Classic[®] block, the 4" x 2" Anchor Bar creates an automatic setback with the highest shear resistance in the industry. Plus, Classic's fewer pieces, pinless design, and lower weight per square foot reduces construction time, labor costs, and freight charges.

It's Simple...
"One Unit" construction is a vital element of Classic's superior design. 90° corners and half blocks are made simply by removing a portion of the block. No special blocks are required; no special inventories are needed; no shortages occur on the jobsite!

It's Strong...
Upon assembly, Classic blocks automatically create 4" x 5" vertical "stone columns". When layered with grid, the gravel filled "stone columns" provide a multi-point interlock, for a more uniform block-to-grid connection.

It's Versatile...
Variable setbacks, sharp radius turns, "One Unit" construction, and complete interchangeability are all features of Rockwood's Classic System. The ability to mix various sizes and colors within a wall enhances your imagination without sacrificing structural integrity. Plus, the Anchor Bar allows you to build at any setback you desire - from 0" to 14", providing the only "true" vertical setback in the industry.

Classic[®] 8 Blocks
Unit specifications, availability, color, and fascia options vary by manufacturer. Please contact your nearest Rockwood manufacturer or dealer for more information.

Straight Split
Size: 8" H x 18" W x 12" D
Weight: 80 lbs.

Beveled Split
Size: 8" H x 18" W x 12" D
Weight: 80 lbs.

Rustic
Size: 8" H x 18" W x 12" D
Weight: 80 lbs.

This is for style only. Colors other than grey have an additional cost.

ROCKWOOD[®]
RETAINING WALLS
A better way.[™]

325 Alliance Place NE
Rochester, MN 55906

toll free
888.288.4045
phone
507.529.2871
fax
507.529.2879

www.rockwoodwalls.com

Available at: _____

RETAINING WALL STYLE INTENT

classic 6 and 8 retaining walls

Classic[®] 8 Base Block and Builders
• 8 H x 18 L x 12" D, 1.0" setback
• 82 lbs., 36/pallet (3,020 lbs.)
• Straight face colors: Natural, Taupe, Taupe/Black, Goldenrod, Fieldstone, Red/Black, Charcoal, Red (not shown)
• Beveled face colors: Natural, Taupe, Goldenrod, Fieldstone, Red/Black

Straight Face Solid Corner
• Split on 18" & 9" side, 8 H x 18 L x 9" D
• 100 lbs., 32/pallet (3,240 lbs.)
• Colors: Natural, Taupe, Goldenrod, Fieldstone, Taupe/Black, Charcoal, Red/Black, Red

Half Block and Corner Block
• 8 H x 12 L x 9" D (half), 60 lbs.
• 8 H x 13 W x 4" D (corner), 90 lbs.
• Colors: Natural, Taupe, Goldenrod, Charcoal, Red, Red/Black, Taupe/Black, Fieldstone

Classic[®] 6 Base Block and Builders
• 8 H x 18 L x 12" D, .75" setback
• 64 lbs., 45/pallet (2,840 lbs.)
• Straight face colors: Natural, Taupe, Taupe/Black, Goldenrod, Fieldstone, Charcoal, Red (not shown)
• Beveled face colors: Natural, Taupe, Goldenrod, Fieldstone, Red/Black

Standard Half Block and Corner Block
• 6 H x 12 L x 9" D (half)
• 6 H x 13 W x 4" D (corner)
• Colors: Natural, Taupe, Goldenrod, Red, Red/Black, Taupe/Black, Fieldstone, Charcoal

Standard Cap
• 4 H x 18 W x 12" D
• 54 lbs., 48/pallet (3,280 lbs.)
• Colors: Natural, Taupe, Taupe/Black, Red, Charcoal, Goldenrod, Fieldstone, Red/Black

Refer to actual product samples when making color selection.

RETAINING WALL COLOR INTENT

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ARCHITECTURE

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Saint Louis, Missouri 63108
314.726.4858 CORE10architecture.com



PRELIMINARY NOT FOR CONSTRUCTION

SITE DETAILS
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

DATE # REVISION

0" 1/2" 1"

3 MAR 2025
24015
A.09

ALL LOCAL CODES SHALL PREVAIL. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS
Page 73 of 79

GENERAL REQUIREMENTS FOR SITE DESIGN:

SITE RELATIONSHIP

The proposed project is part of the larger Wildhorse Village development and as such conforms to and incorporates the site design requirements as outlined in Ordinance 3161. The project is bordered to the north by The Flats at Wildhorse Village, to the east by Lot 2C which will be future similar condominium buildings, to the South by common ground and the lake and to the west by a view Corridor. The building design is configured to focus views towards the Lake and to tie into the planned streets, sidewalks and trails of the overall development with direct access from the south to the lake trail.

CIRCULATION SYSTEM & ACCESS

The site is accessed by a single curb cut that is shared with the condo building on the west half of the site, which is currently under construction. All vehicular access will use this drive for parking and trash. Parking is located in an enclosed garage on the lowest level of the building.

TOPOGRAPHY

The site slopes steeply from Wildhorse Lake Boulevard at the north down to the lake but the building is positioned to nestle into this slope and terrace units to capture views.

FOUNDATION & RETAINING WALLS

Due to the amount of slope from north to south, the south side of the building features an exposed foundation wall. This wall has been incorporated as a design feature of the building. The concrete will be stained to match the building's accent brick and a sculptural formliner has been selected to give the wall texture and interest, compatible with the building's design intent of a rocky outcropping on the horizon.

Additionally, the landscape has been arranged to enhance and provide additional layering and texture to the wall and the south facade of the building. Low segmented block retaining walls will also be used along the path down to the lake to help hold the grade as the path traverses the hillside.

PUBLIC ART

Public art is proposed along the path to the south of the building and sits just to the west between the first Audere building and this proposed development. The textured foundation wall and landscaping of the paired buildings will set the backdrop for the placement of this art.

GENERAL REQUIREMENTS FOR BUILDING DESIGN:

SCALE

Great attention has been given to the massing and scale of the architecture. The north street facade is designed to hold a strong edge, while also stepping back at the corners and entrance to break down the scale and welcome people to the building. As the building mass moves down the hill, there is a continual play of stepping and terracing to further break that scale down towards the lake.

DESIGN

The guiding principle of the building's design was a natural rock bluff in a hillside on the horizon. While the massing of the north street facade is strong and creates the horizon line, this breaks down as the building moves down the hill in a series of steps and terraces towards the lake. The individual residential units are arranged in such a way that every unit capitalizes on a view, providing terraces and balconies to embrace the nature and vantage points around the building and greater development.

MATERIALS & COLOR

The primary building material is brick for a timeless and classic sophistication. The upper brick is a blend of soft greys which transitions to strong dark accent bands and then dark stained textured concrete at the building's base. This materiality represents the rock striations as the building engages the earth and then lightens to blend into the horizon.

The building also incorporates large expanses of glass and windows to capture those important and beautiful views, particularly at the south towards the lake. The very top of the building transitions to a warm wood siding at the horizon line.

WALLS & SCREENING

As previously mentioned the foundation and retaining walls have been designed to reflect the natural concept of the building and site through color and texture.

There are screen walls at the roof level to enclose the building's elevator overrun and rooftop equipment with a cohesive material that is an integral part of the architecture.

Screening of the trash enclosure is also incorporated. A portion of this enclosure is incorporated into an extension of the sculptural foundation wall. The remaining side and gate enclosure are painted wood slat screening to provide an easily maintainable and design compatible enclosure.

LANDSCAPE DESIGN

The site development incorporates a comprehensive landscape design package intended to enhance natural features and views while integrating into the overall Wildhorse Village master landscape plan.

MODIFICATION REQUEST - ROOF SCREENING:

We request a modification to Section IG.5 of Ordinance No. 3161, which states: "rooftop mechanical equipment shall be permitted on roofs within architecturally designed, fully enclosed penthouses that complement the building design." We are proposing to enclose the elevator overrun and rooftop equipment with a cohesive material with consistent top trim that is an integral part of the architecture and will not visually weaken the design of the structure, per UDC Section 405.04.010. The top of the enclosure will remain open for free ventilation.

In residential multifamily projects such as this, there are two main options for mechanical HVAC equipment. One is at grade, around the building, and the other is on the roof. Typically there is a need to accommodate one condenser unit for each residence, plus a unit or two for common areas. These are regular sized residential condensing units, much like what one would find at a single family home. Due to the number of units, the noise they can create and the heat that blows from them, our experience shows it is best to locate them on the roof. This avoids stress to landscaping, as well as stress to residents in windows, or on patios. On the roof, the units are neither heard nor seen from the ground when tightly grouped near the center of the building. The screening then becomes more about hiding them from upper levels of neighboring buildings than from the ground.

Therefore, we are showing all units together over the central corridor. A screen wall will encompass the equipment as well as the elevator overrun to provide a singular, seamless surround that invokes the continuation of the corridor spine up through the roof. In order to accomplish this, we are proposing a metal panel screen of the same warm grey color and horizontal aesthetic as the other trim on the building at the roof level. We feel this solution provides the best aesthetic of simply another stepped back building level continuing with the theme below.



PRELIMINARY NOT FOR CONSTRUCTION

ARCHITECT'S STATEMENT
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005
TEGETHOFF DEVELOPMENT, LLC

DATE # REVISION

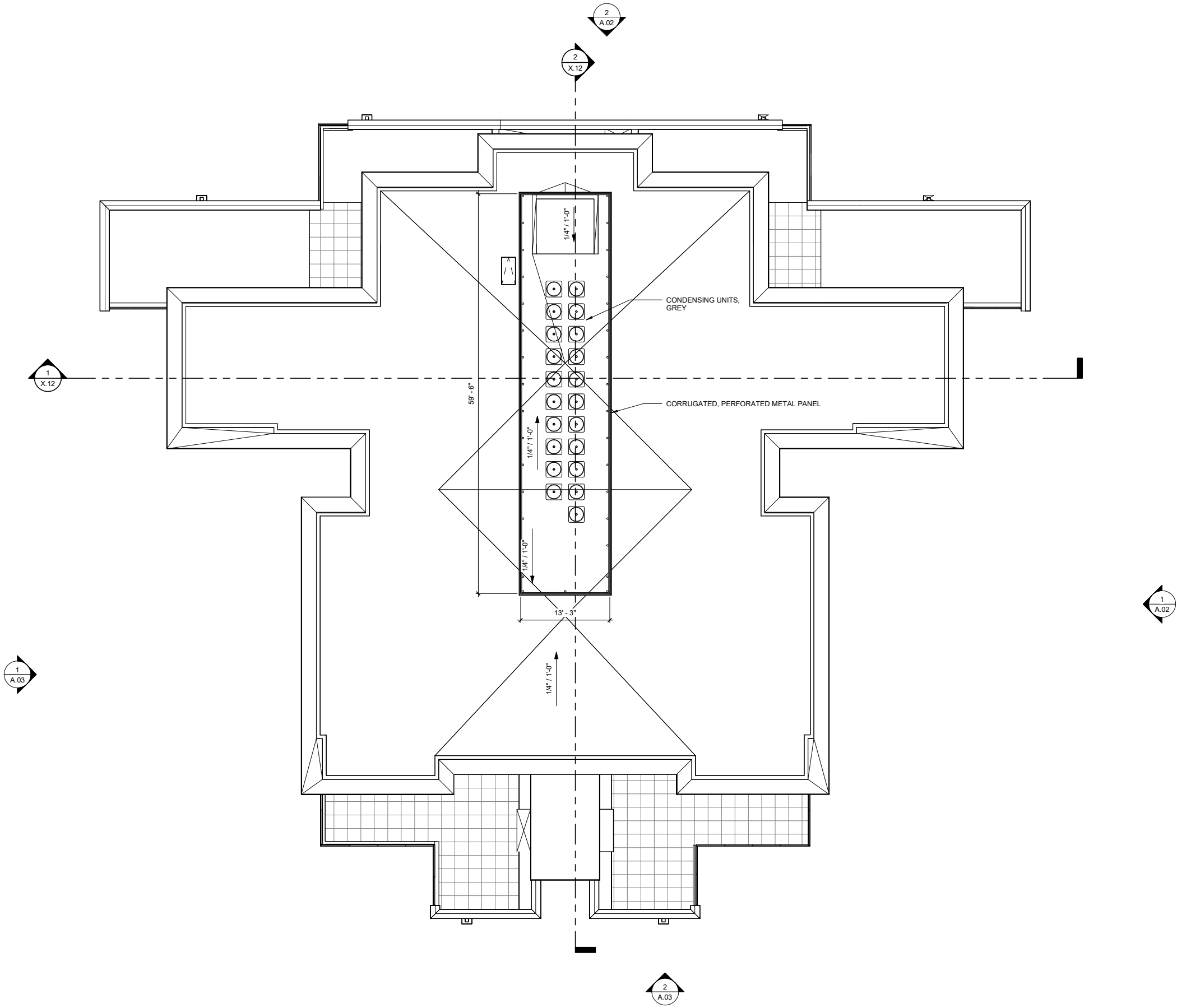
0" 1/2" 1"

3 MAR 2025
24015

A.10

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Page 74 of 79

1 ROOF PLAN
A.11 1/8" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION

0" 12" 1" 2"
(Sheet formatted for 24x36 paper)
DATE: 3 MAR 2025
PROJECT NO. 24015

SHEET NO. A.11

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CONTRACTOR TO FIELD VERIFY ALL
DIMENSIONS AND EXISTING CONDITIONS
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St. Louis, Missouri 63108
314.724.4858 core10architecture.com

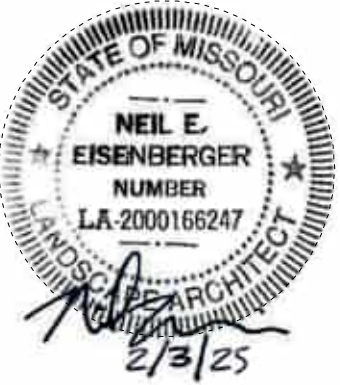
DRAWING TITLE
ROOF PLAN

PROJECT TITLE
AUDERE II - WILDHORSE VILLAGE CONDOS
16420 WILDHORSE LAKE BLVD
CHESTERFIELD, MO 63005



TEGETHOFF
DEVELOPMENT, LLC

7253 WATSON RD, # 1073
ST. LOUIS, MO 63119



Lamar Johnson Collaborative
 2709 INHERBELT BUSINESS CENTER DRIVE
 ST. LOUIS, MISSOURI 63114
 PH: 314 428 0101

AUDERE II - WILDHORSE VILLAGE CONDOS
 16460 WILDHORSE LAKE BLVD., CHESTERFIELD, MO 63005

DRAWING ISSUE

DESCRIPTION	DATE
ISSUE SDSF	02.03.25

BUILDING MAP

DRAWING TITLE
 LANDSCAPE SCHEDULE

DRAWING NO.

L1.2

Job # 20 000

PLANT MATRIX PM-1 PLANT LIST

HERBACEOUS PERENNIALS									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
20%	ac	Achillea	Moonshine	Moonshine Yarrow	1 Qt.	Container	18" O.C.		PLANT 1
10%	at	Asclepias tuberosa	Gay Butterflies	Gay Butterflies Butterfly Weed	1 Qt.	Container	12" O.C.		PLANT 2
20%	as	Aster	Little Carlow	Little Carlow Aster	1 Qt.	Container	18" O.C.		PLANT 3
10%	co	Coreopsis verticillata	Zagreb	Zagreb Tickseed	1 Qt.	Container	18" O.C.		PLANT 4
10%	sa	Salvia x sylvestris	May Night	May Night Sage	1 Qt.	Container	18" O.C.		PLANT 5
ORNAMENTAL GRASSES AND SEDGES									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
30%	bg	Boutelous gracilis		Blue Grama	1 Qt.	Container	24" O.C.		PLANT 6

See Matrix Planting Schedule above for quantities.

PLANT MATRIX PM-2 PLANT LIST

HERBACEOUS PERENNIALS									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
15%	am	Allium	Millenium	Millenium Ornamental Onion	1 Qt.	Container	12" O.C.		PLANT 1
15%	al	Allium	Summer Beauty	Summer Beauty Ornamental Onion	1 Qt.	Container	12" O.C.		PLANT 2
20%	ca	Calamintina nepeta	Montrose White	Montrose White Calamint	1 Qt.	Container	12" O.C.		PLANT 3
20%	ne	Nepeta x faassenii	Cat's Pajamas	Cat's Pajamas Catmint	1 Qt.	Container	18" O.C.		PLANT 4
ORNAMENTAL GRASSES AND SEDGES									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
30%	sp	Sporobolus heterolepis		Prairie Dropseed	1 Gal.	Container	24" O.C.		PLANT 5

See Matrix Planting Schedule above for quantities.

PLANT MATRIX PM-3 PLANT LIST

HERBACEOUS PERENNIALS									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
15%	af	Achillea	Firefly Diamond	Firefly Diamond Yarrow	1 Gal.	Container	24" O.C.		PLANT 1
10%	ba	Baptisia sphaerocarpa	Screamin' Yellow	Screamin' Yellow False Indigo	1 Gal.	Container	36" O.C.		PLANT 2
5%	ec	Echinacea purpurea	Pow Wow White	Pow Wow White Coneflower	1 Qt.	Container	12" O.C.		PLANT 3
20%	or	Origanum	Drops of Jupiter	Drops of Jupiter Ornamental Oregano	1 Gal.	Container	30" O.C.		PLANT 4
10%	pb	Perovskia atriplicifolia	Blue Jean Baby	Blue Jean Baby Russian Sage	1 Gal.	Container	24" O.C.		PLANT 5
10%	ru	Rudbeckia	American Gold Rush	American Gold Rush Black-Eyed Susan	1 Qt.	Container	18" O.C.	8/L7.401A	PLANT 6
ORNAMENTAL GRASSES AND SEDGES									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
30%	de	Deschampsia cespitosa	Goldtau	Goldtau Tufted Hair Grass	1 Gal.	Container	18" O.C.		PLANT 7

See Matrix Planting Schedule above for quantities.

PLANT MATRIX PM-4 PLANT LIST

HERBACEOUS PERENNIALS									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
15%	ha	Heuchera villosa	Autumn Bride	Autumn Bride Coral Bells	1 Qt.	Container	18" O.C.		PLANT 1
15%	hs	Heuchera villosa	Carnival Silver Streak	Carnival Silver Streak Coral Bells	1 Qt.	Container	12" O.C.		PLANT 2
ORNAMENTAL GRASSES AND SEDGES									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
25%	cb	Carex flacca	Blue Zinger	Blue Zinger Sedge	1 Qt.	Container	12" O.C.		PLANT 3
25%	ch	Carex laxiculmis	Hobb' BUNNY BLUE	Bunny Blue Sedge	1 Qt.	Container	12" O.C.		PLANT 4
20%	hm	Hakonechloa macra		Hakonegrass	1 Qt.	Container	18" O.C.		PLANT 5

See Matrix Planting Schedule above for quantities.

PLANT MATRIX PM-5 PLANT LIST

HERBACEOUS PERENNIALS									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
20%	ap	Astilbe chinensis var. pumila	Dwarf Chinese Astilbe	Dwarf Chinese Astilbe	1 Qt.	Container	12" O.C.		PLANT 1
20%	cl	Chelone lyonii	Hot Lips	Hot Lips Turtlehead	1 Qt.	Container	18" O.C.		PLANT 2
30%	ge	Geranium macrorrhizum	Bevan's Variety	Bevan's Variety Geranium	1 Qt.	Container	18" O.C.		PLANT 3
ORNAMENTAL GRASSES AND SEDGES									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
30%	cb	Carex flacca	Blue Zinger	Blue Zinger Sedge	1 Qt.	Container	12" O.C.		PLANT 4

See Matrix Planting Schedule above for quantities.

PLANT MATRIX PM-6 PLANT LIST

HERBACEOUS PERENNIALS									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
35%	ca	Calamintina nepeta	Montrose White	Montrose White Calamint	1 Qt.	Container	12" O.C.		PLANT 1
10%	ap	Echinacea purpurea	Pow Wow Wild Berry	Pow Wow Wild Berry Coneflower	1 Qt.	Container	12" O.C.		PLANT 2
20%	lk	Liatris spicata	Kobold	Kobold Blazing Star	1 Qt.	Container	12" O.C.		PLANT 3
ORNAMENTAL GRASSES AND SEDGES									
%	SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS
35%	bg	Boutelous gracilis		Blue Grama Blue Grama	1 Qt.	Container	24" O.C.		PLANT 4

See Matrix Planting Schedule above for quantities.

PLANTING SCHEDULE

DECIDUOUS CANOPY TREES									
SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	MATURE HEIGHT	DETAIL	COMMENTS	GROWTH RATE
PL AC	Platanus x acerifolia	Morton Circle	Exclamation! London Planetree	2.5' Cal.	B & B	45' +	A1/L4.501		Fast
QU BI	Quercus bicolor		Swamp White Oak	2.5' Cal.	B & B	50'-60'	A1/L4.501		Moderate
TI CO	Tilia cordata	Greenspire	Greenspire Littleleaf Linden	2.5' Cal.	B & B	50'-70'	A1/L4.501		Slow/Moderate
EVERGREEN TREES (31%)									
SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	MATURE HEIGHT	DETAIL	COMMENTS	GROWTH RATE
TH SM	Thuja occidentalis	Smaragd	American Arborvitae	7'-8' Ht.	B & B	12'-14'	A2/L4.501		Slow
DECIDUOUS UNDERSTORY TREES									
SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	MATURE HEIGHT	DETAIL	COMMENTS	GROWTH RATE
AM GR	Amelanchier x grandiflora	Robin Hill	Robin Hill Serviceberry	8'-10' Ht.	B & B	15'-25'	A1/L4.501	Multi-stemmed	Slow/Moderate
CE CA	Cornus canadensis	Merlot	Merlot Eastern Redbud	8'-10' Ht.	B & B	25'-30'	A1/L4.501	Single-stemmed	Fast
CO RJ	Cornus	Rutcut! CONSTELLATION	Constellation Dogwood	8'-10' Ht.	B & B	15'-25'	A1/L4.501	Multi-stemmed	Slow/Moderate
EVERGREEN SHRUBS									
SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS	GROWTH RATE
ju pf	Juniperus x pfitzeriana	Kalloy's Compact	Kalloy's Compact Juniper	5 Gal.	Container	36" OC	B1/L4.501	Habit maintained naturally loose, not sheared	
ta me	Taxus x media	Tauntonii	Taunton Yew	5 Gal.	Container	36" OC	B1/L4.501	Habit maintained naturally loose, not sheared	
DECIDUOUS SHRUBS									
SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS	GROWTH RATE
ar lo	Aronia melanocarpa	Low Scape Mound	Low Scape Mound Black Chokeberry	3 Gal.	Container	30" O.C.	B1/L4.501		
ar me	Aronia melanocarpa	Autumn Magic	Autumn Magic Black Chokeberry	5 Gal.	Container	48" O.C.	B1/L4.501		
di ko	Diervilla x	Kodiak Orange	Kodiak Orange Diervilla	5 Gal.	Container	36" O.C.	B1/L4.501		
hy hh	Hydrangea arborescens	Haas Halo	Haas Halo Hydrangea	5 Gal.	Container	36" OC	B1/L4.501		
hy ll	Hydrangea paniculata	Little Lime	Little Lime Hydrangea	5 Gal.	Container	36" OC	B1/L4.501		
ORNAMENTAL GRASSES & SEDGES									
SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS	GROWTH RATE
cb	Carex flacca	Blue Zinger	Blue Zinger Sedge	1 Qt.	Container	12" O.C.	B3/L4.501		
de	Deschampsia cespitosa	Goldtau	Goldtau Tufted Hair Grass	1 Gal.	Container	18" O.C.	B3/L4.501		
pn	Panicum virgatum	Northwind	Northwind Switchgrass	1 Gal.	Container	24" O.C.	B3/L4.501		
HERBACEOUS PERENNIALS									
SYM	BOTANICAL NAME	CULTIVAR	COMMON NAME	SIZE	METHOD	SPACING	DETAIL	COMMENTS	GROWTH RATE
ah	Amsonia hubrichtii		Hubricht's Bluestar	1 Gal.	Container	30" OC	B3/L4.501		
as	Astilbe chinensis var. taquetii	Superba	Superba Astilbe	1 Qt.	Container	18" OC	B3/L4.501		

DRY-MESIC NATIVE SEED MIX

MANUFACTURER:

TBD

SEED MIX: TBD

GRASSES/ SEDGES 40%:

- Andropogon virginicus
- Boutelous curtipendula
- Bromus pubescens
- Carex ticknelli
- Carex blanda
- Carex brevior
- Carex grayi
- Elymus canadensis
- Elymus hystrix
- Elymus virginicus
- Hordeum pusillum
- Schizachyrium scoparium
- Broom Sedge
- Sideoats Grama
- Hairy Woodland Brome
- Bicknell's Sedge
- Common Wood Sedge
- Prairie Sedge
- Globe Sedge
- Canada Wildrye
- Bottlebrush Grass
- Virginia Wild Rye
- Little Barley
- Little Bluestem

HERBACEOUS PERENNIALS (FORBS) 60%:

- Achillea millefolium
- Asclepias tuberosa
- Aster oblongifolium
- Baptisia bracteata
- Coreopsis bicolorata
- Coreopsis tinctoria
- Dalea purpurea
- Echinacea pallida
- Eryngium yuccifolium
- Lespedeza virginica
- Liatris aspera
- Liatris pycnostachya
- Monarda fistulosa
- Penstemon digitalis
- Ratibida columnifera
- Rudbeckia hirta
- Rudbeckia subtomentosa
- Rudbeckia triloba
- Solidago nemoralis
- Solidago ulmifolia
- Symphoricarpon drummondii
- Symphoricarpon laevis
- Tradescantia ohioensis
- Vernonia baldwinii
- Common Yarrow
- Butterfly Milkweed
- Aromatic Aster
- Cream Wild Indigo
- Lance-Leaved Coreopsis
- Plains Coreopsis
- Purple Prairie Clover
- Pale Purple Coneflower
- Rattlesnake Master
- Slender Lespedeza
- Rough Blazing Star
- Prairie Blazing Star
- Horsemint
- Foxtail Beardtongue
- Prairie Coneflower
- Black Eyed-Susan
- Sweet Coneflower
- Brown Eyed Susan
- Gray Goldenrod
- Elm Leaved Goldenrod
- Drummond Aster
- Smooth Aster
- Ohio Spiderwort
- Baldwin's Ironweed

SEEDING RATE:

15 LBS. PER ACRE

COVER CROP:

TBD

GENERAL NOTES:

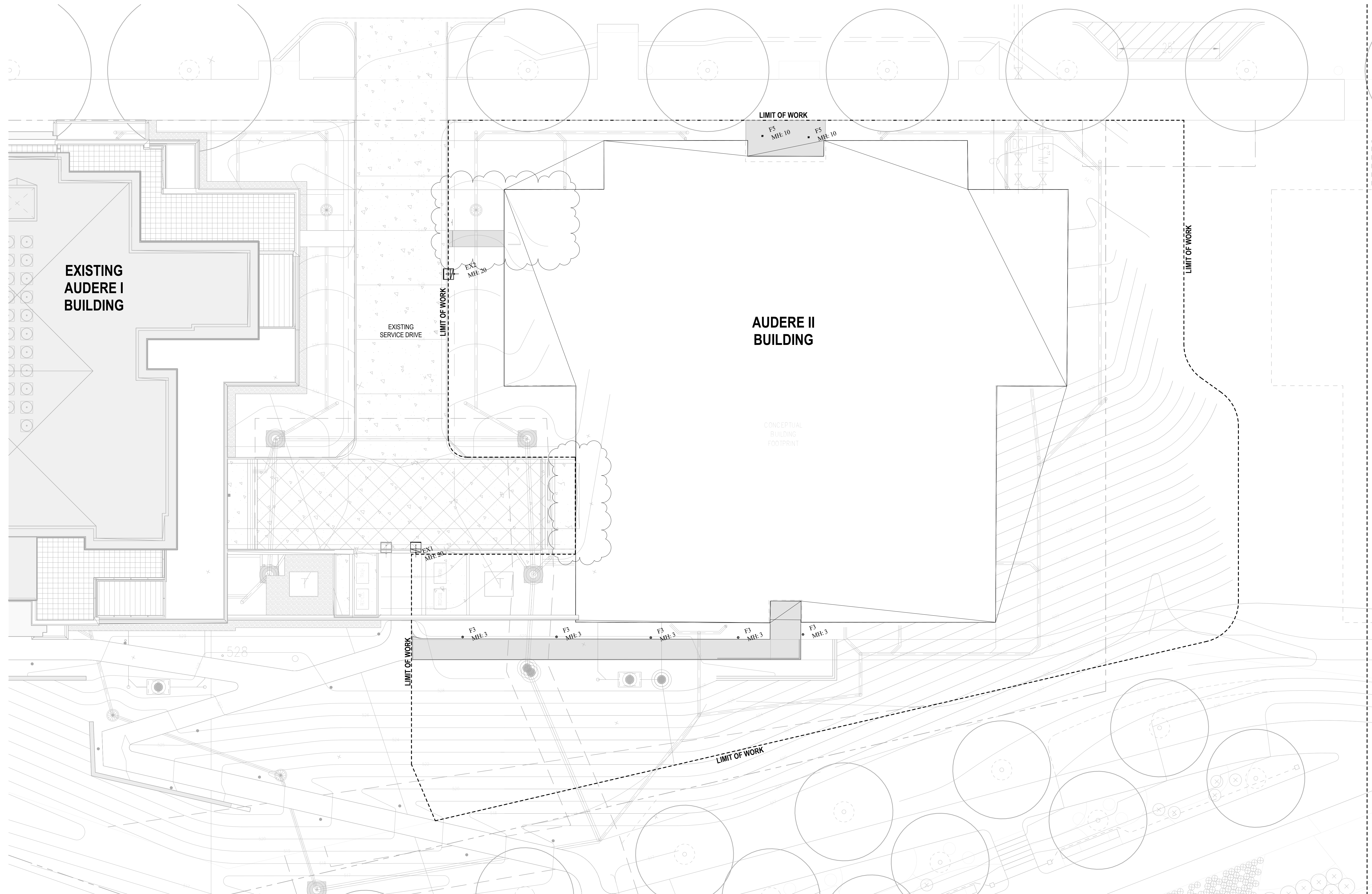
1. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN PLANTING SCHEDULE ARE FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIAL AND SIZES SHOWN ON THE DRAWINGS. IN CASE OF DISCREPANCIES, BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
2. ALL PLANTING MIX AREAS WITH MORE THAN ONE PLANT TYPE PER AREA TO BE INSTALLED IN RANDOM, NATURALISTIC, TRIANGULAR SPACING AT A MINIMUM OF 11 PER AREA (SEE PLAN FOR QUANTITIES).
3. FINAL SEED MIX SPECIES, PERCENTAGES TO BE COORDINATED WITH NATIVE SEEDING CONTRACTOR.

EXISTING POLE FIXTURES MOUNTED ON 18' POLE & 2' BASE
LIGHT LEVEL CALCULATED ON THE GROUND

Calculation Summary							
Scenario: ON							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FRONT ENTRY	Illuminance	Fc	1.65	2.5	1.0	1.65	2.50
GARAGE ENTRY	Illuminance	Fc	1.16	1.7	0.7	1.66	2.43
REAR SIDEWALK Planar	Illuminance	Fc	0.90	2.9	0.1	9.00	29.00
SIDE ENTRY	Illuminance	Fc	0.58	1.1	0.3	1.93	3.67

Luminaire Schedule							
Scenario: ON							
Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts	Description
☐	1	EX1	Single	0.912	57	57	GALN-SA1C-740-U-T4W
☐	1	EX2	Single	0.912	57	57	GALN-SA1C-740-U-SL3
⊙	5	F3	Single	0.900	11	55	ABB-B1-LED-D1-A-8030
⊙	2	F5	Single	0.900	7.2	14.4	LD4C05D010 EX4C059030 4LBSQH

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND EXISTING FIELD CONDITIONS, THAT AFFECT ANY OF THE PROPOSED LUMINAIRES, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



Lamar Johnson Collaborative
2109 INDEPENDENT BUSINESS CENTER DRIVE
ST. LOUIS, MISSOURI 63114
PH: 314.426.1010

AUDERE II - WILDHORSE VILLAGE CONDOS
16460 WILDHORSE LAKE BLVD., CHESTERFIELD, MO 63005

DRAWING ISSUE	
DESCRIPTION	DATE
ISSUE SDSP	02.03.25
SDSP COMMENTS RESPONSE	03.05.25

BUILDING MAP	

DRAWING TITLE
SITE LIGHTING PLAN

DRAWING NO.
E1.1

Job # 20_000

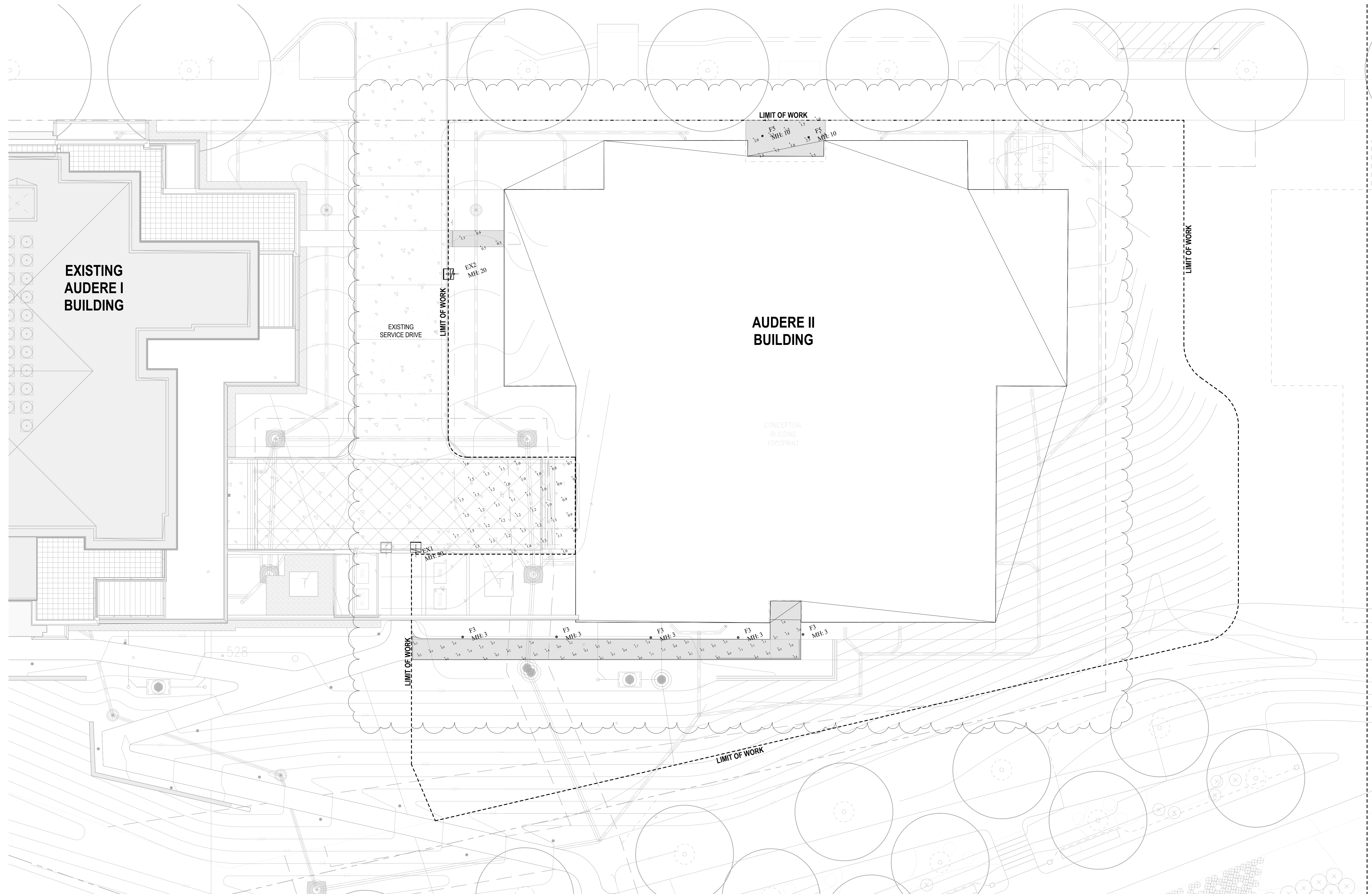
1 SITE LIGHTING PLAN
E1.1 3/27/25 11:07

EXISTING POLE FIXTURES MOUNTED ON 18' POLE & 2' BASE
LIGHT LEVEL CALCULATED ON THE GROUND

Calculation Summary							
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⊙	2	F5	Single	0.900	7.2	14.4	LD4C05D010 EX4C059030 4LBSQH

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ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND
EXISTING FIELD CONDITIONS, THAT AFFECT ANY OF THE PHOTOCKY MENTIONS, WILL
VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



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DRAWING ISSUE	
DESCRIPTION	DATE
ISSUE SDSP	02.03.25
SDSP COMMENTS	03.05.25
RESPONSE	

BUILDING MAP

DRAWING TITLE
SITE LIGHTING PHOTOMETRIC PLAN

DRAWING NO.
E1.2

Job # 20 000

1 SITE LIGHTING PHOTOMETRIC PLAN
E1.2 3/27/25 11:07