



**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**

Conference Room 102-103

Thursday, May 15, 2025

5:30 PM

**I. CALL TO ORDER**

**II. APPROVAL OF MEETING SUMMARY**

A. April 10, 2025

**III. UNFINISHED BUSINESS**

**IV. NEW BUSINESS**

- A. **Carshield**: An Amended Site Development Plan, Landscape Plan, Architectural Elevations, and Architect's Statement of Design for a 32-acre tract of land zoned "PI" Planned Industrial located east of N. Eatherton Rd.
- B. **Chesterfield Ice and Sports Complex, Lot A**: An Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architect's Statement of Design for an existing ice and sports complex located on a 10.11-acre tract of land zoned "PC" Planned Commercial District north of Chesterfield Industrial Boulevard, and east of its intersection of Wings of Hope Boulevard and a Private Road.
- C. **Herman Stemme Office Park, Lot 2B (Waterway)**: An Amended Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for a gas station and car wash located on a 1.33-acre tract of land zoned "PC" Planned Commercial located southeast of Olive Boulevard, northeast of Olive's intersection with Swingley Ridge Road.
- D. **The Wedge**: A Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for a 5.04-acre tract of land zoned "PC" Planned Commercial located south of the intersection of Olive Street Road and Chesterfield Airport Road.

## **V. OTHER**

## **VI. ADJOURNMENT**

\*PC Liaison scheduled for this meeting

PERSONS REQUIRING AN ACCOMMODATION TO ATTEND AND PARTICIPATE IN THE ARCHITECTURAL REVIEW BOARD MEETING SHOULD CONTACT CITY CLERK VICKIE MCGOWND AT (636)537-6716 AT LEAST TWO (2) BUSINESS DAYS PRIOR TO THE MEETING.



**THE CITY OF CHESTERFIELD  
ARCHITECTURAL REVIEW BOARD  
THURSDAY – APRIL 10, 2025  
5:30 PM  
CONFERENCE ROOM 102/103**

**ATTENDANCE:**

Mr. Mick Weber, Chair  
Mr. Scott Starling, Vice-Chair  
Mr. Doug DeLong  
Mr. John Lavrich  
Mr. Kristopher Mehrtens

**ABSENT:**

Mr. Matt Adams  
Ms. Susan Lew

**ALSO IN ATTENDANCE:**

Mayor Elect Dan Hurt  
Councilmember Merrell Hansen  
Councilmember Mary Ann Mastorakos  
Planning Commission Liaison, Allison Harris  
Ms. Shilpi Bharti, Planner  
Ms. Kristine Kelley, Recording Secretary

**I. CALL TO ORDER**

Chair Weber called the meeting to order at **5:30 p.m.**

**II. APPROVAL OF MEETING SUMMARY**

**A. March 13, 2025**

Vice-Chair Starling made a motion to approve the meeting summary as written. Board Member DeLong seconded the motion. **The motion passed by a voice vote of 5-0.**

**III. UNFINISHED BUSINESS – None at this time.**

**IV. NEW BUSINESS**

**A. Dierbergs The Market Place (Billy G’s):** An Architectural Specialty Lighting Package for a 11.35-acre tract of land zoned "C8" – Planned Commercial District, located on the northeast side of Clarkson Road, southwest of its intersection with Baxter Road.

**STAFF PRESENTATION**

Ms. Shilpi Bharti, Planner explained that the applicant is requesting approval to install an LED light strip on the canopy and tower of the existing Billy G’s tenant space, located in an outlot building. Ms. Bharti then provided history of the site along with the UDC requirements associated with the request.

The proposed LED strip will be installed using two (2) different fixtures for the vestibule roof, and canopy. The LED strip on the vestibule roof will be mounted with knuckle mounting accessories, which will angled downward to prevent light trespass. The LED strip on the canopy will consist of a flexible, bendable light strip.

Representatives were available to address questions from the Board.

#### **DISCUSSION**

During discussion the following information was provided.

- Although the lights have already been installed without proper approval, the Board felt that they accentuate the building and fit with the overall motif.
- In response to Board Member Mehrtens, Ms. Bharti confirmed that the proposed red LED light strips will remain static and will not change color.
- The applicant confirmed that no light spillage will occur.

#### **Motion**

**Vice-Chair Starling made a motion to forward Dierbergs the Market Place (Billy G's)**, as presented, to Planning Commission with a recommendation of approval. Board Member Lavrich seconded the motion. **The motion passed by a voice vote of 5-0.**

- B. Long Road Lipton Parcel, Lot 8:** A Site Development Section Plan, Landscape Plan, Lighting Plan and Architectural Elevations for a medical office building located on a 3.16-acre tract of land located east side of Chesterfield Industrial Blvd., zoned "PI"-Planned Industrial.

#### **STAFF PRESENTATION**

Ms. Shilpi Bharti, Planner explained that the request is for a proposed 18,883 square foot single-story medical office building to be known as Onyx Spine and Orthopedic Institute Ambulatory Surgery Center and Clinic. The height of the proposed building is 19 feet, with an additional nine (9) feet for rooftop mechanical equipment.

#### **Access**

A cross-access easement will be provided for Lot 10, located to the south of the site. The proposed access does not align with the Amended Site Development Concept Plan, so the applicant has submitted a revised plan to update the access for Lot 8.

#### **Mechanical Equipment**

Rooftop mechanical equipment will be installed, screened by 9-foot-high EIFS wall. The mechanical equipment will be positioned toward the eastern side of the building to minimize visibility from the front.

#### **Trash Enclosure**

The trash enclosure is located at the southeast corner of the property and is screened by evergreen trees.

#### **Materials and Color**

The building features five (5) primary materials across all four (4) elevations which includes, brick, aluminum panels, aluminum storefronts, single-skin rolled metal panels, and EIFS.

Lighting

There are two types of lights fixtures proposed for the development, one for parking and another for wall pack lights. All the light fixtures comply with the code.

Landscaping

The proposed landscape plan for the site includes shade trees, ornamental trees, evergreen trees, shrubs, and ground cover. Three (3) bio-retention basins are planned, located on the east, west, and south sides of the site. The development is designed to provide nearly 57% open space.

Color and materials samples were provided and the applicant was available to answer any questions from the Board.

**DISCUSSION**

During discussion the following information was provided.

- The mechanical equipment has been sized to fit the use and size of the building.
- Dead-end parking and open space will accommodate a future expansion, which has not yet been determined.
- Limitations of plantings along the bio-retention basin.
- The front entrance pre-fabricated metal canopy will be internally drained.
- Scuppers and downspouts will match the building materials.
- Joint patterns were added to the east elevation to help break up the EIFS.

The Board complimented the variation and high-quality design of the building to the area.

Landscaping

Board Member DeLong had no substantial issues or concerns with the proposed landscaping, but suggested the addition of landscaping to the parking lot islands along Chesterfield Industrial Boulevard.

**Motion**

**Board Member DeLong made a motion to forward Long Road Lipton Parcel, Lot 8** to Planning Commission with a recommendation of approval with the following condition:

- Provide additional landscaping within the two (2) parking lot islands along Chesterfield Industrial Boulevard.

Board Member Mehrtens seconded the motion. **The motion passed by a voice vote of 5-0.**

**V. OTHER**

Chair Weber observed an increase of unconventional balcony lighting particularly along Chesterfield Parkway. Staff noted that there are a few developments within the City that do not have approval for specialty lighting and the property owners are in the process of being notified. There is the potential for the Board to see additional specialty lighting requests in the near future.

**VI. ADJOURNMENT 6:23 p.m.**

## Architectural Review Board Staff Report

**Meeting Date:** May 15<sup>th</sup>, 2025

**From:** Alyssa Ahner, Senior Planner

**Location:** 530 N. Eatherton Rd.

**Description:** **Carshield:** An Amended Site Development Plan, Landscape Plan, Architectural Elevations, and Architect’s Statement of Design for a 32-acre tract of land located east of N. Eatherton Rd.

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### **PROPOSAL SUMMARY & PROJECT UPDATE**

Gray Design Group, on behalf of Carshield F.C., has submitted amended plans for an athletic complex that was approved by the City in 2024. The site is currently under construction but the applicant is requesting a modification in order to construct restroom facilities and a concessions/storage building in between the outdoor athletic fields.



*Figure 1: Rendering of development approved in 2024*

The initial review by Architectural Review Board in 2024 resulted in the following conditions: 1) Add landscaping within the interior of the site and along the building to reinforce the building massing and reflect the rendering more accurately. 2) Consider adding surface treatment; such as, surface texture or color to reinforce the separation of the two masses on the eastern portion of the building.

Following ARB, the applicant resubmitted a plan that increased the number of trees from 166 to 195 and the number of shrubs/grasses from 79 to 195. The applicant wished to proceed with their initial building design and utilize the increase of trees/shrubs to indirectly impact the building masses.

The project was then reviewed by the Planning Commission which resulted in a condition to work with staff to increase the amount of landscaping within the seepage berm. Staff and the applicant worked with the Levee District to determine what would be permissible by all parties. Ultimately, the landscape plan was revised to include six (6) concrete planters. Each planter is 72” wide and has an assortment of shrubs, grasses, perennials, and annuals. Regardless of vegetation being located within a concrete planter, trees were not permissible by the Levee District.

### STAFF ANALYSIS

The current proposal includes the addition of a 1,000 square foot restroom building and an almost 2,000 square foot storage building with concessions area. A pavilion would be located in between both buildings to provide a shaded sitting area. *Figure 2* depicts the location which is located central to the three outdoor athletic fields.

Each building would be roughly sixteen (16) feet tall with the connecting pavilion being eighteen (18) feet tall. They would be constructed of concrete tilt-up panels in the same color scheme as the previously approved building. Prefinished metal canopies and parapet caps in blue have been added to accent the building. The west elevation is depicted in *Figure 3*. This is the elevation that would be most visible from Eatherton Road.

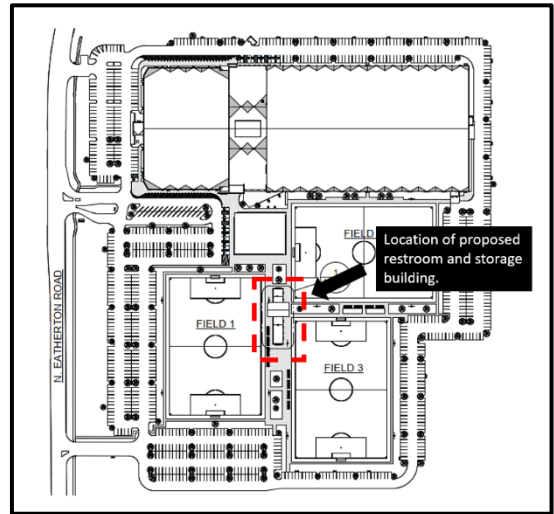


Figure 2: Location of proposed buildings

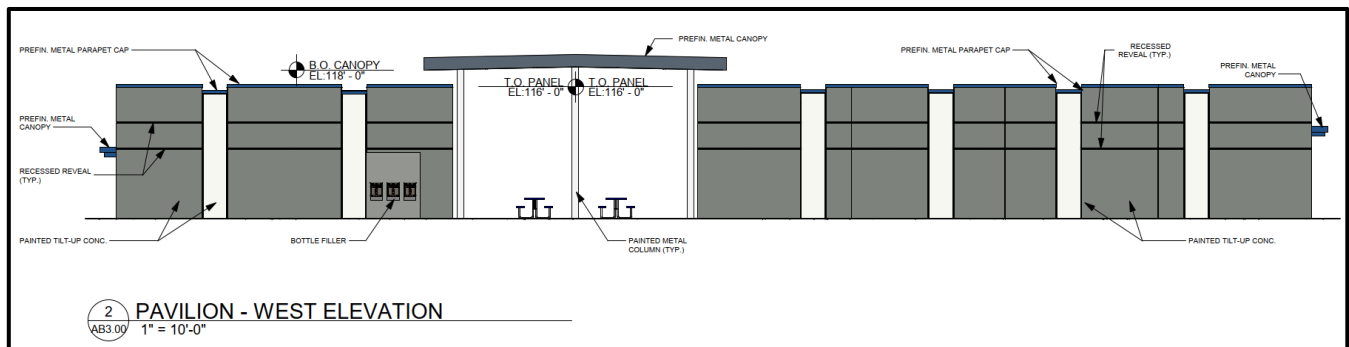


Figure 3: West elevation facing Eatherton Road

The only impact to the other plans associated with this submittal is the landscape plan. The placement of the buildings would result in the loss of five (5) proposed trees and the reduction of an openspace percentage from 55.05% to 54.84%. The site is required 35% openspace.

### RENDERING



**DEPARTMENT INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed for Administrative Approval until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in the report to the appropriate approval body.

Staff requests review on the Amended Site Development Plan, Landscape Plan, Architectural Elevations, and Architect’s Statement of Design for Carshield.

**MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

“I move to forward the Amended Site Development Plan, Landscape Plan, Architectural Elevations, and Architect’s Statement of Design for Carshield as presented, with a recommendation for approval (or denial) to the appropriate approval body.”

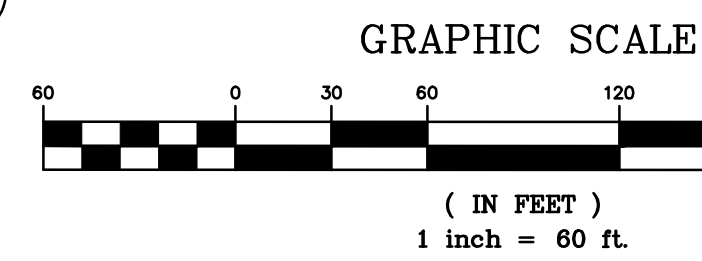
“I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect’s Statement of Design for Carshield to the appropriate approval body with a recommendation for approval with the following recommendations...”

Attachments:

1. Architectural Review Packet Submittal

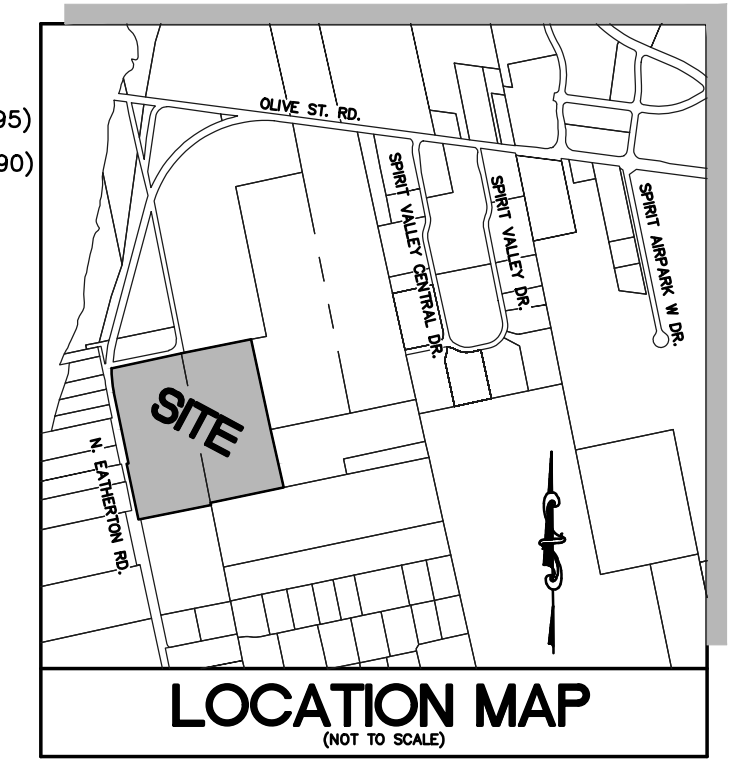
# AMENDED SITE DEVELOPMENT PLAN

A TRACT OF LAND BEING LOT A OF CARSHIELD IN CHESTERFIELD CONSOLIDATION PLAT AS RECORDED IN PLAT BOOK 372, PAGE 303, OF THE ST. LOUIS COUNTY RECORDS, LOCATED IN U.S. SURVEY 362, TOWNSHIP 43 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN  
CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI ORDINANCE #3290



## PERTINENT DATA

OWNER: SPORTSMO LLC  
 TOTAL LOT AREA: 1,434,647 S.F. OR 32.935 Ac. (ORD. 3295)  
 EXISTING ZONING: PLANNED INDUSTRIAL DISTRICT (ORD. 3290)  
 PROPOSED ZONING: PLANNED INDUSTRIAL DISTRICT  
 EXISTING USE: UN-DEVELOPED  
 PROPOSED USE: ATHLETIC FIELDS / GYMNASIUM  
 SITE ADDRESS: 530 NORTH EATHERTON DRIVE, CHESTERFIELD, MISSOURI 63005  
 17W30064  
 LOCATOR NO: PG. 19, GRID 18-LL  
 WANNENBERG'S FIRE DISTRICT: MONARCH FIRE PROTECTION DISTRICT  
 SCHOOL DISTRICT: ROCKWOOD  
 SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER DIST.  
 WATER SHED: MISSOURI RIVER  
 FEMA MAP: 29189C0145K, FEB. 4, 2015  
 GAS COMPANY: AMEREN UE  
 SPIRE ENERGY  
 PHONE COMPANY: AT&T  
 WATER COMPANY: MISSOURI AMERICAN WATER COMPANY



## SHEET INDEX

- ASDP-1 AMENDED SITE DEVELOPMENT PLAN
- ASDP-2 AMENDED SITE DEVELOPMENT PLAN
- ASDP-3 EATHERTON ROAD IMPROVEMENTS
- ASDP-4 SITE DISTANCE EXHIBIT
- ASDP-5&6 ORDINANCE #3290

## FLOOD INFORMATION

- CHESTERFIELD VALLEY STORMWATER MASTER PLAN RESERVOIR 100-YEAR ELEVATION = 456.65.
- CHESTERFIELD VALLEY STORMWATER MASTER PLAN CHANNEL 100-YEAR ELEVATION = 456.75
- FEMA BASE FLOOD 100-YEAR ELEVATION = 463.00

## GEOTECHNICAL ENGINEER'S STATEMENT

Midwest Testing, at the request of Keystone Construction has provided geotechnical services for the project proposed hereon. A geotechnical investigation titled "Geotechnical Exploration, Carshield FC Soccer Training & Playing Facility, Chesterfield, Missouri", September 27, 2023, Midwest No. 15707 and Addendum No. 1, February 29, 2024. Our findings indicate that the earth-related aspects are suitable for the development proposed pursuant to the geotechnical recommendations set forth in our Geotechnical Report.

Engineer: \_\_\_\_\_  
 Date: \_\_\_\_\_

## SURVEYOR CERTIFICATE

This is to certify that Stock & Associates Consulting Engineers, Inc. has prepared this Amended Site Development Plan from an actual survey. The information shown is a correct representation of all existing and proposed land divisions.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.  
 LC 222-D

By: Walter J. Pfeleger, Missouri P.L.S. No. 2008-000728

This Amended Site Development Plan was approved by the City of Chesterfield and duly verified on the \_\_\_\_ day of \_\_\_\_\_, 2025, by the Chairperson of said Commission, authorizing the recording of this Site Development Section Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP  
 Director of Planning  
 City of Chesterfield, Missouri

Vickie McGownd, City Clerk  
 City of Chesterfield, Missouri

SPORTSMO LLC, the owner of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03, (applicable subsection) (present Zoning) of the City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

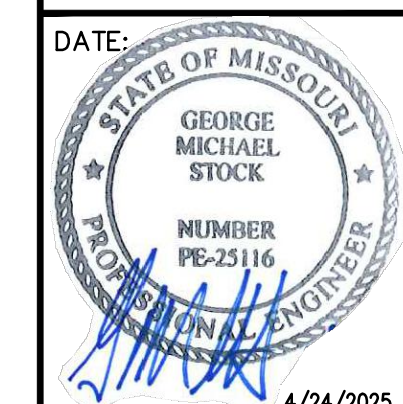
Signature: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 State of \_\_\_\_\_ SS.  
 County of \_\_\_\_\_  
 On this \_\_\_\_ day of \_\_\_\_\_, A.D., 2025, before me personally appeared \_\_\_\_\_ (Officer of Corporation) to me known, who, being by me sworn in, did say that he/she is the \_\_\_\_\_ of \_\_\_\_\_ a corporation in the State of \_\_\_\_\_, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said \_\_\_\_\_ acknowledged said instrument to be the free act and deed of said corporation.

In testimony whereof, I have hereunto set my hand and affixed my Notarial Seal at my office in \_\_\_\_\_, the day and year last above written.  
 (County and State)

My term expires \_\_\_\_\_  
 Notary Public

PREPARED BY:  
**STOCK & ASSOCIATES**  
 Consulting Engineers, Inc.  
 267 Chesterfield Business Parkway  
 St. Louis, MO 63005 PH: (636) 530-9300  
 500-9300 FAX: (636) 530-9300  
 e-mail: general@stockassoc.com  
 Web: www.stockassoc.com

AMENDED SITE DEVELOPMENT PLAN FOR:  
**CARSHIELD SPORTSPLEX**  
 530 N. EATHERTON ROAD  
 CHESTERFIELD, MISSOURI 63005



REVISIONS:	
1	

DRAWN BY:	CHECKED BY:
J.M.B.	G.M.S.
DATE:	JOB NO.:
4/16/2025	222-7301-2
SCALE:	RISE MAP #:
24MSD-00413	17-W
S.L.C. MAP #:	MAP SURF. #:
2057	2057
MDNR #:	MO-RA-#:
SHEET TITLE:	
AMENDED SITE DEVELOPMENT PLAN	
SHEET NO.:	
ASDP-1	

## ABBREVIATIONS

- ATG - ADJUST TO GRADE
- B.C. - BACK OF CURB
- C.O. - CLEANOUT
- DB. - DEED BOOK
- E. - ELECTRIC
- ELEV. - ELEVATION
- EX. - EXISTING
- F.C. - FACE OF CURB
- FL. - FLOWLINE
- FT. - FEET
- FND. - FOUND
- G. - GAS
- H.W. - HIGH WATER
- LFB. - LOW FLOW BLOCKED
- M.H. - MANHOLE
- N/F. - NOW OR FORMERLY
- PL. - PLAY BOOK
- PG. - PAGE
- PR. - PROPOSED
- P.V.C. - POLYVINYL CHLORIDE PIPE
- R.C.P. - REINFORCED CONCRETE PIPE
- R/W. - RIGHT-OF-WAY
- SQ. - SQUARE
- T. - TELEPHONE CABLE
- T.B.A. - TO BE ABANDONED
- T.B.R. - TO BE REMOVED
- T.B.R.&R. - TO BE REMOVED AND REPLACED
- TYP. - TYPICALLY
- U.L.P. - USE IN PLACE
- U.O.N. - UNLESS OTHERWISE NOTED
- V.C.P. - VITRIFIED CLAY PIPE
- W. - WATER
- (80"W) - RIGHT-OF-WAY WIDTH

## LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING TREE
- EXISTING BUILDING
- EXISTING CONTOUR
- SPOT ELEVATION
- EXISTING UTILITIES
- FOUND 1/2" IRON PIPE
- SET IRON PIPE
- FOUND CROSS
- FOUND STONE
- FIRE HYDRANT
- LIGHT STANDARD
- BUSH
- SIGN
- NOTES PARKING SPACES
- GUY WIRE
- POWER POLE
- WATER VALVE
- DENOTES RECORD INFORMATION
- ACCESSIBLE PARKING
- PROPOSED CONTOUR
- PROPOSED SPOT
- PROPOSED STORM
- PROPOSED SANITARY

## LEGEND

- EATHERTON ROAD WIDENING
- 5'w CONCRETE SIDEWALK

## BACKFILL SPECIFICATION:

LEVEE AND SEEPAGE BERM: NO PERMANENT EXCAVATIONS SHALL BE MADE WITHIN THE LEVEE EASEMENT NOR WITHIN 15 FEET OF THE SOUTHERN EDGE OF THE LEVEE TOE, WHICHEVER GOVERNS, PENETRATIONS BELOW THE SEEPAGE BERM SURFACE SHALL REQUIRE THE USE OF SELF-COMPACTING FILL MATERIALS SUCH AS FLOWABLE FILL OR CONCRETE. PER M.C.D. (MONARCH-CHESTERFIELD LEVEE DISTRICT), PROPOSED GRADE-RAISE FILL TO BE PLACED ATOP THE SEEPAGE BERM SHALL CONSIST OF FREE-DRAINING SAND OR SILTY SAND, SIMILAR TO THE IN-PLACE MATERIALS, PLACED IN LIFTS AND MECHANICALLY COMPACTED TO AT LEAST 95 PERCENT OF THE MATERIAL'S STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY.

UTILITIES: THE PROPOSED UTILITY BACKFILL SHALL CONSIST OF A SIMILAR IMPERVIOUSNESS TO THE IN-PLACE MATERIALS, PLACED IN LIFTS AND MECHANICALLY COMPACTED TO AT LEAST 95 PERCENT OF THE MATERIAL'S STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY. THE USE OF CLEAN ROCK IS STRICTLY PROHIBITED.

UTILITY NOTE:  
 UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION AND, THEREFORE, DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSM.

CONTRACTOR'S INSURANCE REQUIREMENTS  
 PRIOR TO OBTAINING A CONSTRUCTION PERMIT FROM THE METROPOLITAN ST. LOUIS SEWER DISTRICT, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE DISTRICT WITH A COPY OF AN EXECUTED CERTIFICATE OF INSURANCE INDICATING THAT THE PERMITTEE HAS OBTAINED AND WILL CONTINUE TO MAINTAIN COMMERCIAL GENERAL LIABILITY AND COMPREHENSIVE AUTO LIABILITY INSURANCE. THE REQUIREMENTS AND LIMITS SHALL BE AS STATED IN THE "RULES AND REGULATIONS AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY AND STORMWATER DRAINAGE FACILITY", SECTION 10.090 (ADDENDUM).

PREPARED FOR:  
 CARSHIELD FC  
 503 PEARL DR.  
 ST. PETERS MO 63376  
 ATTN: Nick Hamilton  
 PH: 636-795-8130  
 EMAIL: nick.hamilton@carshield.com

ST. LOUIS COUNTY BENCHMARK  
 BENCHMARK# 11109 MAY088(SL/C21C) Elev = 461.10  
 "Standard Aluminum Disk" stamped SL-11 1990 Disk is set along the east side of Eatherton Road just north of the Shell Pipeline Marker; 19' east of the centerline of Eatherton and 60' north of the east pipeline marker. Approximately 1/2 mile south of the intersection of Olive Street Road and Eatherton Road.

STOCK PROJ. 4498

STOCK PROJ. 4476



### PLANTING SCHEDULE

ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SIZE / GROWTH RATE	GROWTH RATE %
<b>CANOPY-SHADE (STREET + BUFFER) TREE</b>							
A	2	<i>Ulmus parvifolia</i> 'Emer II'	Alleé Lacebark Elm	2.5" caliper	B & B	Lg / M-Fast	
B	2	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	2.5" caliper	B & B	Lg / M-Fast	
C	2	<i>Ulmus</i> 'Frontier'	Frontier Elm	2.5" caliper	B & B	Lg / M-Fast	
D	2	<i>Quercus imbricaria</i>	Shingle Oak	2.5" caliper	B & B	Lg / Med	1.02 %
E	2	<i>Quercus shumardii</i>	Shumard Oak	2.5" caliper	B & B	Lg / M-Fast	
F	3	<i>Quercus bicolor</i>	Swamp White Oak	2.5" caliper	B & B	Lg / Med	1.53 %
<b>CANOPY-SHADE (PARKING LOT) TREE</b>							
G	18	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	2.5" caliper	B & B	Lg/Slow-M	9.18 %
H	21	<i>Gleditsia triacanthos inermis</i>	Honeylocust (thornless)	2.5" caliper	B & B	Lg / Fast	
J	28	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" caliper	B & B	Lg/Slow-M	14.28 %
K	21	<i>Acer saccharum</i>	Sugar Maple	2.5" caliper	B & B	Lg/Slow-M	11.22 %
L	23	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Hybrid Maple	2.5" caliper	B & B	Lg/M-Fast	
M	28	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	2.5" caliper	B & B	Lg / Fast	
<b>UNDERSTORY-ORNAMENTAL (BUFFER) TREE</b>							
N	3	<i>Carpinus caroliniana</i>	American Hornbeam	2.5" caliper	B & B	Sm / Med	1.53 %
P	3	<i>Syringa reticulata</i>	Japanese Tree Lilac	2.5" caliper	B & B	Sm / Med	1.53 %
Q	2	<i>Magnolia x soulangeana</i>	Saucer Magnolia	2.5" caliper	B & B	M / Slow-M	1.02 %
R	3	<i>Cercis canadensis</i>	Redbud	2.5" caliper	B & B	Med / Fast	
S	4	<i>Amelanchier arborea</i>	Serviceberry	2.5" caliper	B & B	M / Slow-M	2.04 %
T	4	<i>Cornus florida</i>	Flowering Dogwood	2.5" caliper	B & B	Sm/Slow-M	2.04 %
<b>EVERGREEN (BUFFER) TREE</b>							
U	2	<i>Picea abies</i>	Norway Spruce	6' tall	B & B	Lg / M-Fast	
V	2	<i>Picea glauca</i>	White Spruce	6' tall	B & B	Med / Med	1.02 %
W	2	<i>Picea pungens</i>	Colorado Blue Spruce	6' tall	B & B	Med / Fast	1.02 %
X	4	<i>Pinus strobus</i>	White Pine	6' tall	B & B	Lg / Fast	
Y	6	<i>Ilex opaca</i>	American Holly	6' tall	B & B	Lg / Slow	3.06 %
Z	6	<i>Juniperus virginiana</i>	Juniper	6' tall	B & B	Med / Med	3.06 %
						Total %	<b>53.55 %</b>

### PLANTING SCHEDULE

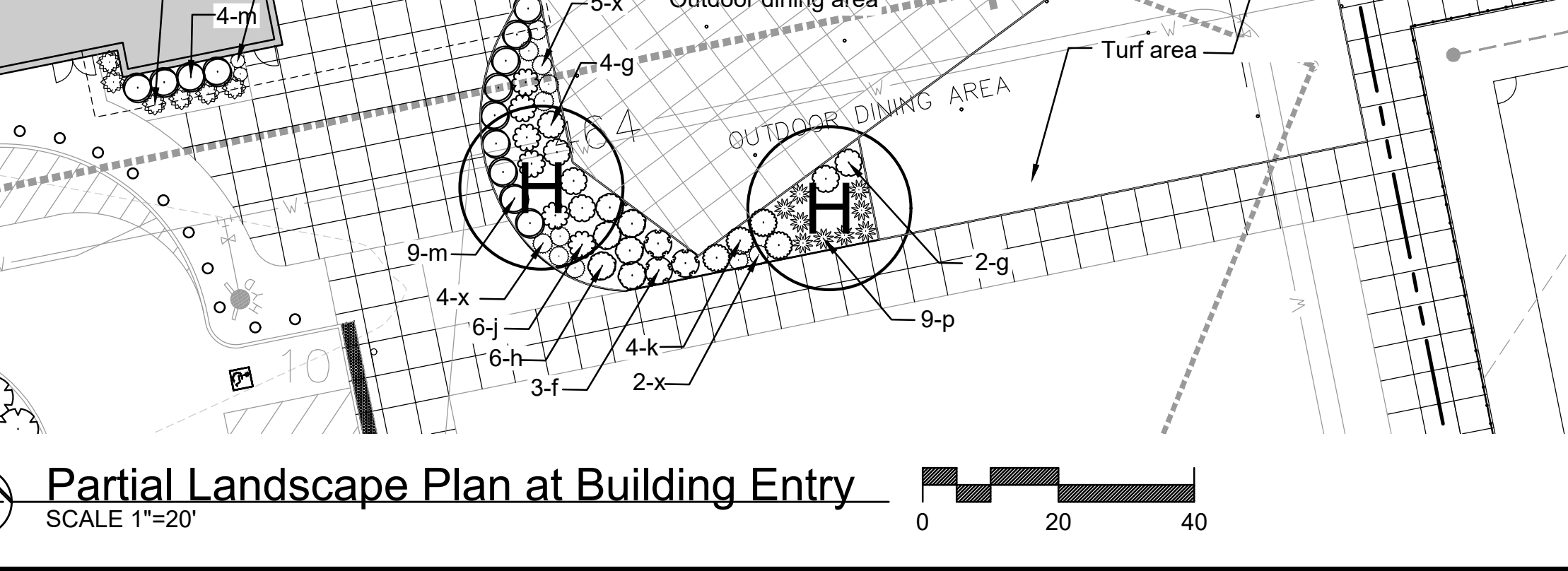
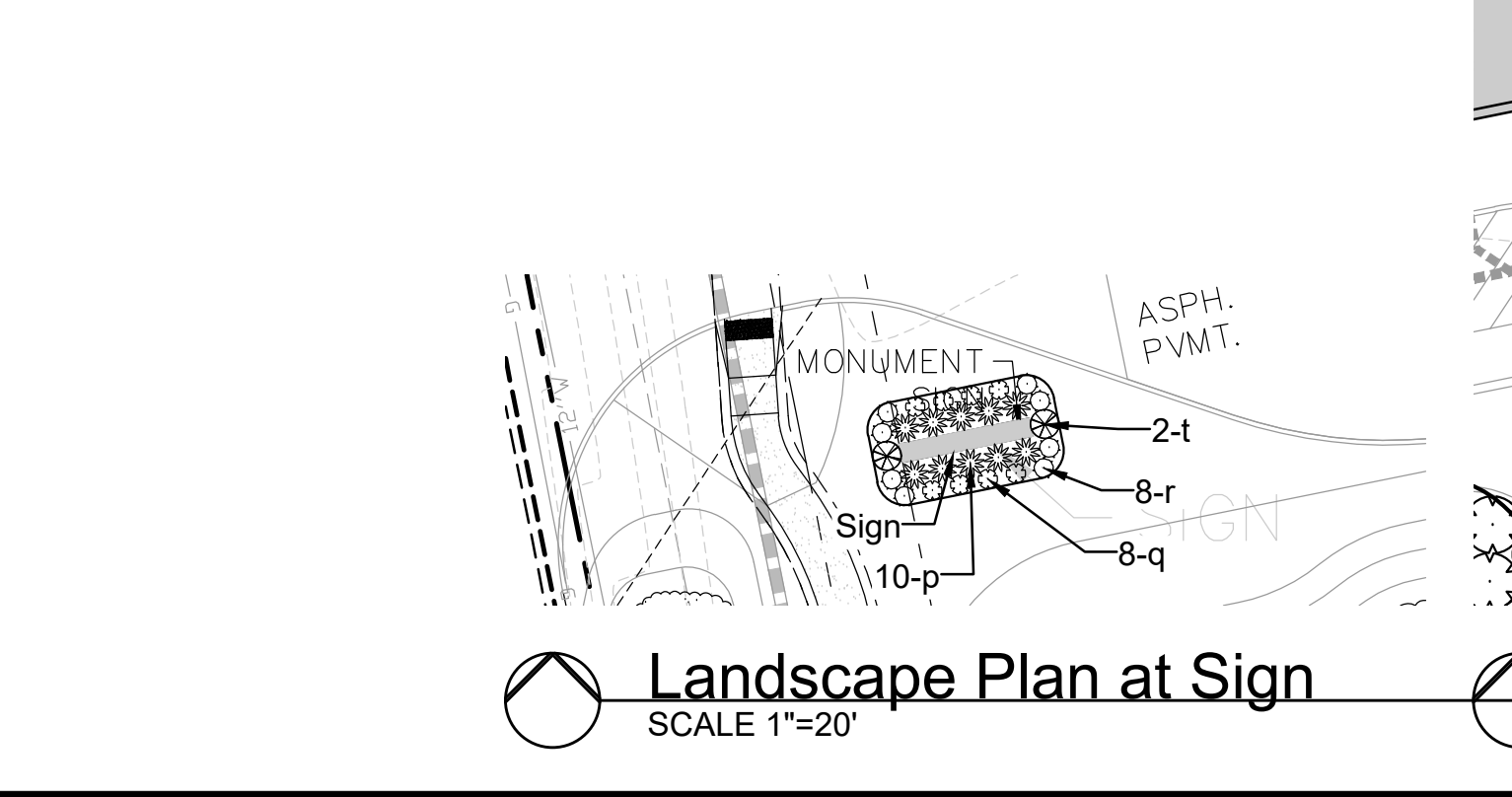
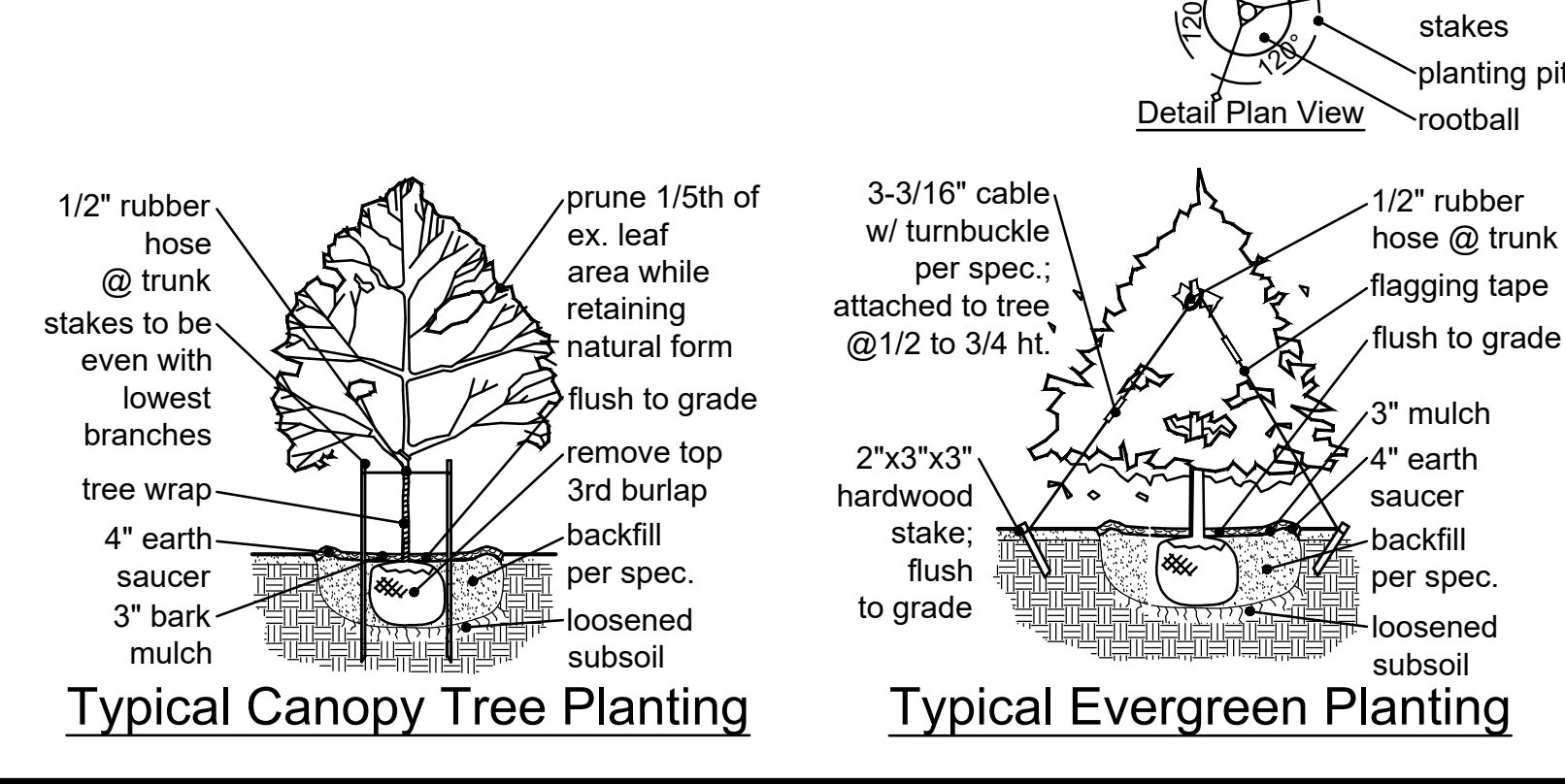
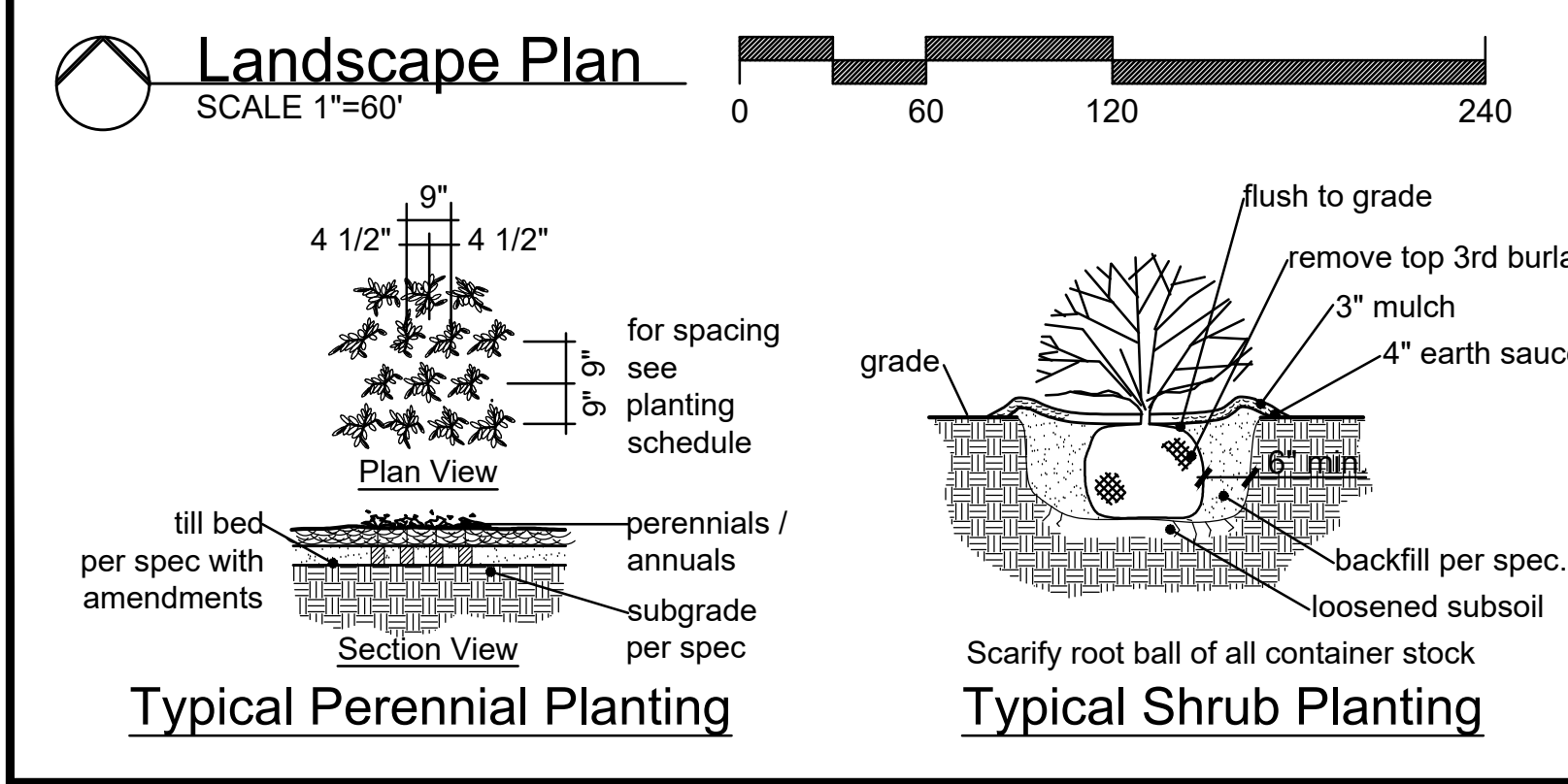
ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>SHRUBS-ORNAMENTAL GRASSES-PERENNIALS-ANNUALS-GROUNDCOVER</b>					
a	12	<i>Ilex x meserveae</i> 'Blue Prince' & 'Blue Princess'	Berri-Magic Royalty Holly Combination	18"	72" o.c.
b	12	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Juniper	18"	72" o.c.
c	9	<i>Itea virginica</i>	Virginia Sweetspire	18"	72" o.c.
d	14	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	18"	72" o.c.
e	44	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	18"	72" o.c.
f	19	<i>Thuja occidentalis</i> 'Congabe'	Fire Chief Globe Arborvitae	18"	48" o.c.
g	25	<i>Chamaecyparis pisifera</i> 'Golden Mop'	Golden Mop False Cypress	18"	48" o.c.
h	12	<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	18"	48" o.c.
j	26	<i>Hydrangea paniculata</i> 'Jane'	Little Lime Panicle Hydrangea	18"	48" o.c.
k	27	<i>Buxus microphylla</i> 'Bulthouse'	Sprinter Boxwood	18"	48" o.c.
m	24	<i>Ilex glabra</i> 'Compacta'	Compact Inkberry	18"	48" o.c.
n	6	<i>Hypericum frondosum</i> 'Sunburst'	Sunburst St. John's Wort	18"	36" o.c.
p	19	<i>Spiraea media</i> 'SMSMBK'	Double Play Blue Kazoo Spirea	18"	36" o.c.
q	8	<i>Aronia melanocarpa</i> 'UCONNAM165'	Low Scape Mound Chokeberry	12"	24" o.c.
r	10	<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Threadleaf Coreopsis	1 quart	24" o.c.
s	16	<i>Miscanthus sinensis</i> 'Gracillimus'	Maiden Grass	1 gallon	48" o.c.
t	9	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster's Feather Reed Grass	1 gallon	36" o.c.
w	16	<i>Paricum virgatum</i> 'Northwind'	Northwind Switch Grass	1 gallon	36" o.c.
x	18	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 quart	36" o.c.
gc	368	<i>Sedum rupestre</i> 'Angelina'	Angelina Stonecrop	2" cell plug	24" o.c.

**General Notes (Per City of Chesterfield Tree Preservation and Landscape Requirements):**

- 1) Street trees shall be located within a street right-of-way unless so approved by variance.
- 2) Street trees shall not be planted closer than three (3) feet to any curb.
- 3) Street trees shall be placed within twenty-five (25) feet of street lights, street signs and intersections.
- 4) No trees shall be planted within ten (10) feet of street inlets or manholes.

**Landscape Notes:**

- 1) All existing volunteer trees and vegetation to be removed.
- 2) Lawn areas shall be turf-type Tall Fescue Grass or approved equivalent. All 3:1 or steeper slopes shall be lawn seed and have erosion control blanket.
- 3) Topsoil in all disturbed lawn areas at 6" depth.
- 4) Soil mix in all shrub beds at 8" depth.
- 5) All mulch to be double ground bark mulch.
- 6) Bed edges to be spade cut.
- 7) All landscaped areas, including islands, shall be provided with mechanical, in-ground irrigation system. Contractor to provide design-build drawings for review by Landscape Architect.
- 8) Plants proposed in seepage berm to be within planters. Refer to sheet L1.03.



4/24/25  
Jerald Saunders - Landscape Architect  
MO License # LA-007

Consultants:

**CarShield Sportsplex**  
 530 & 550 N. Eatherton Road  
 Chesterfield, Missouri 63005

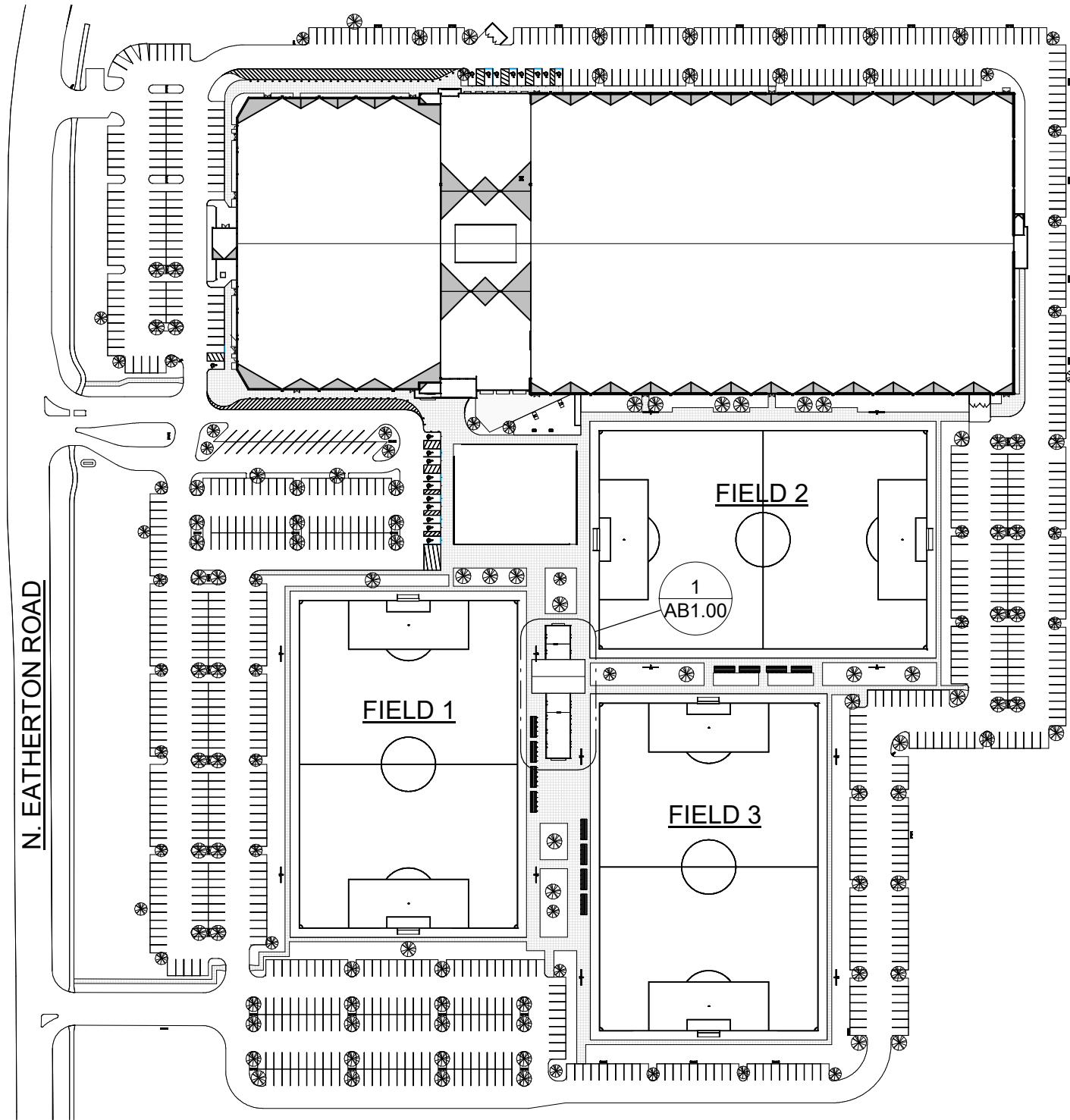
Revisions:

Date	Description	No.
11/19/24	Mylar	1
4/24/25	ASDP	2

Drawn: KP  
Checked: RS

**LOOMIS ASSOCIATES**  
 landscape architects + planners  
 7901 park 40 park drive, chesterfield, missouri 63005  
 t. 636.519.8668  
 www.loomis-associates.com  
 Loomis Associates, Inc.  
 Missouri State Certificate of Authority # LAC #000019

Sheet Title: Landscape Plan  
Sheet No: **L1.01**  
Date: 12/4/24  
Job #: 687.023




**ARCHITECTURAL SITE PLAN**  
 1" = 160'-0"

**CarShield Sportsplex**

530 N. Eatherton Road, Chesterfield, MO 63005

SITE PLAN

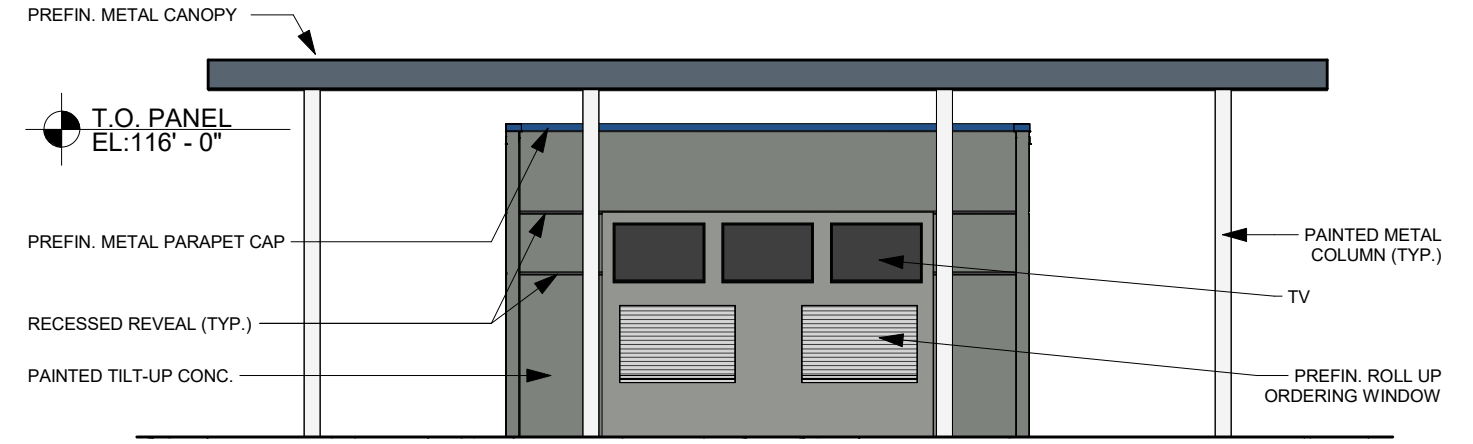
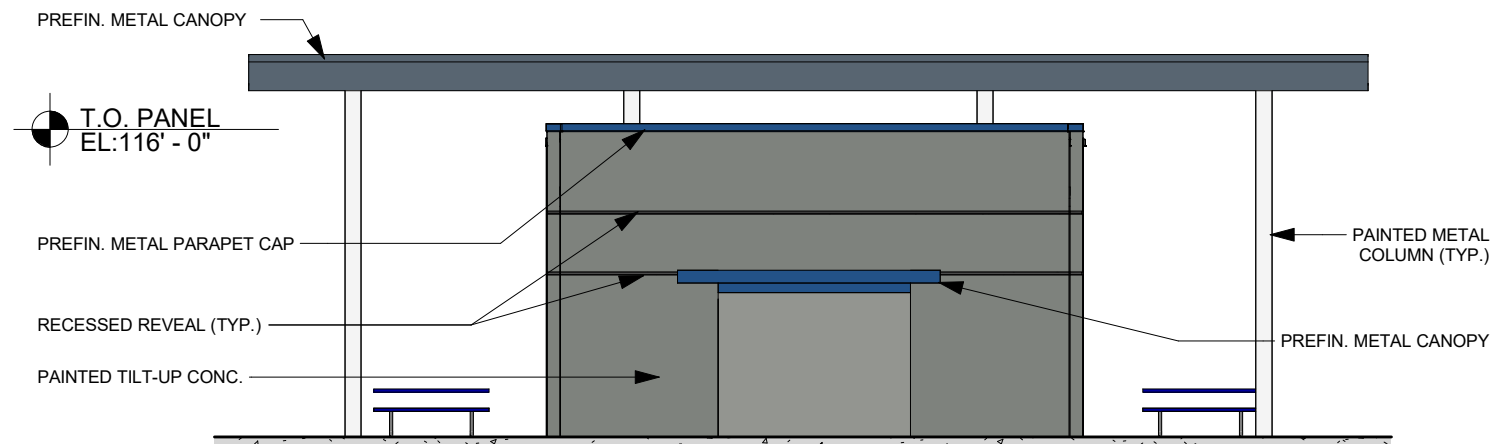
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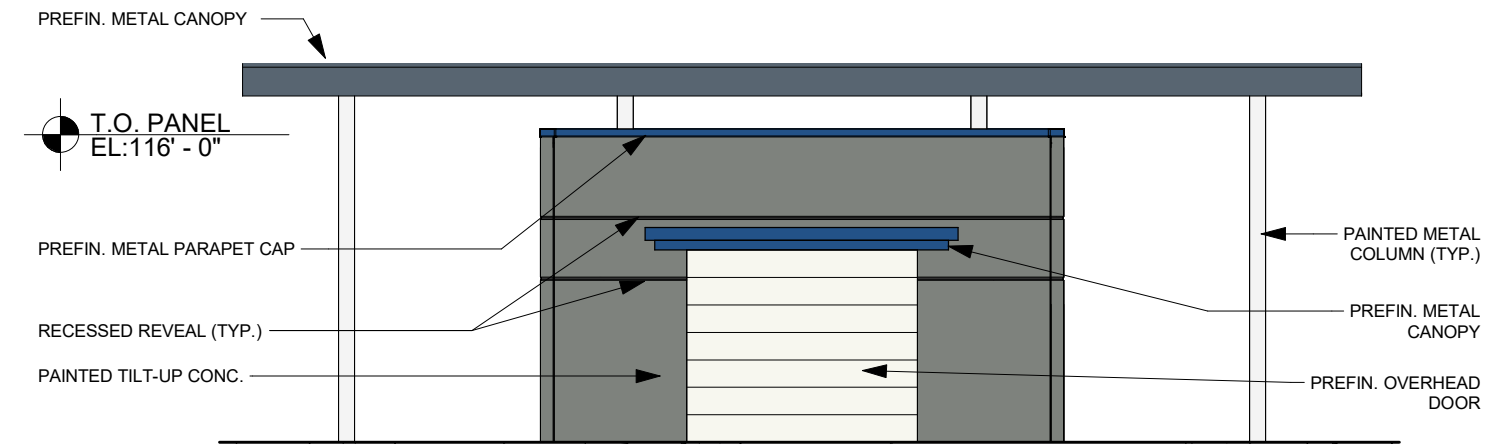
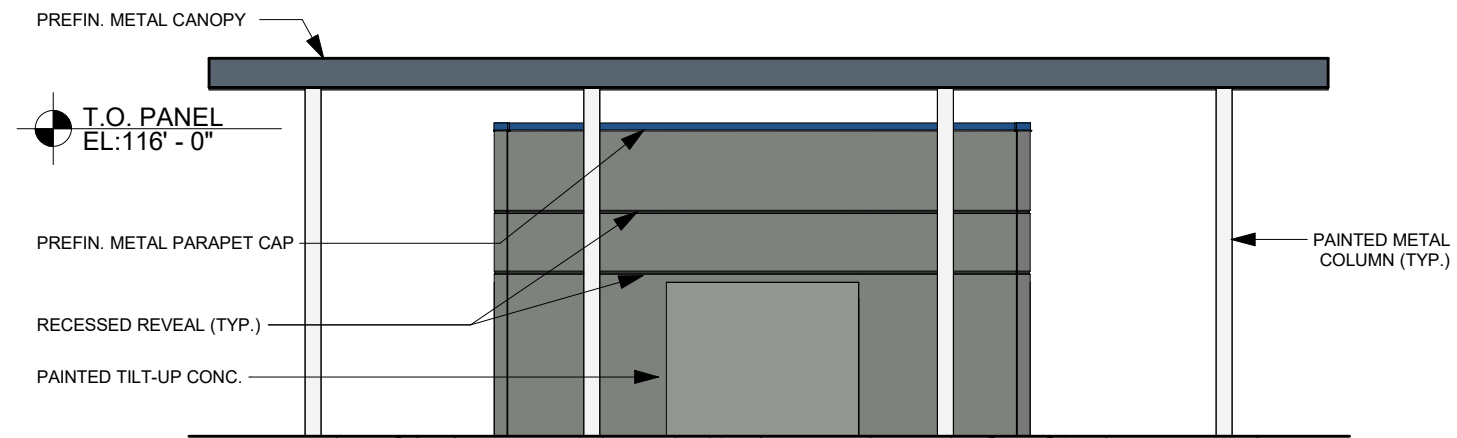
**KEYSTONE**  
 QUALITY DESIGN/BUILD CONSTRUCTION

gray



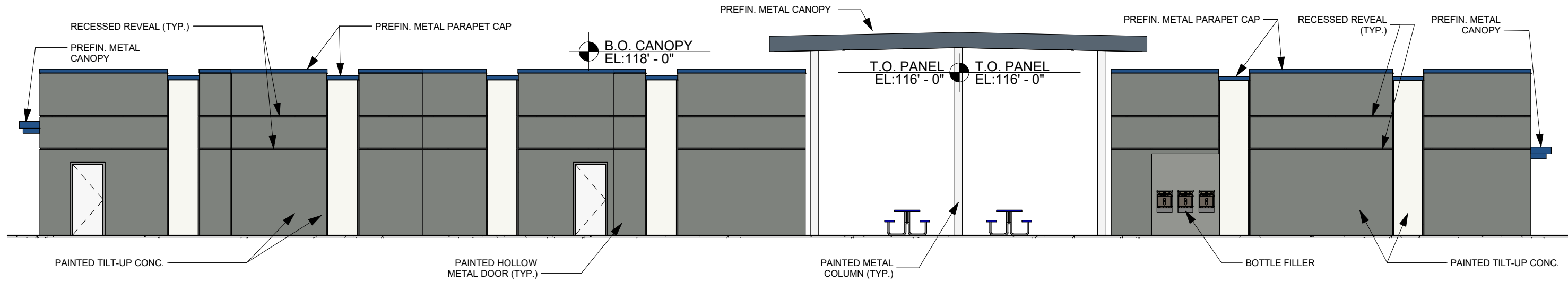
1 PAVILION - NORTH ELEVATION (RESTROOMS)  
 AB2.00 1" = 10'-0"

2 PAVILION - NORTH ELEVATION (CONCESSIONS)  
 AB2.00 1" = 10'-0"

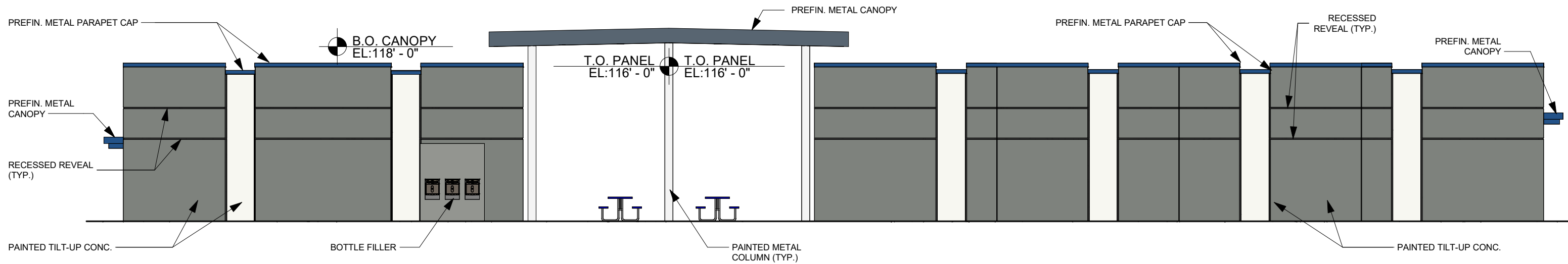


3 PAVILION - SOUTH ELEVATION (RESTROOMS)  
 AB2.00 1" = 10'-0"

4 PAVILION - SOUTH ELEVATION (CONCESSIONS)  
 AB2.00 1" = 10'-0"



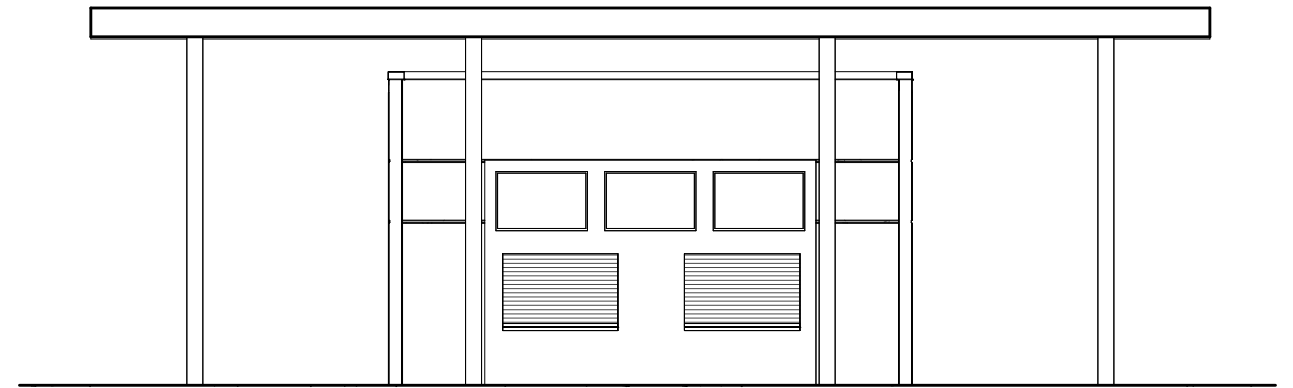
**1 PAVILION - EAST ELEVATION**  
 AB3.00 1" = 10'-0"



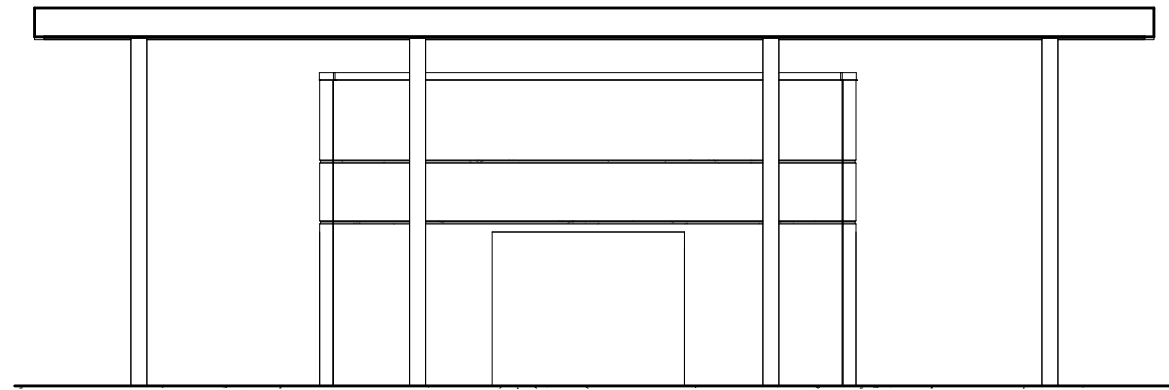
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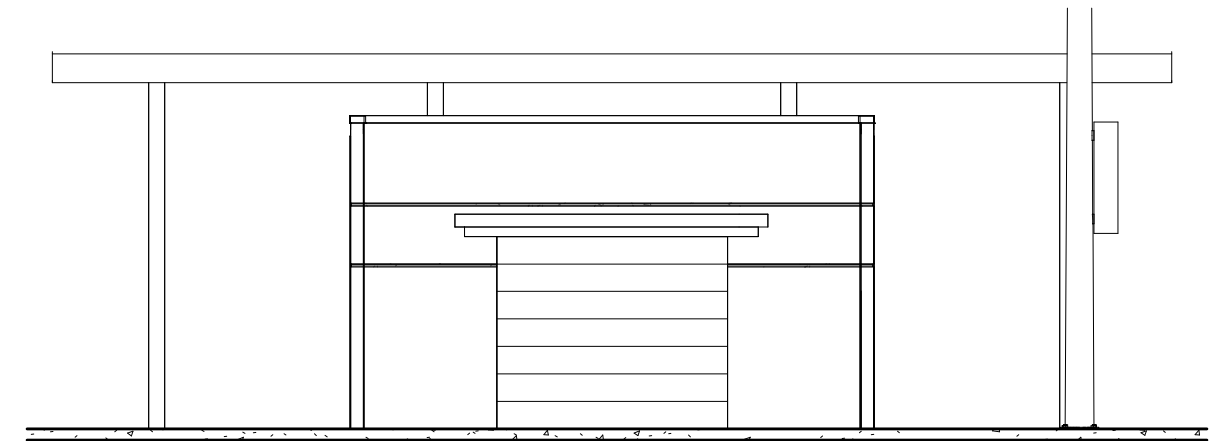
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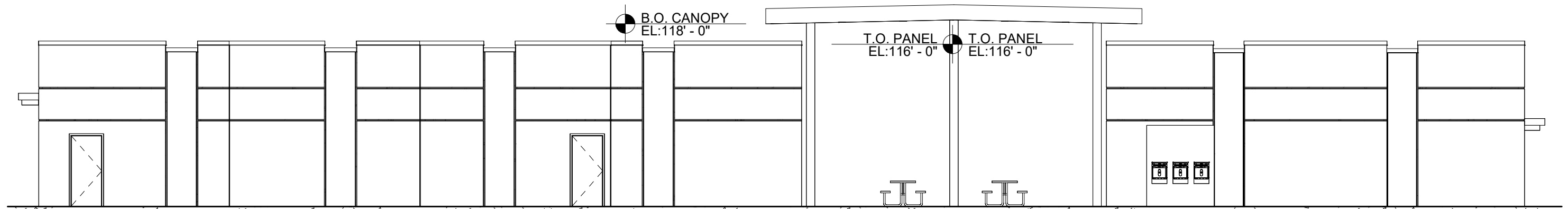
2 PAVILION - NORTH ELEVATION (CONCESSIONS)  
 AB4.00 1" = 10'-0"



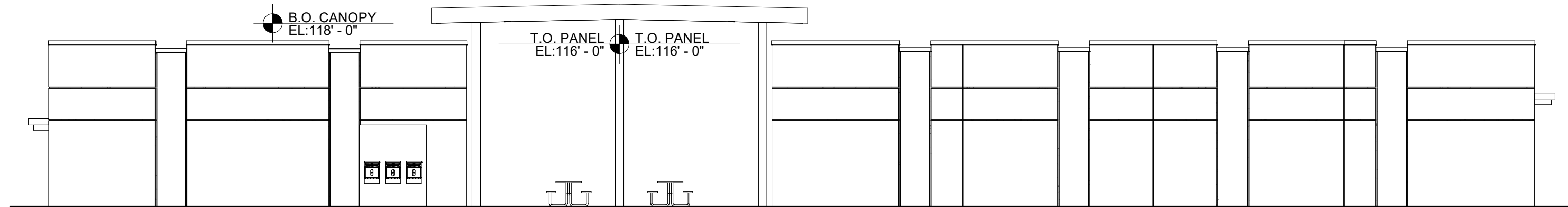
3 PAVILION - SOUTH ELEVATION (RESTROOMS)  
 AB4.00 1" = 10'-0"



4 PAVILION - SOUTH ELEVATION (CONCESSIONS)  
 AB4.00 1" = 10'-0"



1 PAVILION - EAST ELEVATION  
 AB5.00 1" = 10'-0"



2 PAVILION - WEST ELEVATION  
 AB5.00 1" = 10'-0"

CarShield Sportsplex

530 N. Eatherton Road, Chesterfield, MO 63005

EXTERIOR  
 ELEVATIONS BW

27123309.00

04.24.25



KEYSTONE  
 QUALITY DESIGN/BUILD CONSTRUCTION

gray



EAST



NORTH



SOUTH



WEST

**CarShield Sportsplex**

530 N. Eatherton Road, Chesterfield, MO 63005

SITE PHOTOS

27123309.00

04.24.25





SOUTH EAST PAVILION RENDERING

**CarShield Sportsplex**

530 N. Eatherton Road, Chesterfield, MO 63005

RENDERING

27123309.00

04.24.25



**KEYSTONE**  
QUALITY DESIGN/BUILD CONSTRUCTION

gray



WEST PAVILION RENDERING

**CarShield Sportsplex**

530 N. Eatherton Road, Chesterfield, MO 63005

RENDERING

27123309.00

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**KEYSTONE**  
QUALITY DESIGN/BUILD CONSTRUCTION

gray



NORTH WEST PAVILION RENDERING

**CarShield Sportsplex**

530 N. Eatherton Road, Chesterfield, MO 63005

RENDERING

27123309.00

04.24.25



**KEYSTONE**  
QUALITY DESIGN/BUILD CONSTRUCTION

gray



1 PAVILION CONCESSIONS RENDERING

2 PAVILION RESTROOM ENTRANCE RENDERING

690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • [www.chesterfield.mo.us](http://www.chesterfield.mo.us)

### Architectural Review Board Staff Report

**Meeting Date:** May 15, 2025

**From:** Isaak Simmers, Planner

**Location:** 18383 Chesterfield Airport Road

**Description:** **Chesterfield Ice and Sports Complex, Lot A:** An Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Amended Architectural Elevations, and Architect’s Statement of Design for an existing ice and sports complex located on a 10.11-acre tract of land zoned “PC” Planned Commercial District north of Chesterfield Industrial Boulevard, and east of its intersection of Wings of Hope Boulevard and a Private Road.

#### PROPOSAL SUMMARY

Stock and Associates Consulting Engineers, Inc., on behalf of Chesterfield Hockey Association, Inc., submitted an Amended Site Development Section Plan and associated plans for an expansion of the existing Chesterfield Ice and Sports Complex. The goal of the expansion is to provide additional locker rooms and amenities for the Maryville University Hockey Team; and to add a third rink for the Chesterfield Hockey Association.



Figure 1: Subject Site

**RELEVANT SITE HISTORY**

The site was zoned “M3” Planned Industrial District prior to the incorporation of the City of Chesterfield. In August 2017, the Chesterfield Hockey Association submitted a petition to rezone from “M3” Planned Industrial District to “PC” Planned Commercial in preparation for a new ice hockey complex. In 2018, the Site Development Section Plan and associated plans for Lot A of Chesterfield Ice Sports Complex Subdivision was approved by the City of Chesterfield for Phase 1. During construction, the applicant came back to the City to amend the approved lighting plan and landscape plan with minor changes. A landscape inspection for Phase 1 was conducted in January 2023 and found all landscaping to be in compliance with the approved plans; surety was released. Fast forward to 2025, and the Chesterfield Hockey Association applied to amend their Site Development Section Plan in preparation for the construction of Phase 2.

**STAFF ANALYSIS**

The existing facility is 84,144 square feet and includes; two (2) NHL sized hockey rinks, seating for 2,000 spectators, and additional sporting amenities. The access drive to the complex is shared and classified as an unsignalized private drive, and aligns with Wings of Hope Boulevard across Chesterfield Airport Road. There are 388 existing parking spaces.



Figure 2: Existing Site, Google Earth 2023

The addition, see Figure 3, will include a new practice rink, Zamboni area, and space for additional offices, storage, and locker rooms. The proposed third rink will be used for practices only and will not include bleachers or seating. It has been communicated to Staff that Phase 2 of the proposed expansion will be constructed at separate times and will require separate Municipal Zoning Approval applications. First, the Maryville University amenities section of the addition will be constructed, then the third practice rink finishing the expansion.



Figure 3: Existing Site, Area of Proposed Expansion

Picture below is a 3D model of the completed expansion of the Chesterfield Ice Sports Complex, see Figure 4. The section of the model highlighted in yellow depicts the construction of the Maryville University Amenities Building, and the green depicts the section of the expansion which includes the proposed third ice rink for the Chesterfield Hockey Association.

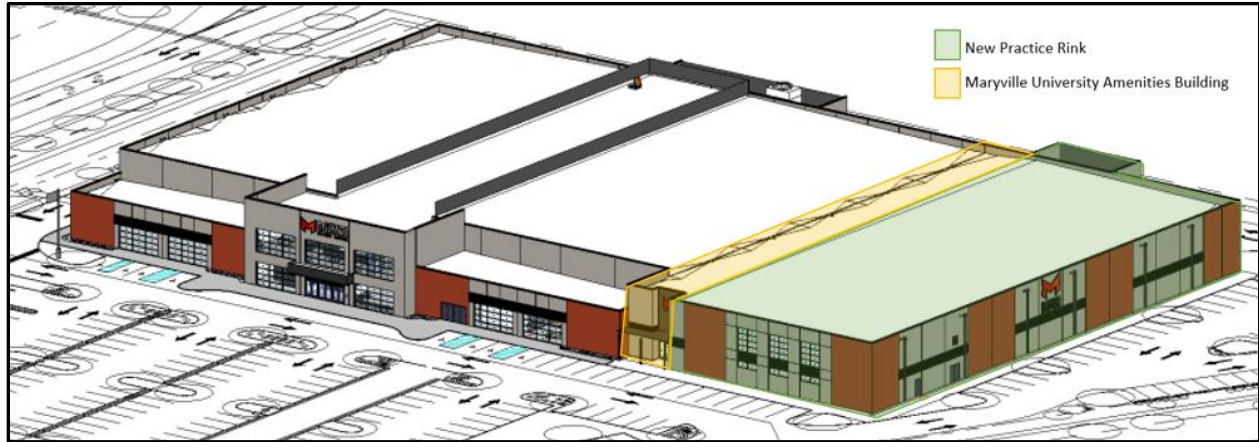


Figure 4: 3D Model, northeast corner

### Scale, Design, Colors & Materials

The scale and design of the expansion is a continuation of the materials and design utilized during Phase 1 of the development. The finished expansion will be comprised of the same material as the existing concrete tilt-up panels, red thin brick veneer, and existing perforated black metal screen wall for rooftop equipment. Prefinished scupper and downspouts have been proposed on both the complete north and south elevations, and a black steel entry canopy is proposed above the entrance to the new Maryville amenities building. Phase 1 of construction has a maximum height of 36 feet at the parapet above the existing main entry. The proposed expansion will be comparable in height of the existing ice rinks at 30 feet in height.

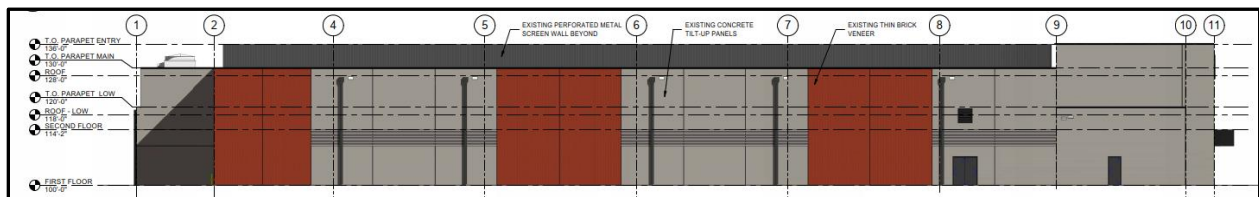


Figure 5: Side Elevation, north

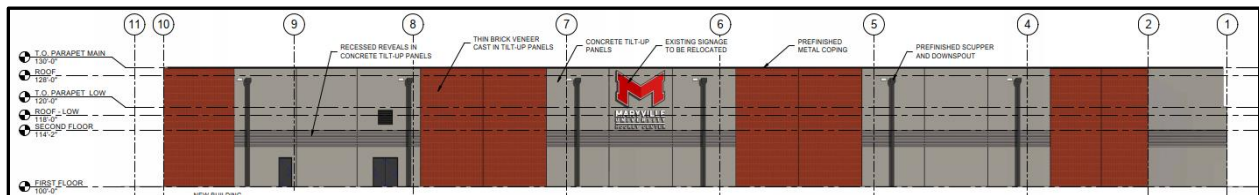


Figure 6: Side Elevation, south

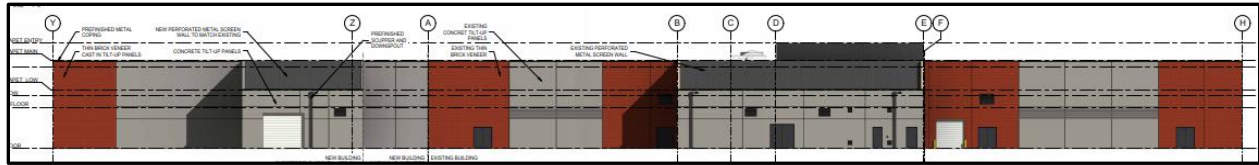


Figure 7: Rear Elevation, west

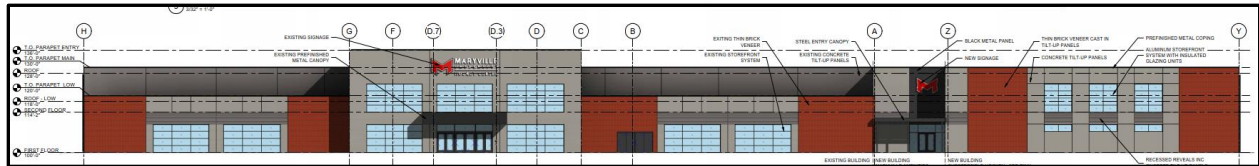


Figure 8: Front Elevation, east

Since the proposed expansion of the Chesterfield Ice Sports Complex is expected to take place in separate construction phases, the applicant provided additional elevations for the proposed complex to illustrate how the proposed expansion will adapt the phased construction plan. Prior to the construction of the third rink, the new Maryville University amenities building will be constructed along the entire length of the existing north elevation of the complex. The plan is finishing the new Mayville University amenities building with EIFS painted to match the existing color of the concrete tilt-up panels. The completed expansion, with ice rink, will remove the EIFS wall of the new Maryville amenities and complete the phased construction by finishing the third ice rink using concrete tilt-up panels and thin brick veneer. The temporary north elevation of the amenities will include an aluminum storefront window system and side entry doors.

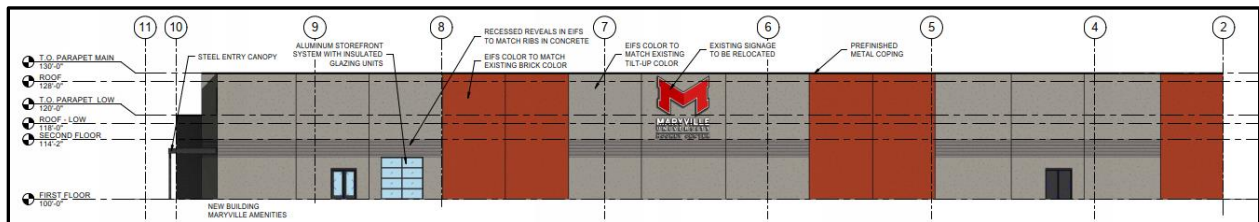


Figure 9: Side Elevation, north, Maryville Amenities Building Only (EIFS WALL) – will eventually be removed for third rink

### Landscape Design & Screening

The landscaping was originally planned, and installed, during Phase 1 construction of the development. A 30 foot landscape buffer was provided along I-64 and the future Olive Street Road extension. The landscape bond submitted for the site was subsequently released following the final maintenance inspection performed by the City in 2023. Minor amendments have been made to the existing landscape plan to include landscape screening around the existing trash enclosure which will be installed during the construction of the Maryville University amenities building, see Figure 10. The area proposed for the third rink will be sodded until construction. Per Code, the applicant must provide a minimum of 35% open space. Per the proposed landscape plan for Phase 2, the applicant has proposed 36.9% open space. The landscape plan is still under review by the department.

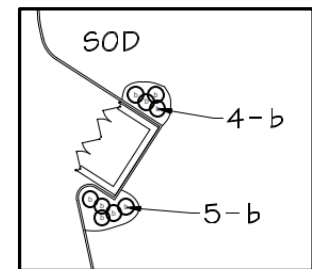


Figure 4: Proposed Landscaping for trash enclosure

The rooftop mechanical equipment has been screened using a minimum of two (2) feet from roof to parapet at its lowest point, and at most, eight (8) feet from roof to the parapet above the main entry, see Figure 11.

There is existing perforated black metal screening utilized on the roof that will be expanded strategically to the new addition to match the extension. The roofline has been finished with prefinished metal coping.

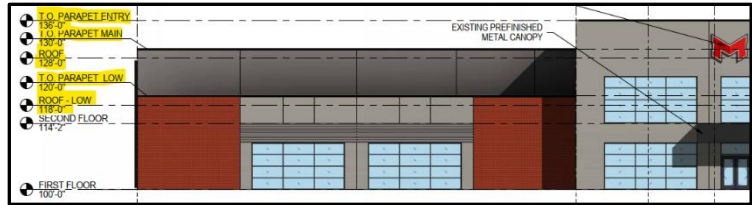


Figure 5: Partial Front Elevation, south

**RENDERING(S)**



Figure 6: Exterior Entry, Maryville University Amenities Building Only



Figure 7: Exterior Entry, Third Rink and Amenities Building

## **LIGHTING**

A site photometric plan for the site was approved and completed during Phase 1 of construction. The applicant has submitted an amendment to the site photometric plan to show how the proposed expansion will affect existing conditions. The proposed amendments include the addition of three (3) wall pack lighting fixtures along the proposed north elevation and additional protection bollards included along the east elevation for patron safety, see figure 14 for fixture details. The Amended Site Photometric Plan is still under review by the department.

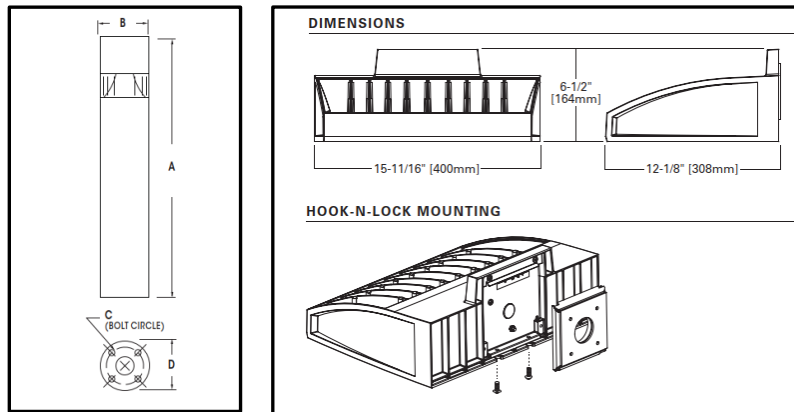


Figure 8: Proposed Light Fixture Details

## **DEPARTMENT INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to Planning Commission. Staff requests review.

## **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

1. "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Chesterfield Ice Sports Complex, Lot A, as presented, with recommendation for approval (or denial) to the Planning Commission."
2. "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Chesterfield Ice Sports Complex, Lot A to the Planning Commission with the following conditions..."

### Attachments

1. Architectural Statement of Design
2. ARB Submittal
3. Parking Study Memo
4. Traffic Study



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690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • [www.chesterfield.mo.us](http://www.chesterfield.mo.us)

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**The City of Chesterfield is committed to excellence  
in service and overall quality of life:  
By being the City of Choice in the St. Louis Region  
within which to live, work, play, and visit.**

*- City of Chesterfield Mission Statement*

The Planning Commission and the Department of Planning strive for the above in the review of projects presented to the City of Chesterfield for development. To assist with this process, the Architectural Review Board was established in 1998.

The terms and provisions of the Architectural Review Standards ([Section 04-01 of the Unified Development Code](#)) shall apply to all vacant or undeveloped land and all property to be redeveloped including additions and alterations. Projects will be reviewed by the Architectural Review Board (ARB) to provide recommendations to the Planning Commission and Department of Planning.

The Planner assigned to your development project will notify you when the project is ready for submission to the ARB. This may be upon completion of the first full review by the City or upon resubmittal after comments raised by the City have been addressed if said comments will impact the site layout or design. The Planner will work with you and advise you on the appropriate agenda review date for your project.

To aid you in preparing an item for review, the attached information has been developed:

- Project Statistics and Checklist
- Architectural Review Standards

To ensure you have everything you need for ARB review, once the project is ready for ARB submittal, you will be notified by your Planner to submit one copy of your full ARB application for review. *\*This review is done to ensure you have everything you need prior to submitting the required thirteen (13) copies necessary for the meeting. Again, your Planner will notify you of all submittal deadline dates as they assist you through this process.*

All items requested must be submitted by the date provided to you by your assigned Planner in order to have the project placed on the ARB's agenda.

If you have questions about the architectural review process, contact your assigned Planner, or contact the Planner of the Day at 636-537-4733 or [pod@chesterfield.mo.us](mailto:pod@chesterfield.mo.us)

Thank you



**ARCHITECTURAL REVIEW BOARD  
Project Statistics and Checklist**

*Date of First Comment Letter Received from the City of Chesterfield* \_\_\_\_\_

Project Title: \_\_\_\_\_ Location: \_\_\_\_\_

Developer: \_\_\_\_\_ Architect: \_\_\_\_\_ Engineer: \_\_\_\_\_

**PROJECT STATISTICS:**

Size of site (in acres): \_\_\_\_\_ Total Square Footage: \_\_\_\_\_ Building Height: \_\_\_\_\_

Proposed Usage: \_\_\_\_\_

Exterior Building Materials: \_\_\_\_\_

Roof Material & Design: \_\_\_\_\_

Screening Material & Design: \_\_\_\_\_

Description of art or architecturally significant features (if any): \_\_\_\_\_

**ADDITIONAL PROJECT INFORMATION:**

**Checklist:** Items to be provided in an 11" x 17" format

- Color Site Plan with contours, site location map, and identification of adjacent uses.
- Color elevations for all building faces.
- Color rendering or model reflecting proposed topography.
- Photos reflecting all views of adjacent uses and sites.
- Details of screening, retaining walls, etc.
- Section plans highlighting any building off-sets, etc. (as applicable)
- Architect's Statement of Design which clearly identifies how each section in the Standards has been addressed and the intent of the project.
- Landscape Plan.
- Lighting cut sheets for any proposed building lighting fixtures. (as applicable)
- Large exterior material samples. (to be provided 1 week prior to ARB meeting)
- Any other exhibits which would aid understanding of the design proposal. (as applicable)
- Pdf files of each document required.

## ARCHITECTURAL REVIEW DESIGN STANDARDS

Please refer to [Section 04-01 of the Unified Development Code](#) for the Architectural Review Design Standards.

## ARCHITECTURAL TERMS

Please refer to [Section 10-06 of the Unified Development Code](#) for definitions of Architectural Terms.

**FLOOD NOTE:**  
SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (AREA WITH REDUCED FLOOD RISK DUE TO LEVEL) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS. THE MAP IS IDENTIFIED AS MAP NO. 29189C0145K WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2015.

**FAR CALCULATION (PHASE 2)**  
F.A.R. = 126,574 S.F. / 440,568 S.F. = 0.29  
MAXIMUM = 0.55

**BUILDING + PARKING SETBACKS**  
NORTH: 30' BUILDING AND 30' PARKING SETBACK  
EAST: 30' BUILDING AND 30' PARKING SETBACK  
SOUTH: 30' BUILDING AND 30' PARKING SETBACK  
WEST: 10' BUILDING AND 10' PARKING SETBACK

**PARKING CALCULATIONS**

**RECREATIONAL USE (PHASE 1 BUILDING)**  
REQUIRED:  
MIN. PARKING 3.3 / 1,000 GFA  
3.3 \* 84,144 = 277 SPACES  
MAX. PARKING 4.5 / 1,000 GFA  
4.5 \* 84,144 = 378 SPACES  
EXCEED MAX. PARKING REQUIREMENT - 20% MAX. EXCESS  
1.20 \* 4.5 \* 84,144 = 454 SPACES  
(388 SPACES PROVIDED)  
REQUESTING: (388 - 378) / 388 = 2.6% EXCESS

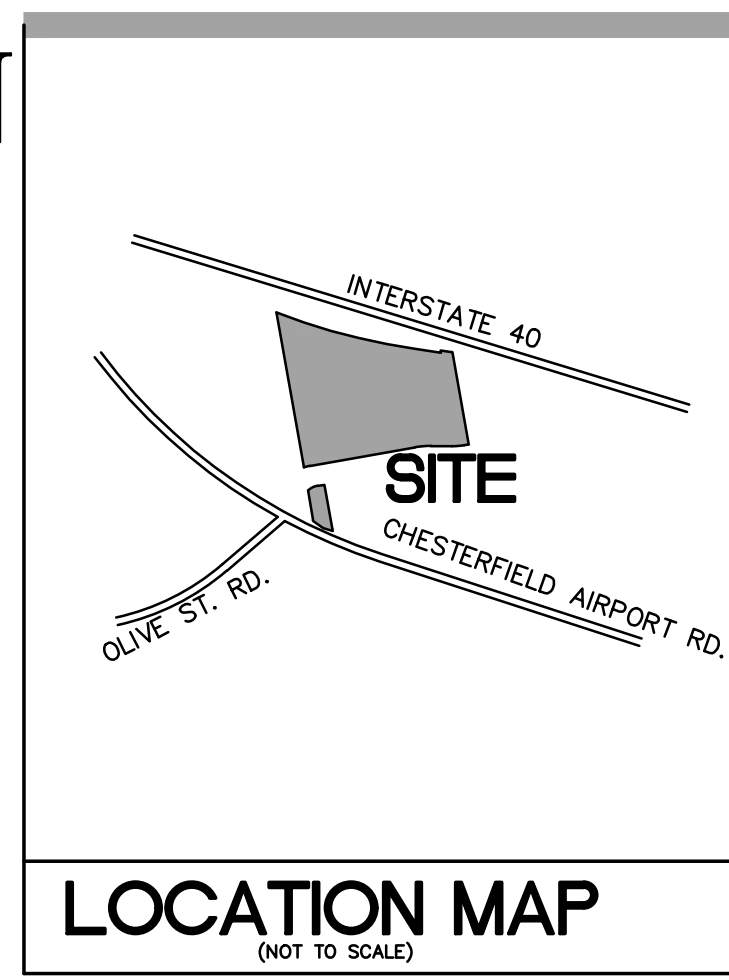
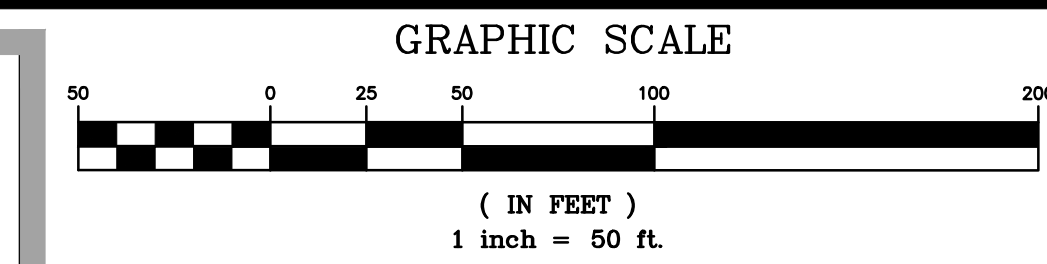
MIN. HANDICAP PARKING REQUIRED = 2% OF TOTAL SPACES PROVIDED  
2.0% \* 388 = 8 SPACES  
(8 SPACES PROVIDED)

**RECREATIONAL USE (ADDITION OF PHASE 2 BUILDING)**  
REQUIRED:  
MIN. PARKING 3.3 / 1,000 GFA  
3.3 \* (84,144 + 42,430) = 418 SPACES  
MAX. PARKING 4.5 / 1,000 GFA  
4.5 \* (84,144 + 42,430) = 570 SPACES  
PARKING PROVIDED: 388 SPACES  
REQUESTING AN 8% REDUCTION TO THE CITY'S PARKING REQUIREMENTS PER SECTION 405.04.040, EQUATING TO 30 SPACES  
MIN. HANDICAP PARKING REQUIRED = 2% OF TOTAL SPACES PROVIDED  
2.0% \* 388 = 8 SPACES  
(8 SPACES PROVIDED)

**MONARCH FIRE PROTECTION DISTRICT NOTE:**  
A SECOND ACCESS POINT MUST BE IN PLACE BEFORE THE THIRD SHEET OF ICE (PHASE 2B) CAN BE OCCUPIED.

# AMENDED SITE DEVELOPMENT SECTION PLAN

A TRACT OF LAND BEING PART OF LOT 3 OF THE 'NICHOLAS MUELLER ESTATE' AS RECORDED IN PLAT BOOK 2, PAGE 25 LOCATED IN U.S. SURVEY 371 AND PART OF U.S. SURVEY 102, TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI



**ABBREVIATIONS**

ATG	ADJUST TO GRADE	PG.	PAGE
B.C.	BACK OF CURB	PR.	PROPOSED
C.O.	CLEANOUT	P.V.C.	POLYVINYL CHLORIDE PIPE
DB.	DEED BOOK	R.C.P.	REINFORCED CONCRETE PIPE
ELEV.	ELECTRIC	R/W.	RIGHT-OF-WAY
EX.	EXISTING	SG.	SQUARE
F.C.	FACE OF CURB	T.	TELEPHONE CABLE
FL.	FLOWLINE	T.B.A.	TO BE ABANDONED
FT.	FEET	T.B.R.	TO BE REMOVED
F.W.D.	FOUND	T.B.R.&R.	TO BE REMOVED AND REPLACED
G.	GAS	TYP.	TYPICALLY
H.W.	HIGH WATER	U.I.P.	USE IN PLACE
LFB	LOW FLOW BLOCKED	U.O.N.	UNLESS OTHERWISE NOTED
M.H.	MANHOLE	V.C.P.	VITRIFIED CLAY PIPE
N/F	NOW OR FORMERLY	W.	WATER
P/B	PLAT BOOK	(86'W)	RIGHT-OF-WAY WIDTH

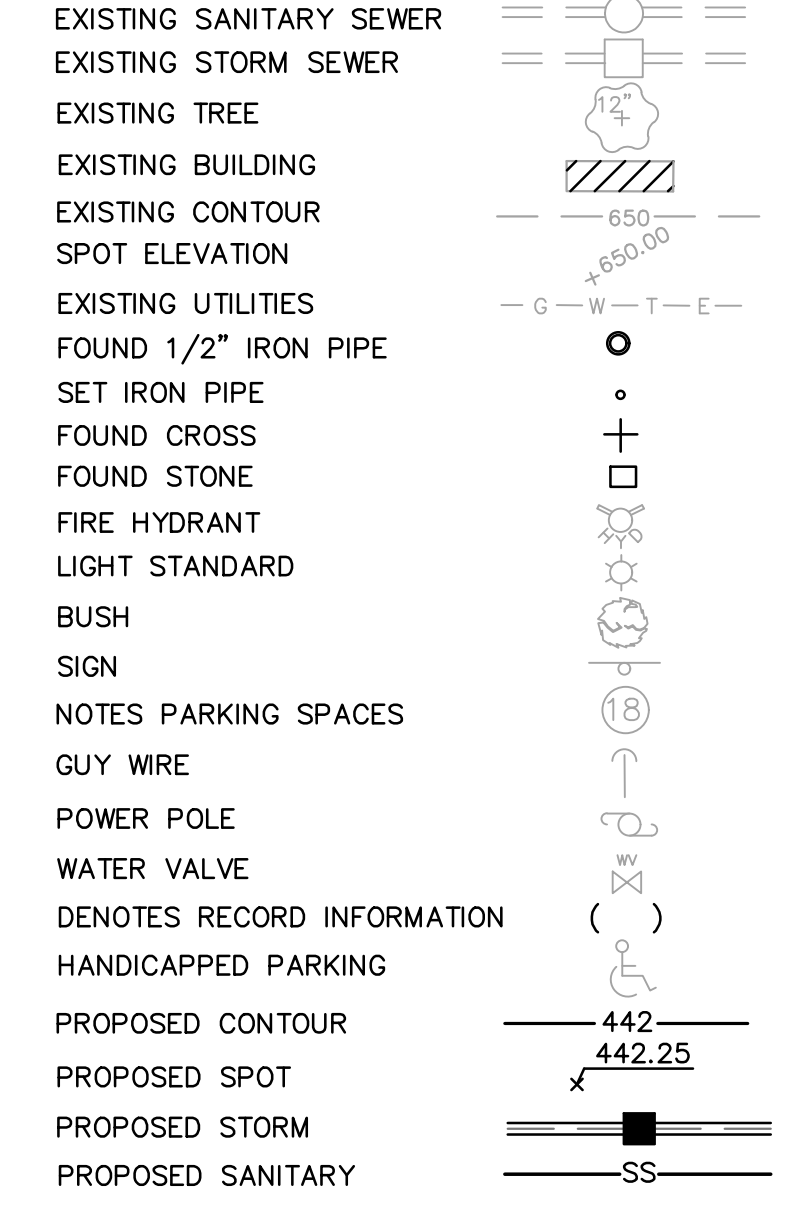
PROPOSED LOT C = 225,974 sf (5.18 Ac. ±)

**SHEET INDEX**  
SDSP-1.0 - 1.1 - AMENDED SITE DEVELOPMENT SECTION PLAN  
SDSP-2.0 - 2.1 - DETAILS & ORDINANCE  
PP-1 - PHOTOMETRIC PLAN  
L-1 (PH 2A & 2B) - LANDSCAPE PLANS

### SITE INFORMATION

**LOT A & B:**  
OWNER: CHESTERFIELD HOCKEY ASSOCIATION, INC.  
LOT A & B AREA: 10.49 Acres ±  
PR. BUILDING USE: RECREATION FACILITY  
EXISTING ZONING: "PC" PLANNED COMMERCIAL  
LOCATOR NO: 17W640080  
FIRE DISTRICT: MONARCH FIRE PROTECTION DISTRICT  
SCHOOL DISTRICT: ROCKWOOD  
SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER DIST.  
WATER SHED: MISSOURI RIVER 29189C0145K  
FEMA MAP: AMERICAN WATER CO.  
ELECTRIC COMPANY: SPIRE GAS COMPANY  
GAS COMPANY: AT&T  
PHONE COMPANY: MISSOURI AMERICAN WATER COMPANY  
RECORDED PLAN: SITE DEVELOPMENT SECTION PLAN BK. 366 PG. 322-328 AUGUST 10, 2018

### LEGEND



### GENERAL NOTES:

- BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO GRADE SHALL EXCEED 3:1 SLOPE.
- GRADING AND STORM WATER PER M.S.D., THE CITY OF CHESTERFIELD, MISSOURI, AND THE MONARCH CHESTERFIELD LEVEL DISTRICT.
- STORM WATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINTS. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.
- ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- SITE DEVELOPMENT SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL EXPLORATION PREPARED BY MIDWEST TESTING DATED MAY 02, 2018.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO CITY OF CHESTERFIELD'S STANDARDS.
- NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- ALL SIDEWALKS AND ASSOCIATED ACCESSIBILITY IMPROVEMENTS SHALL BE CONSTRUCTED TO THE CITY'S ADA STANDARDS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY PERIOD FOR CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.
- ACCESS RESTRICTION SHALL BE IMPLEMENTED UPON CONNECTION OF THE OLIVE STREET ROAD EXTENSION FROM CHESTERFIELD AIRPORT ROAD TO THE WEST, TO SPIRIT OF ST. LOUIS BLVD TO THE EAST. PER ORDINANCE 2794, IT MUST BE RESTRICTED AT THE NORTHERN ACCESS POINT SOUTH OF THE NEW OLIVE STREET ROAD OR AT THE SOUTHERN ACCESS POINT NORTH OF CHESTERFIELD AIRPORT ROAD.

### GEOTECHNICAL ENGINEER'S STATEMENT

Midwest Testing, at the request of CHESTERFIELD HOCKEY ASSOCIATION, INC., has performed a geotechnical exploration for the property of which the project proposed hereon is a part thereof. Our findings indicated that the earth related aspects are suitable for the development proposed herein pursuant to the geotechnical recommendations and considerations set forth in our May 2, 2018 report, titled "Geotechnical Exploration - MT Job No. 14414 - Chesterfield Ice & Sports Complex - Chesterfield, Missouri".



Midwest Testing  
Name: Daniel J. Barczewski  
Date: 04/16/2025

### SURVEYOR'S CERTIFICATION

This is to certify that Stock and Associates Consulting Engineers, Inc. has prepared this Amended Site Development Section Plan from a field survey and does not represent a property boundary survey. The information shown is a correct representation of all existing and proposed land divisions.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC.  
L.S. No. 222-D  
Walter J. Pfeiffer, Missouri L.S. No. 2008000728

### ST. LOUIS COUNTY BENCHMARK

BENCHMARK # 1121 N6229 ELEV. = 461.91  
Standard 1/4\"/>

### OPENSACE CALCULATIONS:

PER ORD. 2974 - 35% OPEN SPACE REQUIRED  
CHESTERFIELD HOCKEY ASSOC.: LOT A = 10.12 Ac. + 0.37 Ac. = 10.49 Ac.  
LOT C = 5.18 Ac.

**PHASE 2: CURRENT PLAN WITH FUTURE BUILDING EXPANSION**  
TOTAL SITE = LOT A & LOT B = 440,568 sf + 16,210 sf = 456,778 sf  
PR. BUILDING FOOTPRINT = 94,600 sf (ROOF)  
VEHICULAR PAVEMENT = 183,553 sf  
OPENSACE (GRASS & NON-VEHICULAR PAVMT) = 168,625 sf  
OPENSACE = (168,625 sf)/(456,778 sf) = 36.9%

PREPARED FOR:  
CHESTERFIELD HOCKEY ASSOCIATION, INC.  
2127 INNERBELT BUSINESS CENTER DR.  
SUITE 310  
ST. LOUIS, MO 63114

PREPARED BY:  
**STOCK & ASSOCIATES**  
Consulting Engineers, Inc.  
267 Chesterfield Business Parkway  
St. Louis, MO 63020  
PH: (636) 530-3000  
FAX: (636) 530-9830  
e-mail: general@stockassoc.com  
Web: www.stockassoc.com

AMENDED SITE DEVELOPMENT SECTION PLAN FOR:  
**CHESTERFIELD ICE AND SPORTS COMPLEX**  
ORD. 2974, ZONED: PC  
CHESTERFIELD, MISSOURI

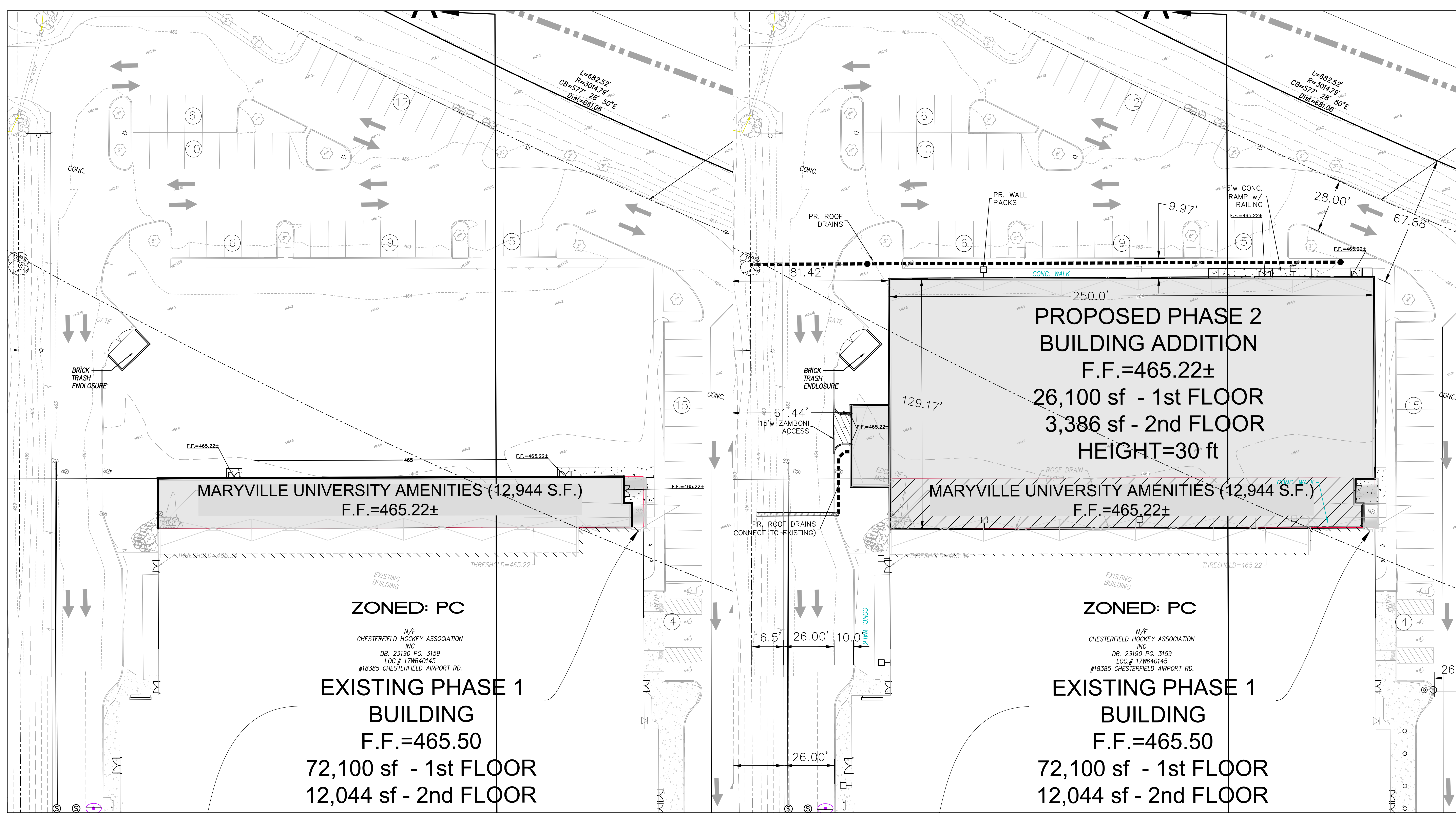


GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000996  
5/5/2025

REVISIONS:  
1 04-23-25 CITY COMMENTS  
2 05-05-25 CITY COMMENTS

DATE: 03/25/2025  
SCALE: 1\"/>

SHEET TITLE:  
**SITE DEVELOPMENT SECTION PLAN**  
SHEET NO.:  
SDSP-1.0



**MARYVILLE UNIVERSITY AMENITIES (12,944 S.F.)**  
 F.F.=465.22±

**PROPOSED PHASE 2 BUILDING ADDITION**  
 F.F.=465.22±  
 26,100 sf - 1st FLOOR  
 3,386 sf - 2nd FLOOR  
 HEIGHT=30 ft

**MARYVILLE UNIVERSITY AMENITIES (12,944 S.F.)**  
 F.F.=465.22±

**ZONED: PC**

N/F  
 CHESTERFIELD HOCKEY ASSOCIATION  
 INC.  
 DB. 23190 PG. 3159  
 LOC.# 17W640145  
 #18385 CHESTERFIELD AIRPORT RD.

**EXISTING PHASE 1 BUILDING**  
 F.F.=465.50  
 72,100 sf - 1st FLOOR  
 12,044 sf - 2nd FLOOR

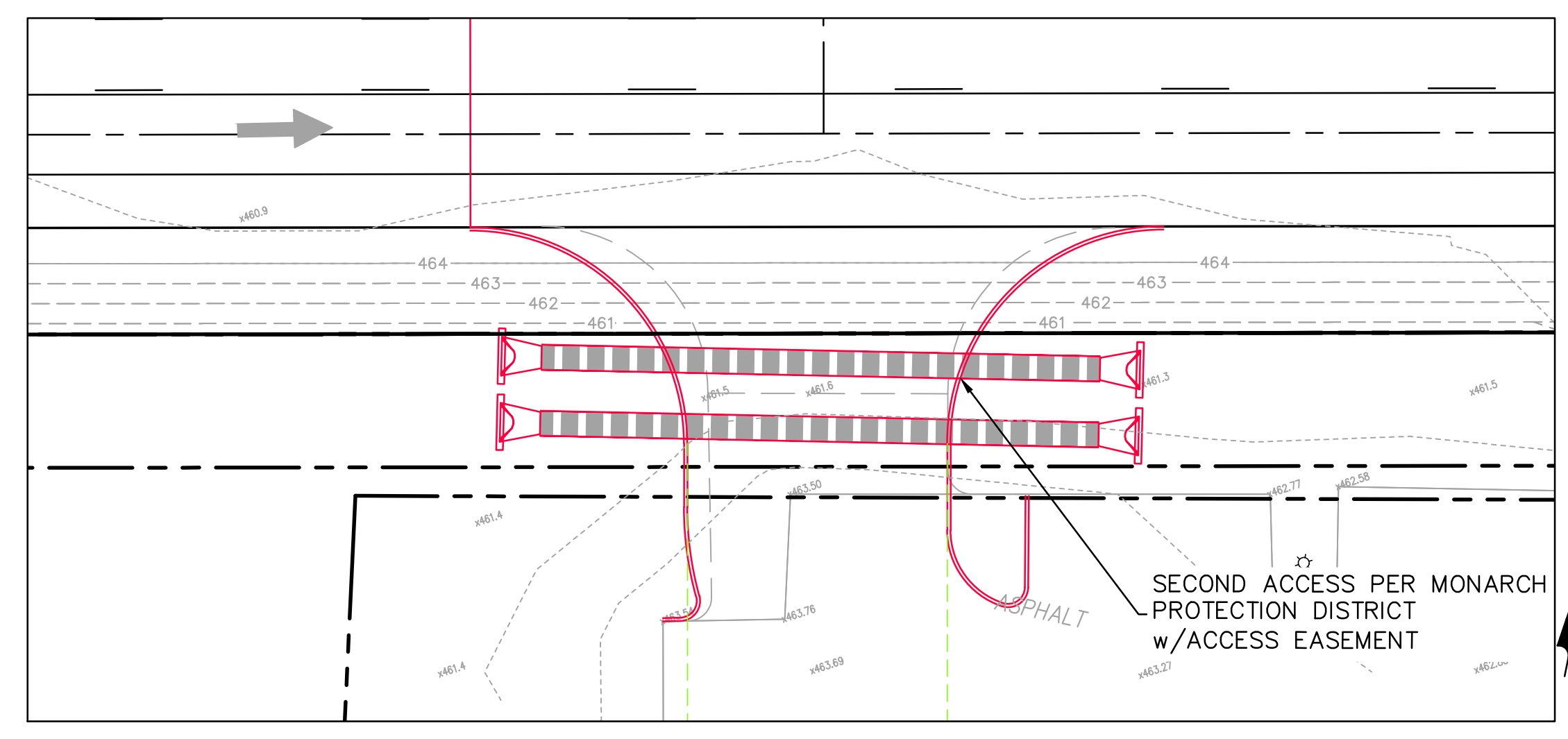
**ZONED: PC**

N/F  
 CHESTERFIELD HOCKEY ASSOCIATION  
 INC.  
 DB. 23190 PG. 3159  
 LOC.# 17W640145  
 #18385 CHESTERFIELD AIRPORT RD.

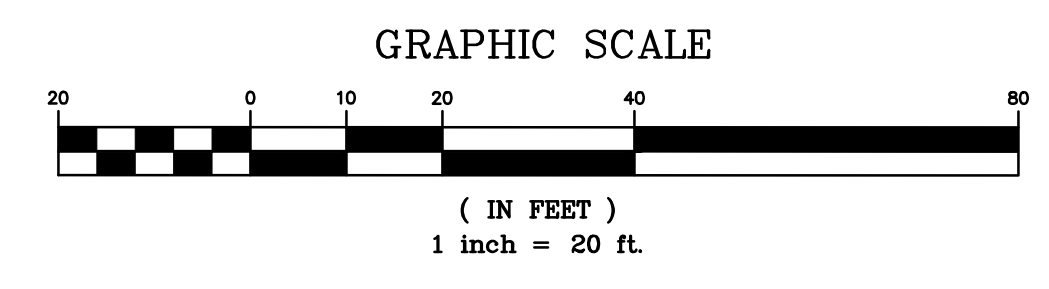
**EXISTING PHASE 1 BUILDING**  
 F.F.=465.50  
 72,100 sf - 1st FLOOR  
 12,044 sf - 2nd FLOOR

**PHASE 2A - AMENITIES**  
 SCALE: 1" = 20'

**PHASE 2B - ICE RINK**  
 SCALE: 1" = 20'



**PHASE 2B - FIRE DEPARTMENT ACCESS**  
 SCALE: 1" = 20'



**ABBREVIATIONS**

ATG - ADJUST TO GRADE	PG. - PAGE
B.C. - BACK OF CURB	PR. - PROPOSED
C.O. - CLEANOUT	P.V.C. - POLYVINYL CHLORIDE PIPE
DB. - DEED BOOK	R.C.P. - REINFORCED CONCRETE PIPE
E - ELECTRIC	R/W - RIGHT-OF-WAY
ELEV. - ELEVATION	SQ. - SQUARE
EX. - EXISTING	T - TELEPHONE CABLE
F.C. - FACE OF CURB	T.B.A. - TO BE ABANDONED
FL - FLOWLINE	T.B.R. - TO BE REMOVED
FT. - FEET	T.B.R.&R. - TO BE REMOVED AND REPLACED
FND. - FOUND	TYP. - TYPICALLY
G - GAS	U.I.P. - USE IN PLACE
H.W. - HIGH WATER	U.O.N. - UNLESS OTHERWISE NOTED
LFB - LOW FLOW BLOCKED	V.C.P. - VITRIFIED CLAY PIPE
M.H. - MANHOLE	W - WATER
N/F - NOW OR FORMERLY	(86'W) - RIGHT-OF-WAY WIDTH
P.B. - PLAT BOOK	

**ST. LOUIS COUNTY BENCHMARK**

BENCHMARK# 11121 N42029 ELEV.=461.91  
 Standard 1/2" diameter steel stamped 5'-464 situated in a naturalized grass area south of the North Outer Forty Road at an approximate distance of 0.4 miles east of the intersection with South of St. Louis Boulevard north of Interstate Route I-64 (also known as Highway 40); roughly 24.5 feet south of the centerline of North Outer Forty Road, 15.7 feet south of the edge of pavement, and 5.3 feet south of a 18"ID witness post set in the line of a cable guard along the south side of North Outer Forty Road.

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY WITH COMPLIING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

**PREPARED FOR:**  
 CHESTERFIELD HOCKEY ASSOCIATION, INC.  
 P.O. BOX 335  
 CHESTERFIELD, MO 63006

**THE STAENBERG GROUP**  
 2127 INNERBELT BUSINESS CENTER DR.  
 SUITE 310  
 ST. LOUIS, MO 63114

PREPARED BY:  
**STOCK & ASSOCIATES**  
 Consulting Engineers, Inc.

287 Chesterfield Business Parkway  
 St. Louis, MO 63006  
 PH. (636) 590-9000  
 FAX (636) 590-9000  
 e-mail: general@stockassoc.com  
 Web: www.stockassoc.com

AMENDED SITE DEVELOPMENT SECTION PLAN FOR:  
**CHESTERFIELD ICE AND SPORTS COMPLEX**  
 ORD. 2974, ZONED: PC

CHESTERFIELD, MISSOURI



GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 000996

**REVISIONS:**

1	04-23-25 CITY COMMENTS
2	05-05-25 CITY COMMENTS

DATE:	03/25/2025	DATE:	2/5/2025
ISS. BY:		DATE:	17W2
SLC REF #:		DATE:	
REVISION #:	NO-00		

**SHEET TITLE:**  
 SITE DEVELOPMENT SECTION PLAN

**SHEET NO.:**  
 SDSP-1.1

DRAWN BY: Z.P.S. CHECKED BY: G.M.S.  
 DATE: 03/25/2025 JOB NO: 215-5542.9  
 ISS. BY: DATE: 17W2  
 SLC REF # DATE: HBT SUP. #  
 REVISION # NO-00  
 SHEET TITLE: SITE DEVELOPMENT SECTION PLAN  
 SHEET NO.: SDSP-1.1

Chesterfield Hockey Association, Inc., the owner of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of

STATE OF MISSOURI )  
COUNTY OF ST. LOUIS )

On this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2025, before me personally appeared

Section 03, \_\_\_\_\_ of City of Chesterfield (applicable subsection) \_\_\_\_\_ (present zoning)

Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or vacated or vacated by order of ordinance of the City of Chesterfield Council.

by: \_\_\_\_\_

Chesterfield Hockey Association, Inc.

(Officer of Corporation) \_\_\_\_\_, to me known, who, being by me sworn in, did say that he/she is the

(Title) \_\_\_\_\_ of \_\_\_\_\_ (Name of Corporation) a corporation in the State of \_\_\_\_\_, and that the

seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the

said \_\_\_\_\_ acknowledged said instrument to be the free act and deed of

(Officer of Corporation) \_\_\_\_\_ said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Notarial Seal at my Office in \_\_\_\_\_ (County and State) \_\_\_\_\_, the day and year last above written.

Notary Public

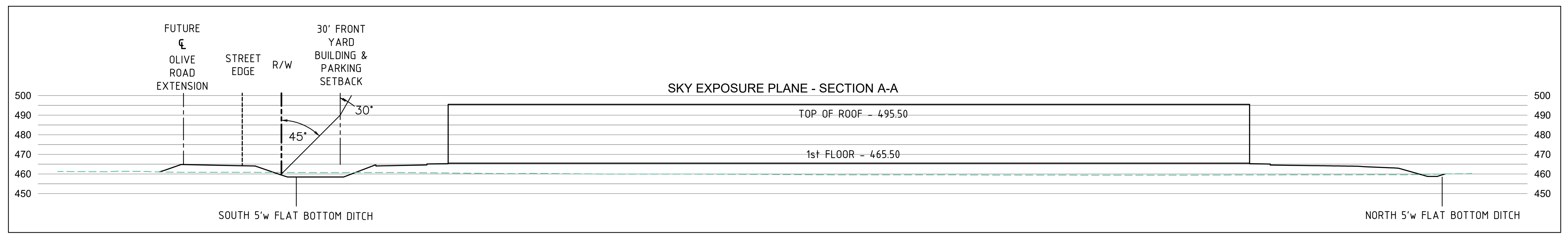
Print Name

My commission expires: \_\_\_\_\_

This Amended Site Development Section Plan was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, by the Chairperson of said Commission, authorizing the recording of this Amended Site Development Section Plan pursuant to Chesterfield Ordinance No. 200, as attested to by the Director of Planning and Development Services and the City Clerk.

By: Justin Wyse, Director of Planning and Development Services  
City of Chesterfield, MO

By: Vickie Hass, City Clerk  
City of Chesterfield, MO



BILL NO. 3165 ORDINANCE NO. 2974

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE CITY OF CHESTERFIELD BY CHANGING THE BOUNDARIES OF AN "M3" PLANNED INDUSTRIAL DISTRICT TO A "PC" PLANNED COMMERCIAL DISTRICT FOR A 17.85 ACRE TRACT OF LAND AT 18385 CHESTERFIELD AIRPORT ROAD, LOCATED NORTH OF CHESTERFIELD AIRPORT ROAD AND NORTHEAST OF ITS INTERSECTION WITH OLIVE STREET ROAD AND NORTHWEST OF ITS INTERSECTION WITH WINGS OF HOPE BOULEVARD. (P.Z. 09-2017 18385 CHESTERFIELD AIRPORT ROAD (CHESTERFIELD HOCKEY ASSOCIATION) 17W64008).

WHEREAS, the petitioner, Chesterfield Hockey Association, has requested a change in zoning from the "M3" Planned Industrial District to a "PC" Planned Commercial District for a 17.85 acre tract of land at 18385 Chesterfield Airport Road, located north of Chesterfield Airport Road and northeast of its intersection with Olive Street Road and northwest of its intersection with Wings of Hope Boulevard; and,

WHEREAS, a public hearing was held before the Planning Commission on July 10, 2017; and,

WHEREAS, the Planning Commission, having considered said request, recommended approval of the change of zoning with one amendment; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning request with one amendment; and,

WHEREAS, the City Council, having considered said request with one amendment by Planning and Public Works Committee, voted on September 18, 2017 to approve the change of zoning request with one amendment; and,

WHEREAS, the City Attorney on September 18, 2017 has recommended one amendment; and,

WHEREAS, the City Council, having considered said request with one amendment by the City Attorney voted on October 2, 2017 to approve the change of zoning request with one amendment.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by establishing a "PC" Planned Commercial District for a 17.85 acre tract of land located at 18385 Chesterfield Airport Road and as described as follows:

A TRACT OF LAND BEING PART OF LOT 3 OF THE "NICHOLAS MUELLER ESTATE" AS RECORDED IN PLAT BOOK 2, PAGE 25 AND LOCATED IN U.S. SURVEY 371 AND PART OF U.S. SURVEY 102, TOWNSHIP 45 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A STONE IN THE SOUTH LINE OF LOT 3 OF THE NICHOLAS MUELLER ESTATE, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2 PAGE 25 OF THE SAINT LOUIS COUNTY RECORDS, SAID POINT BEING THE SOUTHWEST CORNER OF PROPERTY CONVEYED TO GEMIEVIE E. SCHNARR, NORTH 12 DEGREES 15 MINUTES 59 SECONDS WEST, 823.42 FEET TO AN IRON ROD IN THE SOUTHERN LINE OF STATE HIGHWAY 40 (NOW KNOWN AS I-64) AS DESCRIBED IN CAUSE NO. 290860 OF THE CIRCUIT COURT OF SAINT LOUIS COUNTY, MISSOURI AND RECORDED IN DEED BOOK 6343, PAGE 824; THENCE ALONG SAID SOUTHERN LINE THE FOLLOWING: IN AN EASTERLY DIRECTION ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 3014.79 FEET, AN ARC LENGTH OF 682.52 FEET, THE CHORD OF WHICH BEARS SOUTH 77 DEGREES 28 MINUTES 50 SECONDS EAST, A CHORD DISTANCE OF 681.06 FEET TO AN IRON ROD; THENCE SOUTH 83 DEGREES 57 MINUTES 58 SECONDS EAST, 122.32 FEET TO AN IRON ROD; THENCE NORTH 12 DEGREES 11 MINUTES 22 SECONDS WEST, 10.53 FEET TO AN IRON ROD; THENCE SOUTH 83 DEGREES 57 MINUTES 58 SECONDS EAST, 722.60 FEET TO AN IRON ROD; THENCE LEAVING SAID SOUTHERN LINE SOUTH 12 DEGREES 01 MINUTES 29 SECONDS EAST, 270.42 FEET TO A POINT ON THE AFORESAID SOUTH LINE OF LOT 3; THENCE ALONG SAID SOUTH LINE OF LOT 3 SOUTH 77 DEGREES 51 MINUTES 00 SECONDS WEST, 1384.86 FEET TO A POINT; THENCE LEAVING SAID SOUTH LINE OF LOT 3 SOUTH 12 DEGREES 06 MINUTES 25 SECONDS EAST, 259.87 FEET TO AN IRON ROD ON THE NORTHERN LINE OF CHESTERFIELD AIRPORT ROAD, FORMERLY STATE HIGHWAY 40 T.R.; THENCE ALONG SAID NORTHERN LINE IN A WESTERLY DIRECTION ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 3901.54 FEET AN ARC LENGTH OF 114.13 FEET, THE CHORD OF WHICH BEARS NORTH 58 DEGREES 00 MINUTES 03 SECONDS WEST, A

CHORD DISTANCE OF 114.12 FEET TO AN IRON ROD; THENCE LEAVING SAID NORTHERN LINE NORTH 12 DEGREES 07 MINUTES 26 SECONDS WEST, 180.38 FEET TO A POINT OF BEGINNING AND CONTAINING 777,604 SQUARE FEET OR 17.851 ACRES MORE OR LESS AS PER A SURVEY BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC. DURING THE MONTH OF APRIL 2017.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Unified Development Code, is granted subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the "Attachment A" and the preliminary plan indicated as "Attachment B" which is attached hereto as and made part of.

Section 3. The City Council, pursuant to the petition filed by Chesterfield Hockey Association in P.Z. 09-2017, requesting the amendment embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 10th day of July 2017, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

Section 5. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this 2nd day of October, 2017.

Bob Nation, PRESIDENTIAL OFFICER  
Bob Nation, MAYOR

Vickie Hass, CITY CLERK  
FIRST READING HELD: 9/18/2017

P. Z. 09-2017 18385 Chesterfield Airport Road (Chesterfield Hockey Association) Planning Commission 8/14/2017 Planning & Public Works Committee 08/24/2017 City Council 09/18/2017 & 10/02/2017 Page 1 of 20

ATTACHMENT A

All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.

I. SPECIFIC CRITERIA

A. PERMITTED USES

- 1. The uses allowed in this "PC" Planned Commercial District shall be:
  - a. Animal grooming service
  - b. Art gallery
  - c. Art studio
  - d. Auditorium
  - e. Bakery
  - f. Banquet facility
  - g. Bar
  - h. Barber- or beauty shop
  - i. Bowling center
  - j. Brewpub
  - k. Coffee shop
  - l. College/university
  - m. Drugstore and pharmacy
  - n. Dry-cleaning establishment
  - o. Financial institution, no drive-through
  - p. Grocery, community
  - q. Grocery, neighborhood
  - r. Laundromat

P. Z. 09-2017 18385 Chesterfield Airport Road (Chesterfield Hockey Association) Planning Commission 8/14/2017 Planning & Public Works Committee 08/24/2017 City Council 09/18/2017 & 10/02/2017 Page 2 of 20

- s. Office - dental
  - t. Office - general
  - u. Office - medical
  - v. Recreation facility
  - w. Restaurant-fast-food
  - x. Restaurant-sit-down
  - y. Restaurant-take-out
  - z. Retail sales establishment-community
  - aa. Retail sales establishment-neighborhood
  - bb. Self-storage facility
  - cc. Specialized private school
  - dd. Theater, indoor
  - ee. Theater, outdoor
  - ff. Veterinary clinic
  - gg. Vocational school
  - hh. Vocational school with outdoor training
  - ii. Warehouse, general
2. All outdoor storage and / or outdoor sales activity shall be prohibited within this development.
3. All drive through uses shall be prohibited within this development.
4. Hours of Operation.
- a. Uses "m", "p", "q", "z", and "aa" listed above are considered retail uses and retail sales, with respect to those uses, will be subject to hours of operation from 6:00 AM to 11:00 PM. Hours of operation for said uses may be expanded for Thanksgiving Day and the day after Thanksgiving upon review and approval of a Special Activities Permit, signed by the property owner and submitted to

P. Z. 09-2017 18385 Chesterfield Airport Road (Chesterfield Hockey Association) Planning Commission 8/14/2017 Planning & Public Works Committee 08/24/2017 City Council 09/18/2017 & 10/02/2017 Page 3 of 20

the City of Chesterfield at least seven (7) business days in advance of said holiday.

B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

- 1. Height
  - a. The maximum height of the building, exclusive of roof screening, shall not exceed forty-five (45) feet.
- 2. Building Requirements
  - a. A minimum of thirty-five percent (35%) openspace is required for each lot within this development.
  - b. This development shall have a maximum F.A.R. of 0.55.

C. SETBACKS

- 1. Structure Setbacks
  - No building or structure, other than a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:
    - a. Thirty (30) feet from the southern boundary of this district.
    - b. Thirty (30) feet from the northern boundary of this district.
    - c. Thirty (30) feet from the eastern boundary of this district.
    - d. Ten (10) feet from the western boundary of this district.
    - e. Ten (10) feet from the interior boundary lines within this district.
- 2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Thirty (30) feet from the southern boundary of this district.
- b. Thirty (30) feet from the northern boundary of this district.
- c. Thirty (30) feet from the eastern boundary of this district.

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- d. Ten (10) feet from the western boundary of this district.
- e. Zero (0) feet from the interior boundary lines within this district.

D. PARKING AND LOADING REQUIREMENTS

- 1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
- 2. No construction related parking shall be permitted within right of way or any existing roadways. All construction related parking shall be confined to the development.
- 3. Parking lots shall not be used as streets.

E. LANDSCAPE AND TREE REQUIREMENTS

The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.

F. SIGN REQUIREMENTS

- 1. Signs shall be permitted in accordance with the regulations of the City of Chesterfield Code or a Sign Package may be submitted for the particular district. Sign Packages shall adhere to the City Code.
- 2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Transportation (MoDOT), for sight distance considerations prior to installation or construction.

G. LIGHT REQUIREMENTS

- 1. Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.
- 2. Street lights shall be provided along the proposed Olive Street Road in accordance with the City of Chesterfield Unified Development Code and as directed by the City of Chesterfield.

H. ARCHITECTURAL

- 1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Unified Development Code.

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- 2. Trash enclosures: All exterior trash areas will be enclosed with a minimum six (6) foot high sight-proof enclosure complemented by adequate landscaping. The location, material, and elevation of any trash enclosures will be as approved by the City of Chesterfield on the Site Development Plan.

I. ACCESS/ACCESS MANAGEMENT

- 1. Access to the development shall be as shown on the Preliminary Site Plan attached hereto as Attachment "B" and adequate sight distance shall be provided, as directed by the City of Chesterfield, the Missouri Department of Transportation and St. Louis County Department of Transportation, as applicable.
- 2. If adequate sight distance cannot be provided at the access location(s), acquisition of right of way, reconstruction of pavement and other off-site improvements may be required to provide the required sight distance as required by the City of Chesterfield and the agency in control of the right of way off which the access is proposed.
- 3. Access to this development from Chesterfield Airport Road shall be as directed by the Saint Louis County Department of Transportation. Cross-access easements shall be provided as necessary to allow for access through the adjacent property to Chesterfield Airport Road.
- 4. Provide cross-access easements as needed to the parcels to the south, east, and to the west as directed by the City of Chesterfield.
- 5. If any public roads are proposed within this development, the roads shall be designed to meet the current American Association of State and Highway Transportation Officials (AASHTO) Manual requirements and as directed by the Saint Louis County Department of Transportation.
- 6. Installation of landscaping and ornamental entrance monument or identification signage construction shall be reviewed by the Saint Louis County Department of Transportation for sight distance consideration and approved prior to installation or construction.
- 7. Upon connection of the Olive Street Road extension from Chesterfield Airport Road to the west, to Spirit of St. Louis Blvd to the east, the interim access road connecting to the development to the south shall be restricted at either its northern (south side of the new Olive Street

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Road extension) or southern (north side of Chesterfield Airport Road) access point.

J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION

- 1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield and the agency in control of the right of way off of which the entrance is constructed. No gate installation will be permitted on public right of way.
- 2. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.
- 3. Provide street connections to the adjoining properties as directed by the City of Chesterfield. Stub street signage, in conformance with Article 04-09 of the Unified Development Code of the City of Chesterfield, shall be posted within thirty (30) days of the street pavement being placed.
- 4. Provide a five (5) foot wide sidewalk, conforming to ADA standards, along all frontages of the site. The sidewalk shall provide for future connectivity to adjacent developments and/or roadway projects. The sidewalk may be located within right of way controlled by another agency, if permitted by that agency or on private property within a six (6) foot wide sidewalk, maintenance and utility easement dedicated to the City of Chesterfield.
- 5. Obtain approvals from the City of Chesterfield, St. Louis County Department of Transportation, and the Missouri Department of Transportation and other entities as necessary for locations of proposed curb cuts and access points, areas of new dedication, and roadway improvements.
- 6. Additional right of way and road improvements shall be provided, as required by the Missouri Department of Transportation, St. Louis County Department of Transportation, and the City of Chesterfield.
- 7. Any work within MoDOT's right of way will require a MoDOT permit.
- 8. The petitioner shall provide adequate detention and / or hydraulic calculations for review and approval of all storm water that will affect MoDOT right of way.

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- 9. All proposed work in MoDOT right of way must comply with MoDOT standards, specifications, conform to MoDOT's Access Management Guidelines with detailed construction plans being received and approved by MoDOT.
- 10. Due to the close proximity to Interstate 64, sound mitigation is the responsibility of the owner/developer. MoDOT will not provide any noise mitigation measures for this development.
- 11. Prior to Special Use Permit issuance by the Saint Louis County Department of Transportation, a special cash escrow or a special escrow supported by an Irrevocable Letter of Credit, must be established with the Saint Louis County Department of Transportation to guarantee completion of the required roadway improvements.
- 12. Provide adequate temporary off-street parking for construction employees. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
- 13. The Olive Street Road extension shall be extended throughout the property as directed by the City of Chesterfield and Saint Louis County Department of Transportation. The typical section of the roadway to be constructed or escrowed, as directed by the Saint Louis County Department of Transportation, shall closely follow the Saint Louis County Standard Drawing C203.68. The right-of-way dedicated shall reflect the potential for a five (5) lane expansion per St. Louis County Standard Drawing C203.66 along with any easement required for future traffic control installations.

K. TRAFFIC STUDY

- 1. Provide a traffic study as directed by the City of Chesterfield and/or St. Louis County Department of Transportation. The developer's additional road improvement obligation and traffic signal improvements shall be as determined by the approved study. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometries, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density

PREPARED FOR: CHESTERFIELD HOCKEY ASSOCIATION, INC. THE STAENBERG GROUP 2127 INNERBELT BUSINESS CENTER DR. SUITE 310 ST. LOUIS, MO 63114

PREPARED BY: STOCK & ASSOCIATES Consulting Engineers, Inc.

SITE DEVELOPMENT SECTION PLAN FOR: CHESTERFIELD ICE AND SPORTS COMPLEX ORD. 2974, ZONED: PC CHESTERFIELD, MISSOURI



GEORGE M. STOCK E-25116 CIVIL ENGINEER CERTIFICATE OF AUTHORITY NUMBER: 000996

REVISIONS:

NO.	DATE	DESCRIPTION
1	04-23-25	CITY COMMENTS
2	05-05-25	CITY COMMENTS

SHEET NO.: MO-00

DETAILS & ORDINANCE

SHEET TITLE: SDSP-2.0

- assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.
2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto public right of way. If adequate sight distance cannot be provided at the access location, acquisition of right of way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Missouri Department of Transportation.

**L. POWER OF REVIEW**

Either Councilmember of the Ward where a development is proposed or the Mayor may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereof.

**M. STORM WATER**

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential development or issuance of building permits exceeding sixty percent (60%) of approved dwelling units in each plot, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on the Site Development Plan(s).
3. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by the City of Chesterfield.

- least one (1) foot above the base flood elevation. Consult Article 5 of the Unified Development Code for specific requirements.
8. Streetlights shall be required along public right of way frontage.
  9. The developer is advised that utility companies will require compensation for relocation of their facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.

**II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS**

- A. The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.**
- B. In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.**
- C. Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.**
- D. Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.**
- E. Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.**
- III. COMMENCEMENT OF CONSTRUCTION**
- A. Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.**
- B. Where due cause is shown by the developer, the City Council may extend the period to commence construction for two (2) additional years.**

4. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
5. The lowest opening of all structures shall be set at least two (2) feet higher than the one hundred (100) year high water elevation in detention/retention facilities. All structures shall be set at least thirty (30) feet horizontally from the limits of the one hundred (100) year high water.
6. Locations of site features such as inlets and detention ponds must be approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.
7. The developer shall be responsible for construction of any required storm water improvements per the Chesterfield Valley Master Storm Water Plan, as applicable, and shall coordinate with the owners of the properties affected by construction of the required improvements. In the event that the ultimate required improvements cannot be constructed concurrently with this development, the developer shall provide interim drainage facilities and establish sufficient escrows as guarantee of future construction of the required improvements, including removal of interim facilities. Interim facilities shall be sized to handle runoff from the 100-year, 24-hour storm event as produced by the Master Storm Water Plan model. The interim facilities shall provide positive drainage and may include a temporary pump station, if necessary. Interim facilities shall be removed promptly after the permanent storm water improvements are constructed.
8. The developer may elect to propose alternate geometry, size and/or type of storm water improvements that are functionally equivalent to the required improvements per the Chesterfield Valley Master Storm Water Plan. Functional equivalence is said to be achieved when, as determined by the Director of Public Works, the alternate proposal provides the same hydraulic function, connectivity, and system-wide benefits without adversely affecting any of the following: water surface profiles at any location outside the development; future capital expenditures; maintenance obligations; equipment needs; frequency of maintenance; and probability of malfunction. The City will consider, but is not obligated to accept, the developer's alternate plans. If the Director of Public Works determines that the developer's proposal may be functionally equivalent to the Chesterfield Valley Master Storm Water Plan improvements, hydraulic routing calculations will be performed to make a final determination of

- IV. GENERAL CRITERIA**
- A. SITE DEVELOPMENT CONCEPT PLAN**
1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.
  2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and collector roadways.
  3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.
  4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Transportation, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
  5. Compliance with the current Metropolitan St. Louis Sewer District Site Guidance as adopted by the City of Chesterfield.
- B. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS**
- The Site Development Plan shall include, but not be limited to, the following:
1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
  2. Outboundary plat and legal description of property.
  3. Density calculations.
  4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
  5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
  6. Provide Floor Area Ratio (F.A.R.).
  7. A note indicating all utilities will be installed underground.

- functional equivalence. The Director will consider the developer's proposal, but is not obligated to have the hydraulic analysis performed if any of the other criteria regarding functional equivalence will not be met. The hydraulic routing calculations regarding functional equivalence may be performed by a consultant retained by the City of Chesterfield. The developer shall be responsible for all costs related to consideration of an alternate proposal, which shall include any costs related to work performed by the consultant.
9. The developer shall provide all necessary Chesterfield Valley Storm Water Easements to accommodate future construction of the Chesterfield Valley Master Storm Water Plan improvements, and depict any and all Chesterfield Valley Master Storm Water Plan improvements on the Site Development Plan(s) and Improvement Plans. Maintenance of the required storm water improvements shall be the responsibility of the property owner unless otherwise noted.
  10. All Chesterfield Valley Master Storm Water Plan improvements, as applicable, shall be operational prior to the paving of any driveways or parking areas unless otherwise approved.
  11. The proposed development is within 1,000 feet of the levee. Design plans and construction documents shall be submitted to the Monarch-Chesterfield Levee District for review. All site improvements are subject to review and approval by the St. Louis District Corps of Engineers. That determination is made by the Corps of Engineers.
  12. Formal MSD review, approval, and permits are required prior to construction. Approval from the Monarch Chesterfield Levee District indicating that the final plans conform to their master conveyance plan will be required prior to formal MSD plan approval.
  13. Post Construction Best Management Practices (BMPs) are required to treat the extents of the project's disturbed area. Areas appear to be identified on the plan for BMPs, however the actual types of BMPs to be utilized are not indicated. As a new development site, BMPs with a volume reduction component (such as bio-retention, pervious pavements, etc.) are necessary. It is recommended that geotechnical investigation be conducted in order to determine the depth to the seasonal high water table and alluvial sand layer, as these two factors will influence BMP design and performance. MSD will review and comment on the details of these facilities during formal plan review.

8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.
19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.

- This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:
- | Type of Development | Required Contribution  |
|---------------------|------------------------|
| Recreational Uses   | \$524.92/parking space |
| General Office      | \$759.58/parking space |
| General Retail      | \$2,278/parking space  |
- If types of development differ from those listed, St. Louis County Department of Transportation will provide rates.
- If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as a part of this development is mandatory.
- Allowable credits for required roadway improvements will be awarded as directed by the St. Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.
- B. As this development is located within a trust fund area established by Saint Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development shall be retained in the appropriate trust fund.**
- C. Road Improvement Traffic Generation Assessment contributions shall be deposited with Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide the Traffic Generation Assessment contribution prior to the issuance of building permits for each phase of development. Funds shall be payable to Treasurer, Saint Louis County.**
- D. The amount of all required contributions for roadway, storm water and primary water line improvements, if not submitted by January 1, 2018, shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.**
- E. WATER MAIN**

14. The project is located within the Caulks Creek Impact area, and subject to the Caulks Creek Surcharge. The surcharge will be assessed and collected during formal plan review.
- N. SANITARY SEWER**
1. Sanitary Sewers shall be as approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.
  2. Sanitary service is shown on the plan and is proposed to connect to the Valley Village Pump Station. That pump station's capacity will need to be evaluated by the developer's engineering consultant during formal plan review to assess its ability to accommodate this development as well as the properties it already serves. Upgrades to the pump station and/or additional storage will be required if the development cannot be served within its current level of service. Additional offsite easements may be necessary if warranted improvements cannot be accomplished within the limits of existing easements.
- O. GEOTECHNICAL REPORT**
- Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the City of Chesterfield. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.
- P. MISCELLANEOUS**
1. All utilities will be installed underground.
  2. Public art work shall be provided and installed by the Developer in this development. General areas where public art may be placed shall be indicated on the appropriate Site Development Plan. The specific details for the public art, such as location, size, placement, type, etc., shall be approved by the City of Chesterfield.
  3. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.

21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
  22. Compliance with Sky Exposure Plane.
  23. Compliance with the current Metropolitan St. Louis Sewer District Site Guidance as adopted by the City of Chesterfield.
- C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS**
- The Site Development Section Plan shall adhere to the above criteria and to the following:
1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
  2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
  3. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
  4. Provide Floor Area Ratio (F.A.R.).
  5. A note indicating all utilities will be installed underground.
  6. A note indicating signage approval is separate process.
  7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
  8. Specific structure and parking setbacks along all roadways and property lines.
  9. Indicate location of all existing and proposed freestanding monument signs.
  10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
  11. Floodplain boundaries.

- The primary water line contribution is based on gross acreage of the development land area. The contribution shall be a sum of \$916.64 per acre for the total area as approved on the Site Development Plan to be used solely to help defray the cost of constructing the primary water line serving the Chesterfield Valley area.
- The primary water line contribution shall be deposited with the Saint Louis County Department of Transportation. The deposit shall be made before Saint Louis County approval of the Site Development Plan unless otherwise directed by the Saint Louis County Department of Transportation. Funds shall be payable to Treasurer, Saint Louis County.
- F. STORM WATER**
- The storm water contribution is based on gross acreage of the development land area. These funds are necessary to help defray the cost of engineering and construction improvements for the collection and disposal of storm water from the Chesterfield Valley in accordance with the Master Plan on file with and jointly approved by Saint Louis County and the Metropolitan St. Louis Sewer District. The amount of the storm water contribution will be computed based on \$2,907.99 per acre for the total area as approved on the Site Development Plan.
- The storm water contributions to the Trust Fund shall be deposited with the Saint Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by Saint Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. Funds shall be payable to Treasurer, Saint Louis County.
- G. SANITARY SEWER**
1. The sanitary sewer contribution is collected as the Caulks Creek impact fee.
  2. The sanitary sewer contribution within Chesterfield Valley area shall be deposited with the Metropolitan St. Louis Sewer District as required by the District.
- H. RECORDING**
- Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County

4. Road improvements and right of way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right of way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and Saint Louis County Department of Transportation. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.
  5. Prior to record plat approval, the developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the out boundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the United States Public Land Survey Corners, as necessary.
  6. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.
  7. If any development of, or alteration of, the floodplain is proposed, the developer shall submit a Floodplain Study and Floodplain Development Permit/Application to the City of Chesterfield for approval. The Floodplain Study must be approved by the City of Chesterfield prior to approval of the Site Development Plan, as directed. The Floodplain Development Permit must be approved prior to the approval of a grading permit or improvement plans. If any change in the location of the Special Flood Hazard Area is proposed, the Developer shall be required to obtain a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency. The LOMR must be issued by FEMA prior to the final release of any escrow held by the City of Chesterfield for improvements in the development. Easement Certificates will be required for any structures within the Special Flood Hazard Area or the Supplemental Protection Area. All new roads within and adjacent to this site shall be constructed at least one (1) foot above the base flood elevation of the Special Flood Hazard Area. Improvements to existing roadways shall be required as necessary to provide at least one access route to each lot that is at
12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
  13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site as existing or proposed off-site easements and rights-of-way required for proposed improvements.
  14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
  15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
  16. Address trees and landscaping in accordance with the City of Chesterfield Code.
  17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
  18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
  19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Highways and Traffic, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
  20. Compliance with Sky Exposure Plane.
  21. Compliance with the current Metropolitan St. Louis Sewer District Site Guidance as adopted by the City of Chesterfield.

- V. TRUST FUND CONTRIBUTION**
- A. The developer shall be required to contribute a Traffic Generation Assessment contribution to the Chesterfield Valley Trust Fund (No. 556).**

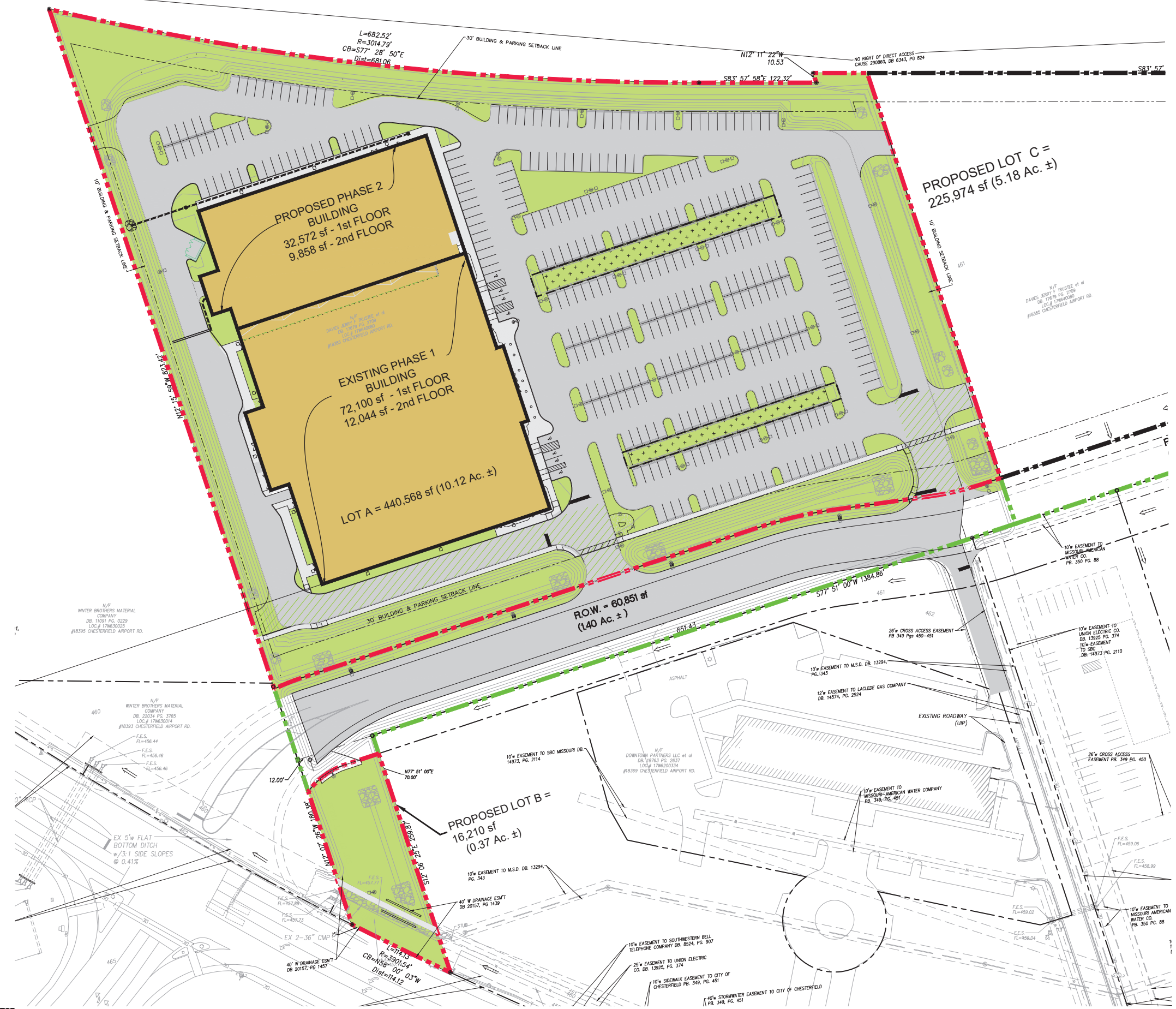
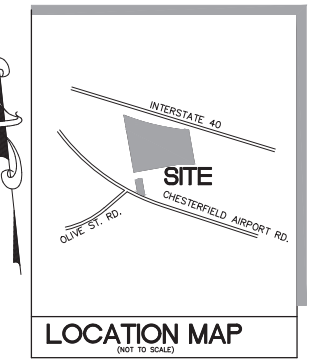
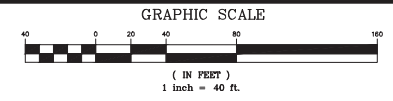
- Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.
- I. ENFORCEMENT**
1. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
  2. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
  3. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
  4. Waiver of Notice of Violation per the City of Chesterfield Code.
  5. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.



GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000996

REVISIONS:

#	DATE	DESCRIPTION
1	04-23-25	CITY COMMENTS
2	05-05-25	CITY COMMENTS



PREPARED BY:  
**STOCK & ASSOCIATES**  
 Consulting Engineers, Inc.  
 257 Chesterfield Business Parkway  
 St. Louis, MO 63105  
 P: (636) 532-4100  
 F: (636) 532-4100  
 e-mail: general@stockinc.com  
 Web: www.stockinc.com

SITE DEVELOPMENT SECTION PLAN FOR:  
**CHESTERFIELD ICE AND SPORTS COMPLEX**  
**ORD. 2974, ZONED: PC**  
 CHESTERFIELD, MISSOURI



GEORGE M. STOCK E-25116  
 CIVIL ENGINEER  
 CERTIFICATE OF AUTHORITY  
 NUMBER: 000966

REVISIONS:

DATE	BY	DESCRIPTION
03/25/2025	Z.P.S.	DATE
		BY
		DESCRIPTION

DATE: 03/25/2025  
 BY: Z.P.S.  
 DESCRIPTION: DATE, BY, DESCRIPTION

SHEET TITLE:  
**SITE PLAN**  
 SHEET NO.:  
 1.0

PREPARED FOR:  
 CHESTERFIELD HOCKEY ASSOCIATION, INC.  
 2199 INNERBELT BUSINESS CENTER  
 OVERLAND, MO 63114

THE STAENBERG GROUP  
 2127 INNERBELT BUSINESS CENTER DR.  
 SUITE 310  
 ST. LOUIS, MO 63114



## Architectural Statement of Design

### Maryville University Hockey Center – Addition

#### Chesterfield, Missouri

#### **Project Overview:**

The goal of this project is two-fold. To provide the Maryville University Hockey team with additional locker rooms, training facilities, and other amenities; and to add a third rink for the Chesterfield Hockey Association. This will help increase ice team for local sports teams and the general public.

In 2026, the Maryville University Hockey Team will compete in NCAA Division 1 with other elite college teams all over the country. Maryville's amenities building will provide new, dedicated locker rooms for the D1 team, a training area, study spaces, coaches offices, a press booth, and a recruiting lounge to assist with acquiring new players.

The addition of the third rink will include the new rink, an added Zamboni area, and space for additional offices, storage, and locker rooms. The third rink will be a practice rink and will not include bleachers or seating.

#### **Statement of Design:**

##### **Building:**

The scale of the new facility will complement the scale of the existing building. Maintaining the appropriate clearances to play hockey in the rink area, and allowing for two stories of usable space elsewhere. The goal of the new addition is to create a new entry point and offset the existing building's symmetrical design, while still matching the style and materials of existing building.

##### **Design:**

The main envelope structure of the building is a 14" insulated tilt-up concrete panel, along with a TPO roof on metal deck. The new entry is along the main (eastern) façade at the northern point of the existing building. It announces itself with a new steel entry canopy (black), and it

further announces itself by breaking the pattern of façade materials with dark metal panels. The surrounding spaces will include new veneer brick, storefronts, and concrete tilt-up panels with finishes that match the existing building.

### **Phasing:**

The goal is for both the Maryville D1 Amenities building and the Chesterfield Hockey Association's Third Rink buildings to be built at the same time. However; in the event of only getting appropriate funding for the Maryville building, the northern façade will be designed in a way to mimic the overall look of the rest of the building, but will be built with less permanent materials. The northern façade wall (See exterior elevations) will be a 1-hour fire rated structural CMU wall. This wall will then be clad with fine-texture EIFS, with the intent of being able to remove this cladding with little effort in the future, when the rink is able to be built.

The EIFS will be built-up to create similar reveals as the form liner in the tilt-up concrete walls. It will also have V-grooves to mimic the joints between panels, and it will be painted to match the veneer brick and the tilt-up concrete.

As this is a side-elevation for most patrons of the building & it will be mostly visible from I-64 / 40, this will look indistinguishable from the rest of the building, and will fit the context well.

### **Landscape:**

The landscaping was originally planned in association with the proposed development as required by the City of Chesterfield. A 30' landscape buffer is provided along I 64 and Olive Street Road Extension and is planted with a mix of canopy, ornamental, and evergreen trees. Additional a mix of canopy, ornamental, evergreen, and deciduous shrubs and flowering plants are planted on site to ensure seasonal color and interest.

Michael Chiodini  
Chiodini Architects  
Programming | Planning | Architecture | Interiors | Graphics  
1401 South Brentwood Blvd. | Studio 575  
St. Louis, Missouri 63144 | 314.725.5588

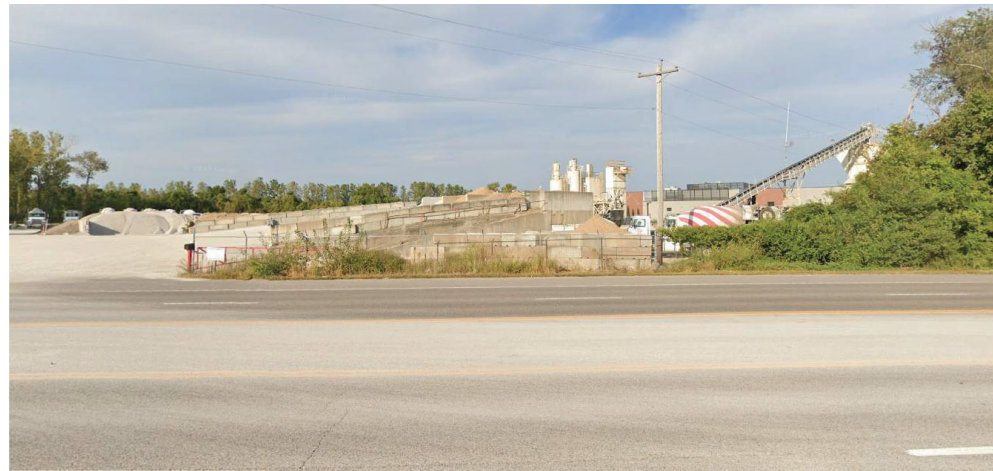


VIEW FROM INTERSTATE 64 / 40



VIEW OF EXISTING BUILDING FROM PARKING LOT

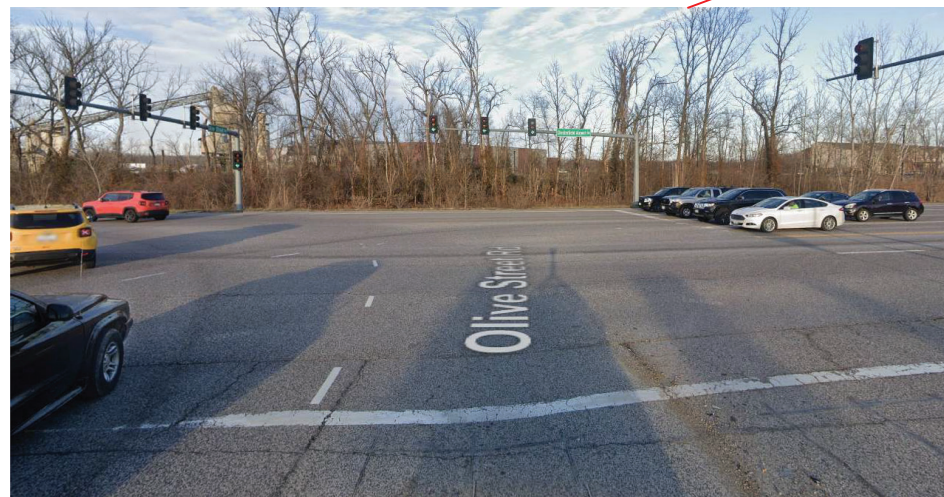
LOCATION OF NEW BUILDING



VIEW FROM ADJACENT PROPERTY TO THE WEST



PROPERTY LINE



VIEW FROM INTERSECTION AT OLIVE STREET ROAD AND CHESTERFIELD AIRPORT ROAD



VIEW OF ADJACENT PROPERTY TO THE SOUTH

THE ARCHITECT EXPRESSLY RESERVES HIS COMMON LAW AND STATUTORY LAW COPYRIGHTS AND OTHER PROPERTY RIGHTS FOR THESE ARCHITECTURAL, ENGINEERING AND TECHNICAL DOCUMENTS AND ANY DERIVATIVES THEREOF. THESE DRAWINGS AND DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WHATSOEVER FOR ANY USE WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF LOUIS C. CHIODINI. CHIODINI ASSOCIATES, INC. ARE NOT TO BE ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING HIS WRITTEN PERMISSION AND CONSENT.

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REVISIONS:

NO.	DESCRIPTION	DATE

Project Number: 2018.007

Date:

Drawn By:

**SITE SUMMARY**

**PARKING**

PROVIDED PARKING	388 SPACES
STANDARD	380 SPACES
ADA SPACES	8 SPACES
REQUIRED PARKING	
MAX CODE REQ'D	570 SPACES
MIN CODE REQ'D	418 SPACES
SHORTFALL	30 SPACES (7.2%)

SITE ACREAGE: 10.49 ACRES

LOCATOR NUMBER 17W640080

**BUILDING SIZE**

EXISTING BUILDING	
FIRST FL	72,100 SF
SECOND FL	12,044 SF
TOTAL	84,144 SF

**MARYVILLE AMENITIES**

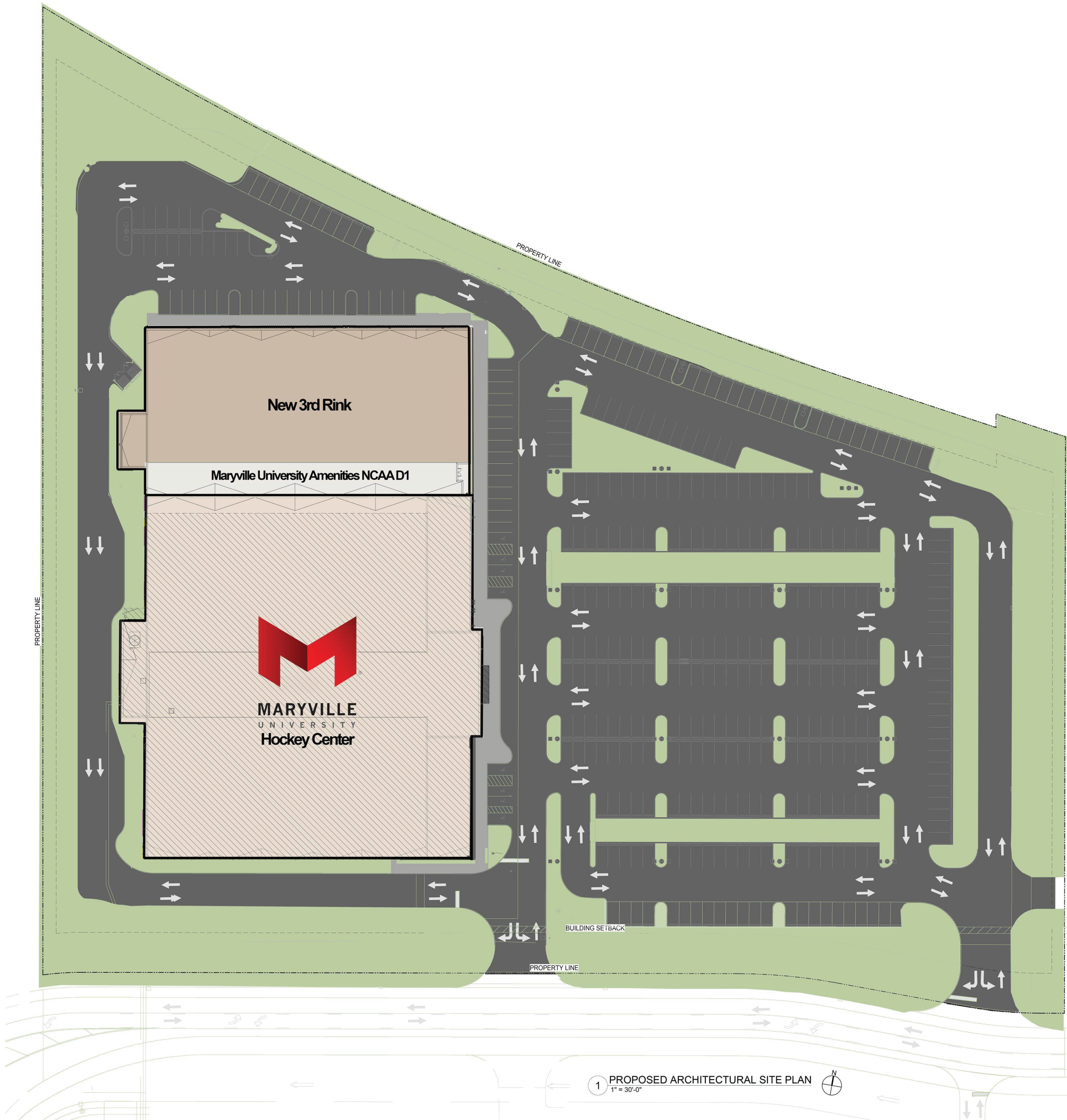
FIRST FL	6,472 SF
SECOND FL	6,472 SF
TOTAL	12,944 SF

**CHESTERFIELD HOCKEY 3RD RINK**

FIRST FL	26,100 SF
SECOND FL	3,386 SF
TOTAL	29,486 SF

**TOTAL BUILDING**

FIRST FL	104,672 SF
SECOND FL	21,902 SF
TOTAL	126,574 SF



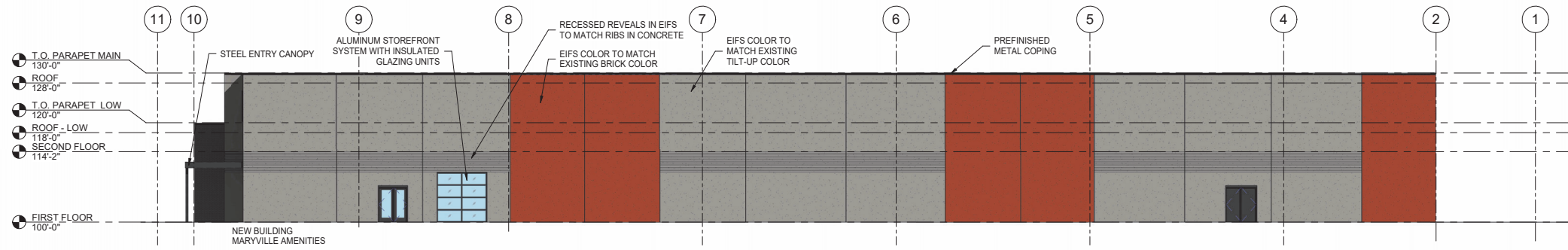
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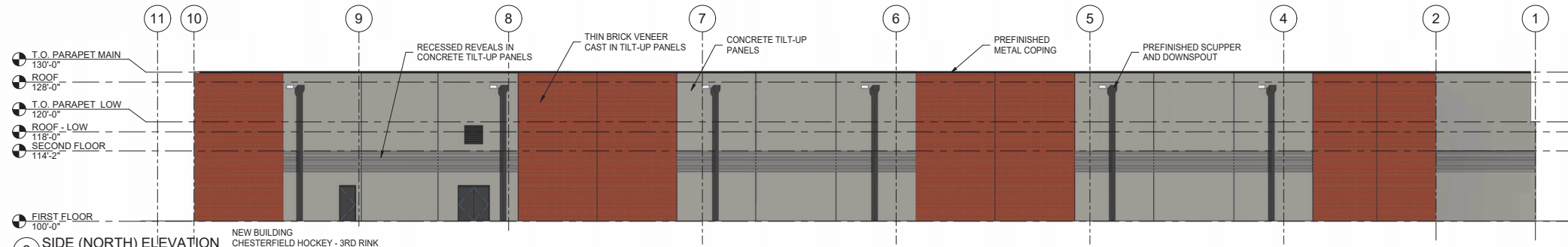
REVISIONS:


Project Number: 2018.007  
Date:  
Drawn By:

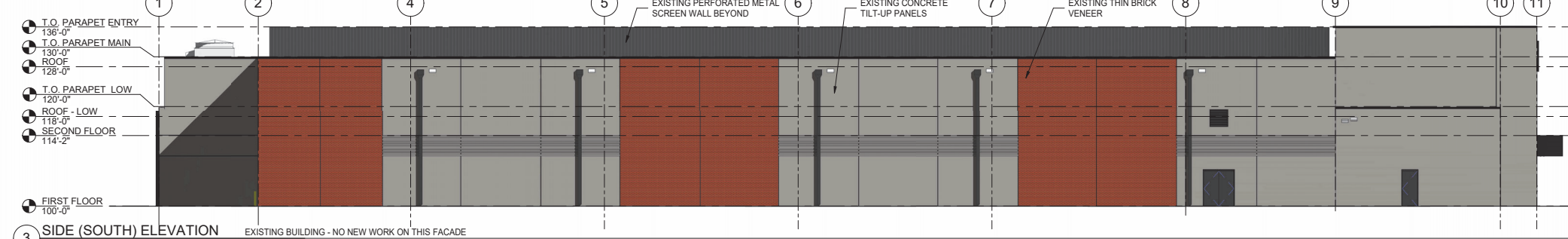
1 PROPOSED ARCHITECTURAL SITE PLAN  
1" = 30'-0"



1 SIDE (NORTH) ELEVATION - MARYVILLE AMENITIES BUILDING ONLY  
3/32" = 1'-0"

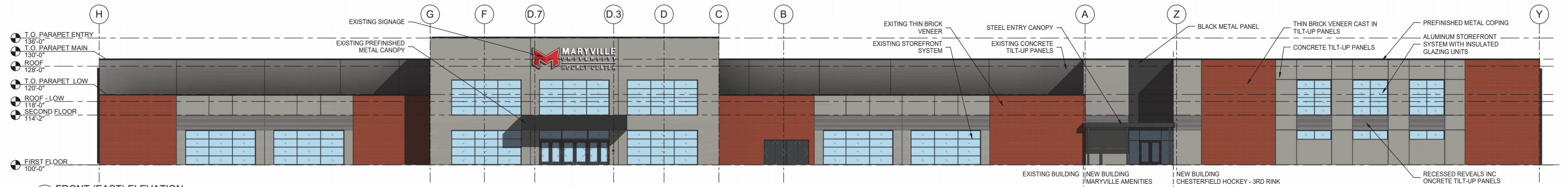


2 SIDE (NORTH) ELEVATION  
3/32" = 1'-0"

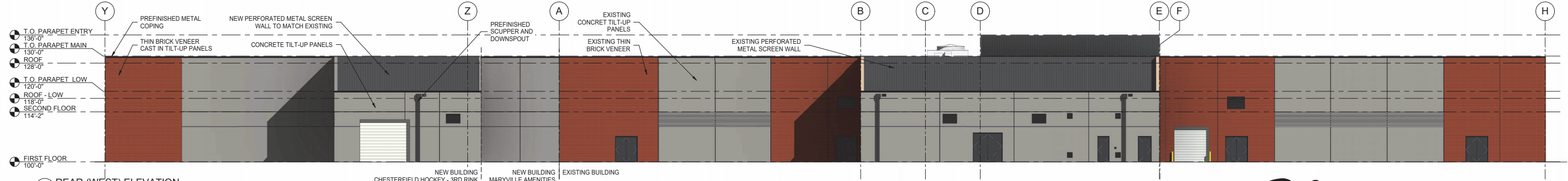


3 SIDE (SOUTH) ELEVATION  
3/32" = 1'-0"

- GENERAL EXTERIOR ELEVATION NOTES**
- A. COORDINATE ALL GRADES WITH CIVIL DRAWINGS. NO CONCRETE FOUNDATIONS ARE TO BE VISIBLE ABOVE FINISH GRADE. ONLY FINISH MATERIALS. G.C. TO FIELD VERIFY ALL GRADES AT BUILDING AND BRICK SHELF ELEVATION.
  - B. FOR DOOR SCHEDULE AND FRAME ELEVATIONS, REFER TO A700 SERIES SHEETS.
- EXTERIOR FINISH MATERIAL LEGEND**
- CONC1 - TILT-UP CONCRETE PANELS  
PAINTED SHERWIN WILLIAMS #718 DOVETAIL - TO MATCH EXISTING
  - CONC2 - REVEALS IN TILT-UP CONCRETE PANELS  
FORMALNER REVEALS IN CONCRETE TILT-UP PANEL (RE: DETAIL AND SPEC)
  - BF1 - THIN BRICK VENEER  
RUNNING BOND, 4x12 (UTILITY SIZE) BRICK VENEER CAST IN TILT-UP PANELS ENDICOTT RED IRONSPOT (UTILITY SIZE) THIN BRICK - TO MATCH EXISTING
  - MP1 - METAL PANEL CANOPY  
COMPOSITE METAL PANEL SYSTEM (ACM) - BLACK ANODIZED (RE: SPEC)
  - MP2 - METAL PANEL SCREEN WALL  
PERFORATED BLACK ANODIZED ALUMINUM PANEL (40% PERF)
  - MP3 - PREFINISHED METAL COPING  
PREFINISHED ALUMINUM COPING SYSTEM IN BLACK ANODIZED (RE: SPEC)
  - MP4 - PREFINISHED SCUPPER/DOWNSPOUT  
PREFINISHED ALUMINUM SCUPPER AND DOWNSPOUT SYSTEM IN BLACK ANODIZED ALUMINUM (RE: SPEC)
  - SF1 - ALUMINUM STOREFRONT SYSTEM  
THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING SYSTEM IN BLACK ANODIZED ALUMINUM (RE: FRAME ELEVATIONS AND SPEC)
  - GL1 - GLAZING  
1" INSULATED GLAZING UNIT LOW-E REFLECTIVE GLASS THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING SYSTEM (RE: FRAME ELEVATIONS AND SPEC)
  - EIFS1 - EXTERIOR INSULATION FINISHING SYSTEM  
2" FINE TEXTURE EIFS OVER STRUCTURAL CMU WALL COLOR TO MATCH SHERWIN WILLIAMS #718 DOVETAIL
  - EIFS2 - EXTERIOR INSULATION FINISHING SYSTEM  
2" FINE TEXTURE EIFS OVER STRUCTURAL CMU WALL COLOR TO MATCH RED IRONSPOT BRICK COLOR



4 FRONT (EAST) ELEVATION  
3/32" = 1'-0"



5 REAR (WEST) ELEVATION  
3/32" = 1'-0"

**EXTERIOR ELEVATIONS**  
**MARYVILLE UNIVERSITY HOCKEY CENTER - ADDITION**  
 18383 CHESTERFIELD AIRPORT ROAD  
 CHESTERFIELD, MISSOURI

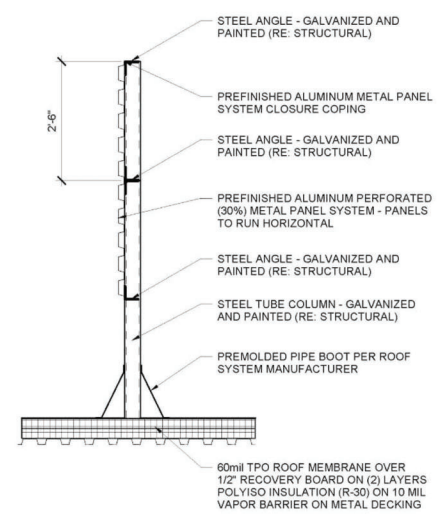




3D MODEL - NORTHEAST CORNER



EXTERIOR ENTRY - THIRD RINK AND AMENITIES BUILDING



PROPOSED MECHANICAL SCREEN WALL DETAIL



EXTERIOR ENTRY - AMENITIES BUILDING ONLY

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REVISIONS:


Project Number: 2018.007  
Date: \_\_\_\_\_  
Drawn By: \_\_\_\_\_

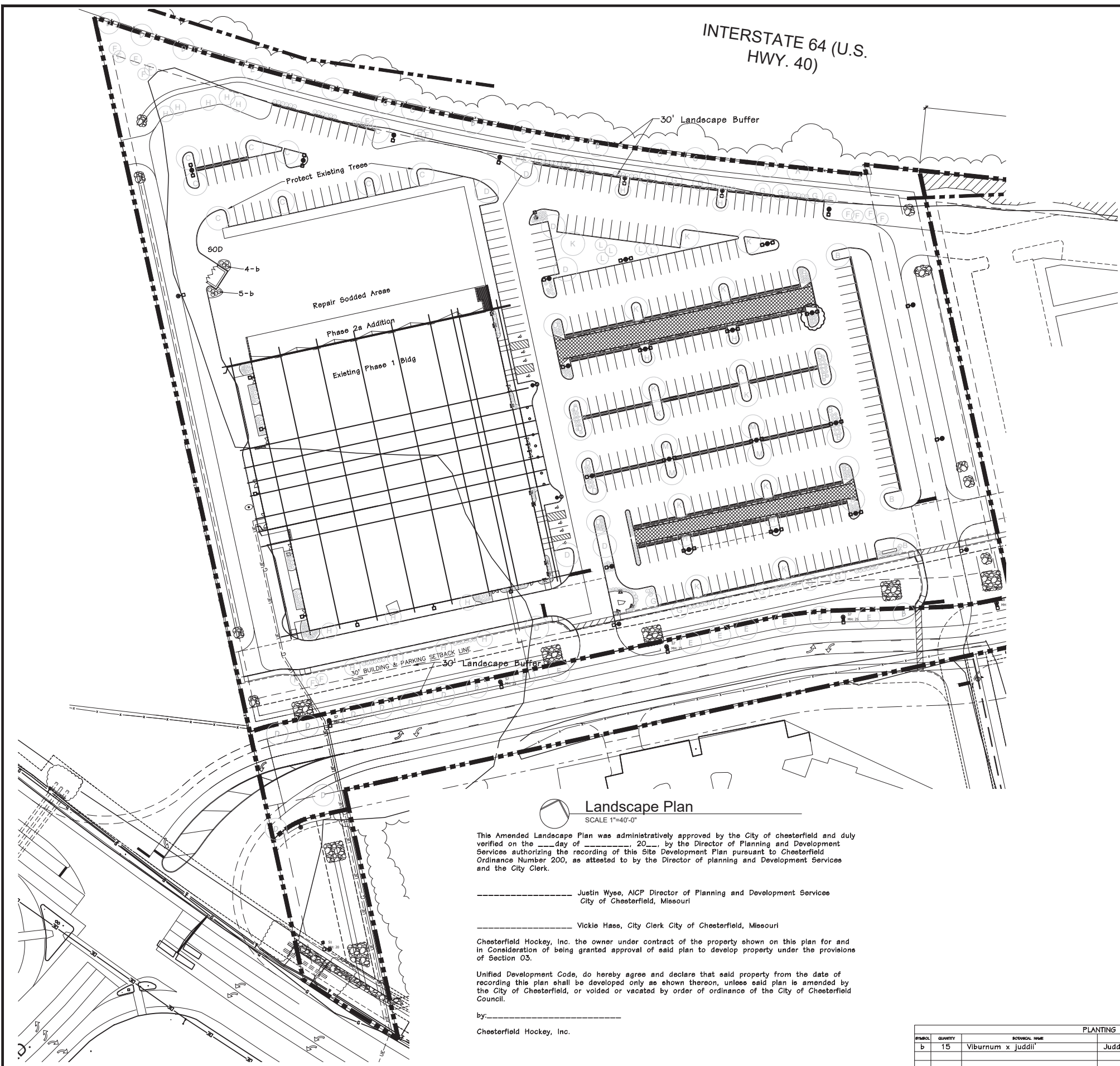


Douglas A. DeLong, Landscape Architect LA-81  
4/21/2025

Consultants:

**Chesterfield Ice and Sports Complex**  
**Ord. 2974, Zoned: PC**

Chesterfield, Missouri



**Landscape Plan**  
SCALE 1"=40'-0"

This Amended Landscape Plan was administratively approved by the City of Chesterfield and duly verified on the \_\_\_ day of \_\_\_\_\_, 20\_\_\_, by the Director of Planning and Development Services authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of planning and Development Services and the City Clerk.

Justin Wye, AICP Director of Planning and Development Services  
City of Chesterfield, Missouri

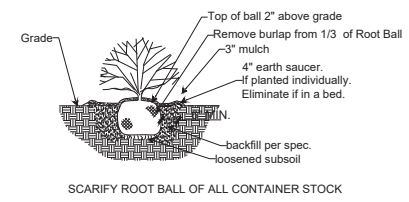
Vickie Haas, City Clerk City of Chesterfield, Missouri

Chesterfield Hockey, Inc. the owner under contract of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03.

Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

by: \_\_\_\_\_

Chesterfield Hockey, Inc.



TYPICAL SHRUB PLANTING

PLANTING SCHEDULE-PHASE 2						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	Notes
b	15	Viburnum x juddii	Judd Viburnum	24-30"	4'	O.C.

Revisions:

Date	Description	No.

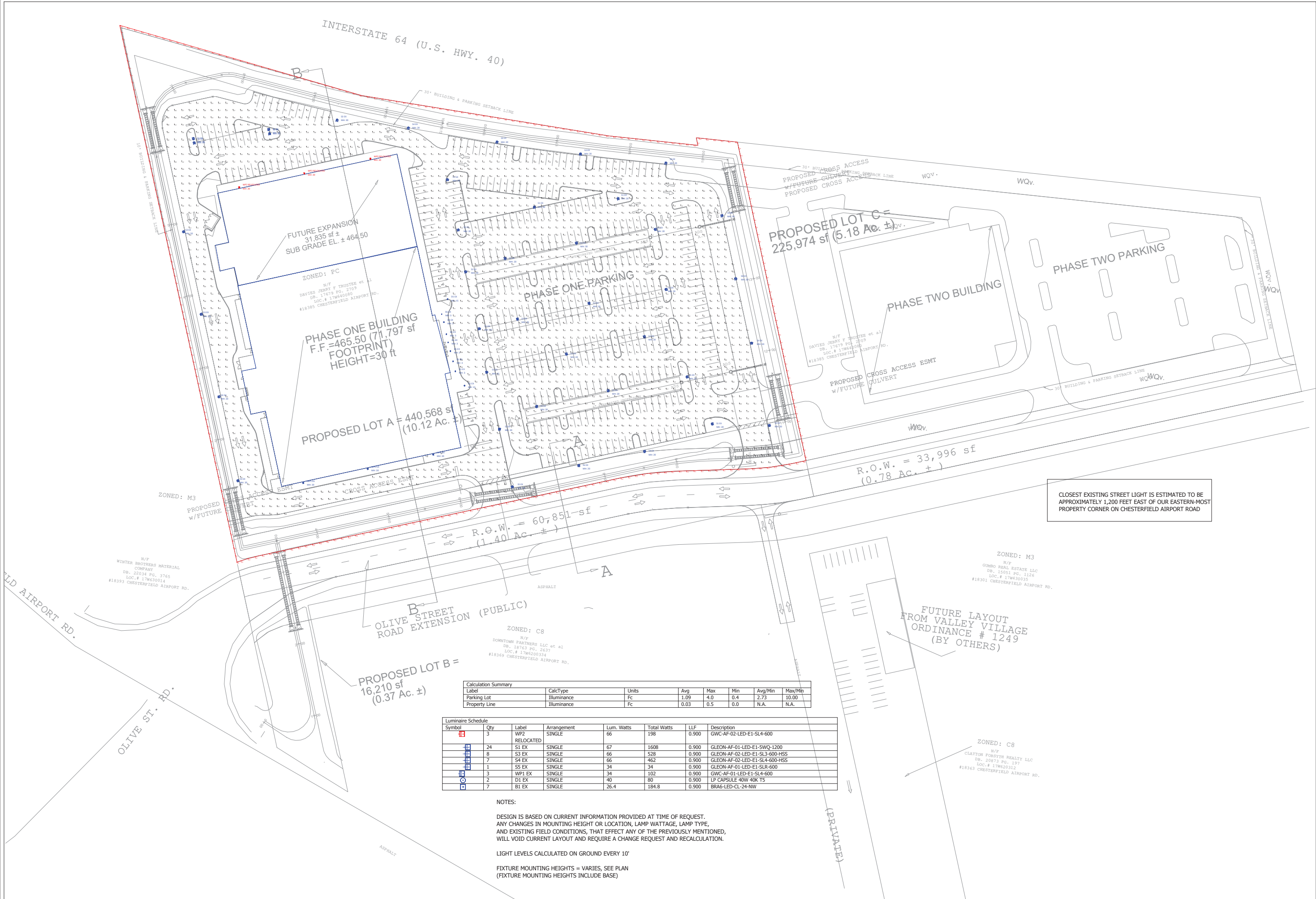
Drawn: DAD  
Checked: BAD

DeLong Landscape Architecture, LLC  
7620 West Bruno Ave  
St. Louis, MO. 63117  
(314) 546-4856  
delong.la@gmail.com  
Missouri State Certificate of Architecture #000000045

Sheet Title: **Phase 2a Landscape Plan**

Sheet No: **L-1**

Date: 04/21/2025  
Job #: 176.002



CLOSEST EXISTING STREET LIGHT IS ESTIMATED TO BE APPROXIMATELY 1,200 FEET EAST OF OUR EASTERN-MOST PROPERTY CORNER ON CHESTERFIELD AIRPORT ROAD

**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Fc		1.09	4.0	0.4	2.73	10.00
Property Line	Illuminance	Fc	0.03	0.5	0.0	N.A.	N.A.

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Lum. Watts	Total Watts	LLF	Description
[Symbol]	3	WP2	SINGLE	66	198	0.900	GWC-AF-02-LED-E1-SL4-600
[Symbol]	24	S1 EX	SINGLE	67	1608	0.900	GLEON-AF-01-LED-E1-5WQ-1200
[Symbol]	8	S3 EX	SINGLE	66	528	0.900	GLEON-AF-02-LED-E1-SL3-600-HSS
[Symbol]	7	S4 EX	SINGLE	66	462	0.900	GLEON-AF-02-LED-E1-SL4-600-HSS
[Symbol]	1	S5 EX	SINGLE	34	34	0.900	GLEON-AF-01-LED-E1-SLR-600
[Symbol]	3	WP1 EX	SINGLE	34	102	0.900	GWC-AF-01-LED-E1-SL4-600
[Symbol]	2	D1 EX	SINGLE	40	80	0.900	LP CAPSULE-40W 40K T5
[Symbol]	7	B1 EX	SINGLE	26.4	184.8	0.900	BRA6-LED-CL-24-NW

**NOTES:**

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND EXISTING FIELD CONDITIONS, THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.

LIGHT LEVELS CALCULATED ON GROUND EVERY 10'

FIXTURE MOUNTING HEIGHTS = VARIES, SEE PLAN  
(FIXTURE MOUNTING HEIGHTS INCLUDE BASE)

#	Date	Comments
Revisions		

Drawn By: LU  
Checked By: [Name]  
Date: 4/16/2025  
Scale: None

## DESCRIPTION

The Galleon™ wall LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate wall surfaces in both an upward and downward configuration. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

## SPECIFICATION FEATURES

### Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. UPLIGHTING: Specify with the UPL option for inverted mount upright housing with additional protections to maintain IP rating.

### Optics

Choice of thirteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90%

lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

### Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -30°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for -20°C ambient environments and occupancy sensor available.

### Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

### Warranty

Five-year warranty.

Catalog #		Type
Project		
Comments		Date
Prepared by		

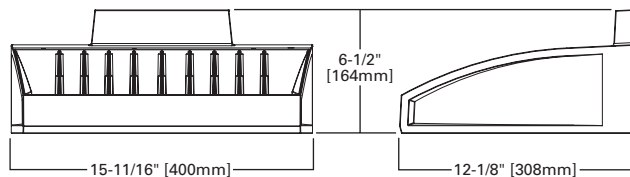


## GWC GALLEON WALL LUMINAIRE

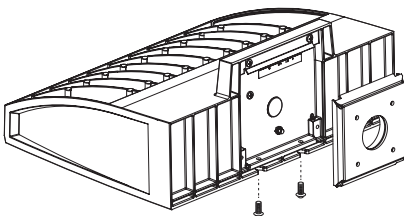
1-2 Light Squares  
Solid State LED

WALL MOUNT LUMINAIRE

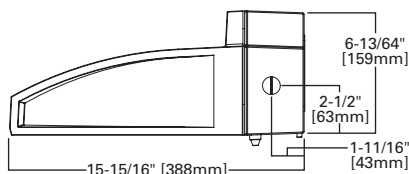
## DIMENSIONS



## HOOK-N-LOCK MOUNTING



## BATTERY BACKUP AND THRU-BRANCH BACK BOX



### CERTIFICATION DATA

UL/cUL Listed  
LM79 / LM80 Compliant  
IP66 Housing  
ISO 9001  
DesignLights Consortium® Qualified\*

### ENERGY DATA

Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 & 60Hz, 347V/60Hz,  
480V/60Hz  
-30°C Minimum Temperature  
40°C Ambient Temperature Rating

### SHIPPING DATA

Approximate Net Weight:  
27 lbs. (12.2 kgs.)

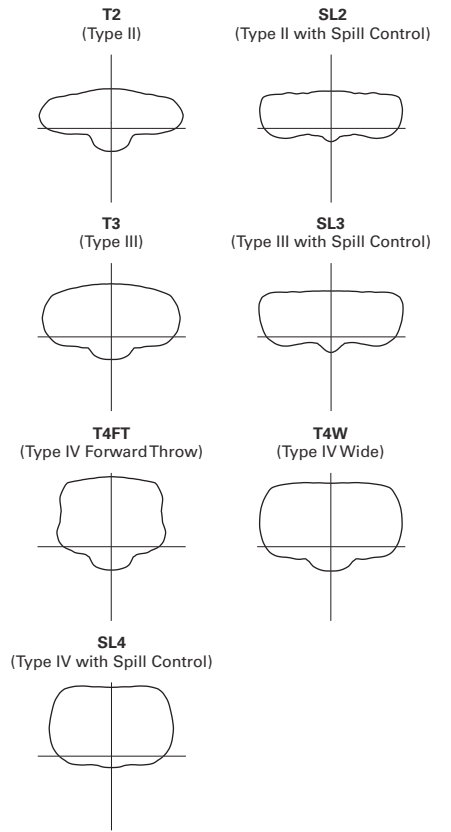
POWER AND LUMENS

Number of Light Squares	1				2				
	600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A	
Drive Current	600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A	
Nominal Power (Watts)	34	44	59	67	66	85	113	129	
Input Current @ 120V (A)	0.30	0.39	0.51	0.58	0.58	0.77	1.02	1.16	
Input Current @ 208V (A)	0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63	
Input Current @ 240V (A)	0.15	0.19	0.26	0.29	0.30	0.38	0.48	0.55	
Input Current @ 277V (A)	0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48	
Input Current @ 347V (mA)	0.11	0.15	0.17	0.20	0.19	0.24	0.32	0.39	
Input Current @ 480V (mA)	0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.30	
<b>Optics</b>									
T2	4000K/5000K Lumens	4,110	5,040	6,238	6,843	8,031	9,849	12,190	13,373
	3000K Lumens	3,638	4,461	5,522	6,057	7,109	8,718	10,791	11,838
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T3	4000K/5000K Lumens	4,189	5,138	6,359	6,975	8,187	10,039	12,425	13,630
	3000K Lumens	3,708	4,548	5,629	6,174	7,247	8,887	10,999	12,065
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T4FT	4000K/5000K Lumens	4,214	5,167	6,395	7,016	8,233	10,097	12,497	13,709
	3000K Lumens	3,730	4,574	5,661	6,211	7,288	8,938	11,062	12,135
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3
T4W	4000K/5000K Lumens	4,159	5,100	6,313	6,925	8,127	9,966	12,336	13,532
	3000K Lumens	3,682	4,515	5,588	6,130	7,194	8,822	10,920	11,979
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
SL2	4000K/5000K Lumens	4,102	5,032	6,227	6,831	8,018	9,832	12,170	13,350
	3000K Lumens	3,631	4,454	5,512	6,047	7,098	8,703	10,773	11,817
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
SL3	4000K/5000K Lumens	4,188	5,137	6,358	6,974	8,186	10,038	12,424	13,628
	3000K Lumens	3,707	4,547	5,628	6,173	7,246	8,886	10,998	12,064
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3
SL4	4000K/5000K Lumens	3,980	4,880	6,040	6,626	7,776	9,537	11,803	12,949
	3000K Lumens	3,523	4,320	5,347	5,865	6,883	8,442	10,448	11,462
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3
5NQ	4000K/5000K Lumens	4,321	5,298	6,558	7,193	8,443	10,353	12,814	14,057
	3000K Lumens	3,825	4,690	5,805	6,367	7,474	9,164	11,343	12,443
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
5MQ	4000K/5000K Lumens	4,400	5,396	6,678	7,326	8,598	10,544	13,050	14,315
	3000K Lumens	3,895	4,777	5,911	6,485	7,611	9,334	11,552	12,672
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	4000K/5000K Lumens	4,412	5,410	6,695	7,345	8,621	10,572	13,085	14,354
	3000K Lumens	3,906	4,789	5,926	6,502	7,631	9,358	11,583	12,706
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
SLL/SLR	4000K/5000K Lumens	3,681	4,515	5,588	6,129	7,193	8,821	10,917	11,976
	3000K Lumens	3,258	3,997	4,946	5,425	6,367	7,808	9,664	10,601
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G3
RW	4000K/5000K Lumens	4,281	5,250	6,498	7,129	8,366	10,259	12,698	13,930
	3000K Lumens	3,790	4,647	5,752	6,311	7,406	9,081	11,240	12,331
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2

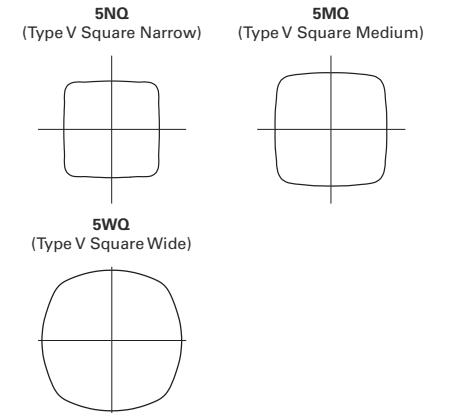
\* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

**OPTICAL DISTRIBUTIONS**

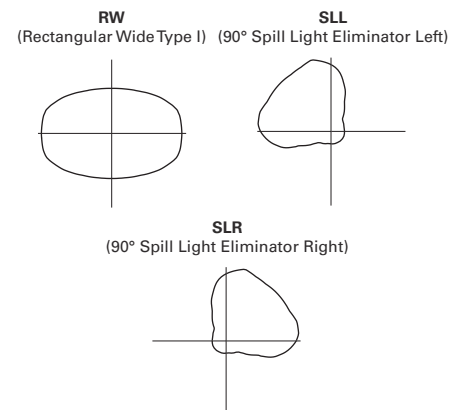
**Asymmetric Area Distributions**



**Symmeric Distributions**

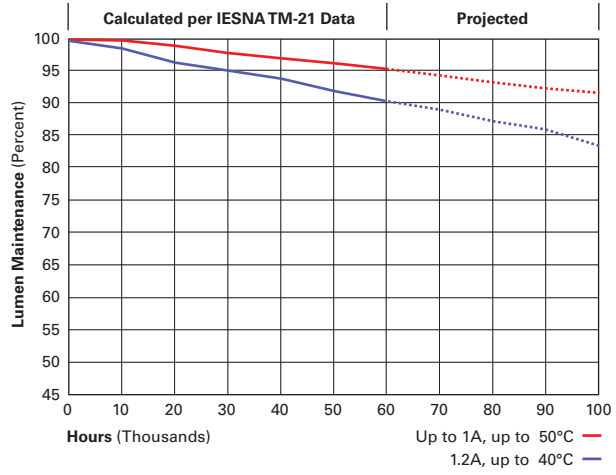


**Specialized Distributions**



**LUMEN MAINTENANCE**

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)

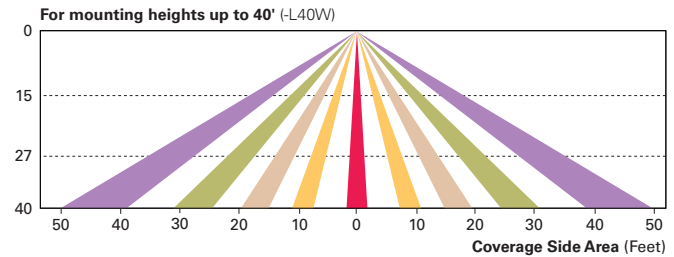
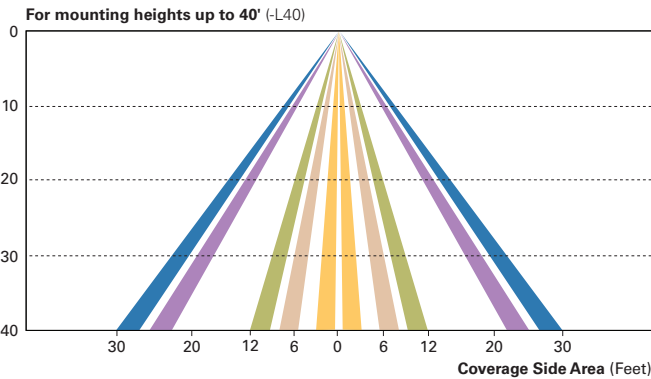
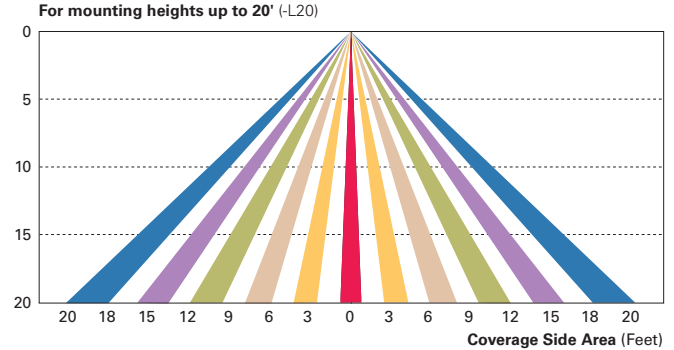
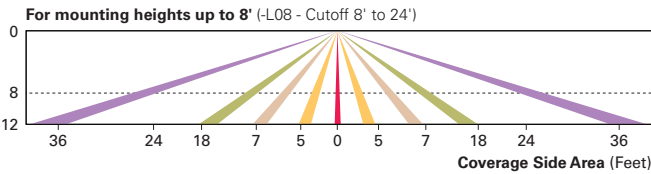
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

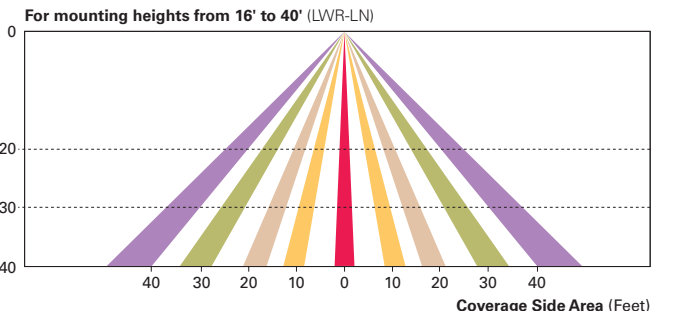
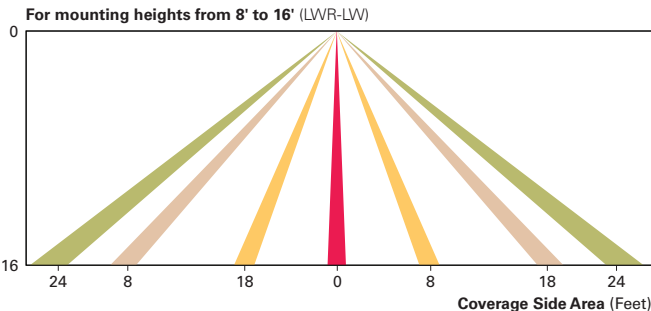
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



ORDERING INFORMATION

Sample Number: GWC-AF-02-LED-E1-T3-GM

Product Family <sup>1</sup>	Light Engine	Number of Light Squares <sup>2</sup>	Lamp Type	Voltage	Distribution	Color	Mounting Options
GWC=Galleon Wall	AF=1A Drive Current	01=1 02=2 <sup>3</sup>	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V <sup>4</sup> 480=480V <sup>4,5</sup>	T2=Type II T3=Type III T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I 5NQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Custom Color <sup>6</sup>	[BLANK]=Surface Mount
Options (Add as Suffix)					Accessories (Order Separately)		
7030=70 CRI / 3000K <sup>7</sup> 8030=80 CRI / 3000K <sup>7</sup> 7050=70 CRI / 5000K <sup>7</sup> 7060=70 CRI / 6000K <sup>7</sup> 600=Drive Current Factory Set to 600mA 800=Drive Current Factory Set to 800mA 1200=Drive Current Factory Set to 1200mA <sup>8</sup> F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module DIM=0-10V Dimming Leads <sup>9,10</sup> DALI=DALI Driver <sup>11</sup> HA=50°C High Ambient <sup>12</sup> UPL=Uplight Housing <sup>13</sup> BBB=Battery Pack with Back Box <sup>3,8,9,14</sup> CWB=Cold Weather Battery Pack with Back Box <sup>3,8,9,14</sup> P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) R=NEMA Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>15</sup> AHD145=After Hours Dim, 5 Hours <sup>16</sup> AHD245=After Hours Dim, 6 Hours <sup>16</sup> AHD255=After Hours Dim, 7 Hours <sup>16</sup> AHD355=After Hours Dim, 8 Hours <sup>16</sup> MS-LXX=Motion Sensor for On/Off Operation <sup>17,18,19</sup> MS/DIM-LXX=Motion Sensor for Dimming Operation <sup>17,18,19</sup> LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>19,20,21</sup> LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 20' Mounting Height <sup>19,20,21</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top LCF=Light Square Trim Plate Painted to Match Housing <sup>22</sup> HSS=Factory Installed House Side Shield <sup>23</sup> CE=CE Marking and Small Terminal Block <sup>24</sup>					OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1059XX=Thru-branch Back Box (Must Specify Color) FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>17</sup> LS/HSS=Field Installed House Side Shield <sup>23,25</sup>		

- NOTES:**
- DesignLight Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
  - Standard 4000K CCT and minimum 70 CRI.
  - Two light squares with BBB or CWB options limited to 25°C, 120-277V only.
  - Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
  - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
  - Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
  - Extended lead times apply. Use dedicated IES files when performing layouts.
  - Not available with HA option.
  - Cannot be used with other control options.
  - Low voltage control lead brought out 18" outside fixture.
  - Only available with BBB or CWB in single light square. HA option available for single light square only. Limited to 1A and below.
  - Not available with 1200, UPL, BBB and CWB options. Available for single light square only.
  - Not available with SL2, SL3, SL4, HA, BBB, CWB, R, or PER7 options.
  - Operates a single light square only. Cold weather option operates -20°C to +40°C, standard 0°C to +40°C. Backbox is non-IP rated.
  - Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
  - Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
  - The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
  - Replace LXX with the available mounting height options: L08, L20, L40 or L40W are the only choices.
  - Includes integral photosensor.
  - LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See [www.eaton.com/lighting](http://www.eaton.com/lighting) for LumaWatt application information.
  - Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
  - Not available with HSS option.
  - Only for use with SL2, SL3 and SL4 distributions. The light square trim plate is painted black when the HSS option is selected.
  - CE is not available with the 1200, DALI, LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
  - One required for each light square.

# SOLID STATE BOLLARDS

# BRA SERIES-LED

## SPECIFICATIONS

### BOLLARD

Durable corrosion resistant extruded and cast aluminum construction. 1/4" wall thickness.

### LED POWER ARRAY™

Three-dimensional array consisting of 6 individual LED tubes for the BDA8 model and 4 individual LED tubes for the BDA6 model, which are fastened to a retaining plate equally spaced to provide 360° of even illumination output. Each LED tube consists of a circuit board populated with a multiple of LED's which is fastened to a radial aluminum heat sink. A white polycarbonate lens and end caps protect each LED tube's internal components and provides diffusion to prevent shadowing and striations.

INTERNAL LOUVER (IL) - A specular louver stack conceals the inner LED Power Array Module and provides uplight and glare control through the external clear polycarbonate lens.

**CAST LOUVER (CL) - External cast aluminum louver stack protects the internal LED Power Array Module and provides uplight and glare control. An internal clear polycarbonate lens is integrated with the LED Power Array Module.**

OPAL LENS (WP) - Exterior white polycarbonate lens protects the internal LED Power Array Module and provides a uniform white glow.

### RADIAL LED MODULE

LED'S are mounted to a circular heatsink in a radial array. The radial LED module is concealed in the cap of the bollard. LED's are not directly visible from angles above 90°.

PARABOLIC REFLECTOR (TR) - A specular Parabolic Reflector reflects a portion of the distribution from the radial LED module and provides a uniform wide angle throw through the outer clear polycarbonate lens.

### LED EMITTERS

High Output LED's are driven at 350mA for nominal 1 Watt output each. 70CRI Minimum. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

### LED DRIVER

UL and CUL recognized Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60hz. Consult Factory for (347-480VAC). Driver is mechanically fastened to a retaining bracket. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimmable and High-Low Driver options available.

### FINISH

Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.

PROJECT NAME: **Maryville University Hockey Center**

FIXTURE TYPE: **Bollard Lighting**

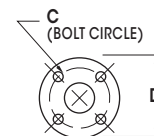
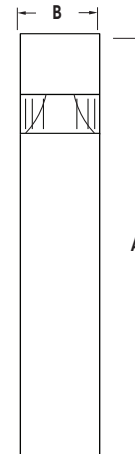
With Cast Louver for Dark Sky compliance



## BRA

BRA8 SHOWN WITH -TR OPTICS

PATENT PENDING



BOLLARD	A	B	C	D
<b>BRA8</b>	42" 1067mm	8" 203mm	6" 152mm	8" 203mm
<b>BRA6</b>	42" 1067mm	6" 152mm	4" 102mm	6" 152mm

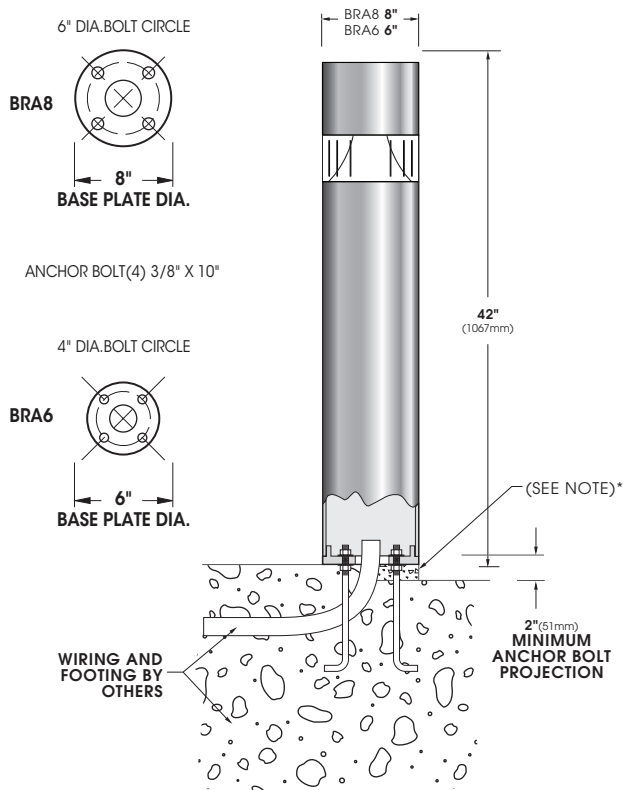


2015239

# BRA SERIES-LED

## S P E C I F I C A T I O N S

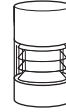
### INSTALLATION



\*When mounting in soil, anchor bolt fasteners and other hardware must be protected from soil by grouting.

### OPTICS

INTERNAL LOUVER  
SUPPLIED WITH CLEAR POLYCARBONATE LENS



IL

CAST LOUVER



CL



OPAL POLYCARBONATE

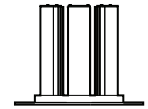


WA

PARABOLIC REFLECTOR

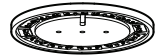


TR



VPA - Vertical Array  
BRA8 Available in:  
36 LED Max

BRA6 Available in:  
24LED Max



RADIAL LED Module  
BRA8 Available in:  
18 LED Module

BRA6 Available in:  
12 LED Module

Spec/Order Example: BRA6-TR/12LED120WW/RAL-8019-T/HLSW

## O R D E R I N G I N F O R M A T I O N

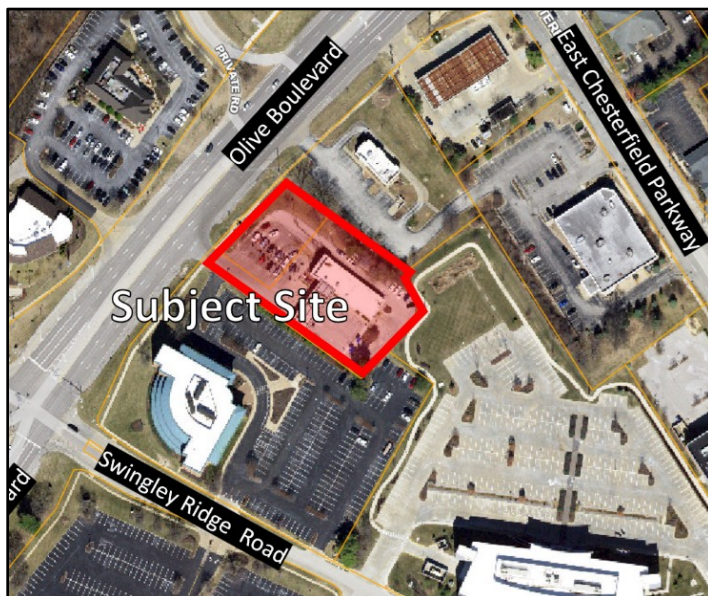
BOLLARD	OPTICS	# of LED's	COLOR	VOLTAGE	MOUNTING	FINISH	OPTIONS
<b>BOLLARD</b>	<b>OPTICS</b>	<b>LED</b>		<b>MOUNTING</b>	<b>FINISH</b>	<b>OPTIONS</b>	
	<b>VERTICAL POWER ARRAY</b>	<b># of LEDs</b>	<b>COLOR</b>		<b>STANDARD TEXTURED FINISH</b>		
<input type="checkbox"/> BRA8-LED	<input type="checkbox"/> INTERNAL LOUVER ..... IL	<input type="checkbox"/> 36LED <sup>1</sup> (42 Watts)	<input checked="" type="checkbox"/> NW (4000K) Standard	<input checked="" type="checkbox"/> GROUND INSTALLATION ..... (STANDARD)	<input type="checkbox"/> BLACK RAL-9005-T	<input type="checkbox"/> DIMMABLE DRIVER (0-10V PROVIDED) ..... DIM	
<input checked="" type="checkbox"/> BRA6-LED	<input checked="" type="checkbox"/> CAST LOUVER ..... CL	<input checked="" type="checkbox"/> 24LED (28 Watts)	<input type="checkbox"/> CW (5000K)	<input type="checkbox"/> WALL MOUNT WM .....	<input type="checkbox"/> WHITE RAL-9003-T	<input type="checkbox"/> HIGH-LOW DIMMING FOR HARDWIRED SWITCHING OR NONINTEGRATED MOTION SENSOR ..... HLSW	
	<input type="checkbox"/> OPAL POLYCARBONATE ..... WP*		<input type="checkbox"/> WW (3000K)		<input type="checkbox"/> GREY RAL-7004-T	<input type="checkbox"/> INTERNAL HOUSE SIDE SHIELD. . . . HS	
			OTHER LED COLORS AVAILABLE CONSULT FACTORY		<input type="checkbox"/> DARK BRONZE RAL-8019-T	<input type="checkbox"/> DUPLEX RECEPTACLE ..... DUP	
	<b>RADIAL LED MODULE</b>		<b>VOLTAGE</b>		<input type="checkbox"/> GREEN RAL-6005-T	<input type="checkbox"/> GROUND FAULT RECEPTACLE ..... GFI	
	<input type="checkbox"/> PARABOLIC REFLECTOR ..... TR	<input type="checkbox"/> 18LED <sup>1</sup> (21 Watts)	<input type="checkbox"/> 120			<input type="checkbox"/> 10KV SURGE PROTECTOR ..... 10SP	
		<input type="checkbox"/> 12LED <sup>2</sup> (15 Watts)	<input type="checkbox"/> 208			<input type="checkbox"/> 20KV SURGE PROTECTOR (277V & 480V Only) ..... 20SP	
			<input type="checkbox"/> 240				
			<input type="checkbox"/> 277				
			<input type="checkbox"/> 347				
			<input type="checkbox"/> 480				
		<b>NOTES:</b> 1 - AVAILABLE IN BRA8 ONLY. 2 - AVAILABLE IN BRA6 ONLY.					
	*-WP OPTICS USE OPAL POLYCARBONATE LENS				FOR SMOOTH FINISH REPLACE SUFFIX "T" WITH SUFFIX "S" (EXAMPLE: RAL-9500-S)	<b>OPTIONAL HEIGHTS:</b>	
					SEE USALTG.COM FOR ADDITIONAL COLORS	<input type="checkbox"/> 30"	
						<input type="checkbox"/> 36"	

## Architectural Review Board Staff Report

<b>Project Type:</b>	Amended Site Development Section Plan
<b>Meeting Date:</b>	May 15, 2025
<b>From:</b>	Shane Streiler, Planner
<b>Location:</b>	15606 Olive Boulevard
<b>Description:</b>	<b><u>Herman Stemme Office Park, Lot 2B (Waterway)</u></b> : An Amended Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for a gas station and car wash located on a 1.33-acre tract of land zoned “PC” Planned Commercial located southeast of Olive Boulevard, northeast of Olive’s intersection with Swingley Ridge Road.

### PROPOSAL SUMMARY

Waterway Gas and Wash Company has submitted modifications for Herman Stemme Office Park, Lot 2B. The plans propose for an outdoor waiting area addition, a right car wash lane extension, a fuel pump canopy reduction, and substantial changes to the building’s facades. The project meets the Unified Development Code requirements.



*Figure 1: Subject Location*

### HISTORY OF SUBJECT SITE

The subject site was developed in 1978 under County Ordinance 8801. Since then, the ordinance was amended to modify usage permitted under this “PC” district. The current ordinance governing the site, City Ordinance 2794, was approved in 2014. Overall, the site has remained mostly the same since construction concluded in 1978.



Figure 2: Site Plan

## **STAFF ANALYSIS**

### **Proposed Waiting Area**

The waiting area will feature the existing stone landscaping beds and new aluminum railings. The existing chairs will be replaced. A new self-supporting prefinished metal canopy will be added. The waiting area will be six (6) inches above the pavement.



Figure 3: Waiting Area Rendering

### Proposed Car Wash Lanes

The structures leading up to the entrance barrier gates will be simplified: The two (2) canopies covering the pay stations will be replaced with two (2) light “Waterway” blue entrance poles. The existing asphalt pavement will be expanded to the east to increase the width of the right car wash lane. A concrete retaining wall will be installed at the back of the curb and will feature a maximum height of 2’-8”. On top of the retaining wall, a swale will be developed and behind the retaining wall a perforated PVC drain pipe will be connected to the downspout piping.

### Proposed Fuel Station Canopy

The fuel station canopy will be reduced in length by 30 feet. The fuel canopy will be painted pure white and cobalt blue. The four (4) existing fuel dispensers will share the same colors as the canopy.

Figure 4: Car Wash Lane Improvements

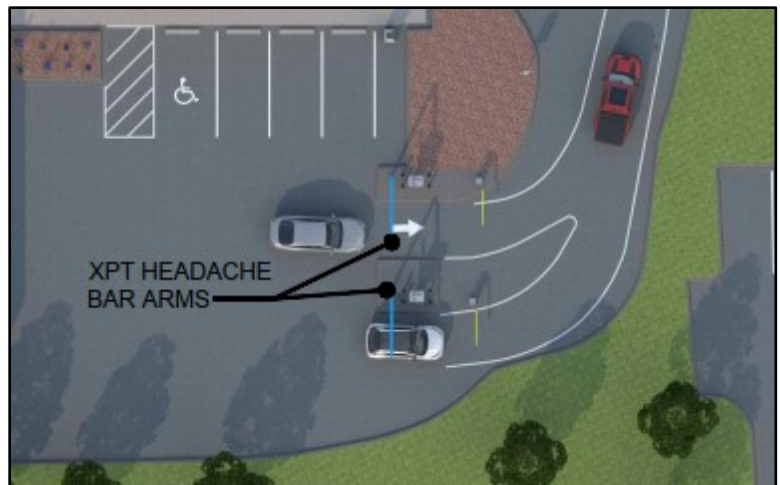
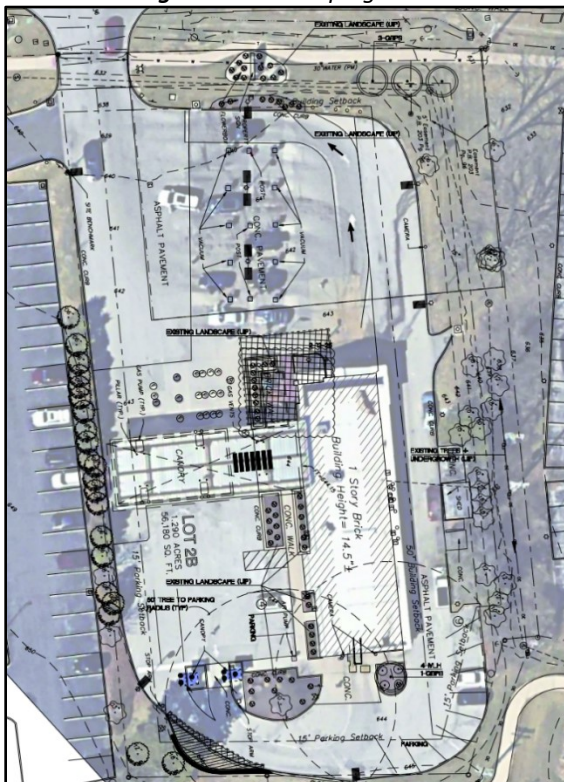


Figure 5: Fuel Station Canopy Rendering



Figure 6: Landscaping Plan



### Landscaping

The landscaping surrounding the entrance monument sign, the perimeter of the building, and the perimeter of the property will remain, excluding two (2) dead trees. The existing landscape bed with ten (10) shrubs at the waiting area will remain, while the landscaping area abutting the car wash exit will be removed for the addition of pavement. The two (2) landscaping islands at the car wash entrance will retain most of its landscaping with the addition of four (4) Virginia willows shrubs and a ginkgo tree. Three (3) additional ginkgo trees will be planted in the landscape buffer along Olive Boulevard.

### Lighting

The total quantity of outdoor lights at the site will decrease from 37 to 28. There will be eight (8) canopy lights instead of 16, six (6) downlights at the start of the car wash lanes instead of eight (8), and 14 outdoor area lights surrounding the site instead of 13.



Figure 7: Canopy Lighting



Figure 8: Downlight



Figure 9: Outdoor Area Light

**Materials and Color**

South elevation (Figure 10): At the west side of the building, the roof will be extended from 13'-4" in height to 18'. Surrounding the gas station entrance, the existing face brick and EIFS will be replaced with prefinished metal panels and aluminum storefront system. These metal panels will be midnight blue, light "Waterway" blue, pure white, mica gray, and metal silver. On the main portion of the building, the existing face brick, EIFS, windows, and doors will remain, but the EIFS will be painted pure white and modified.

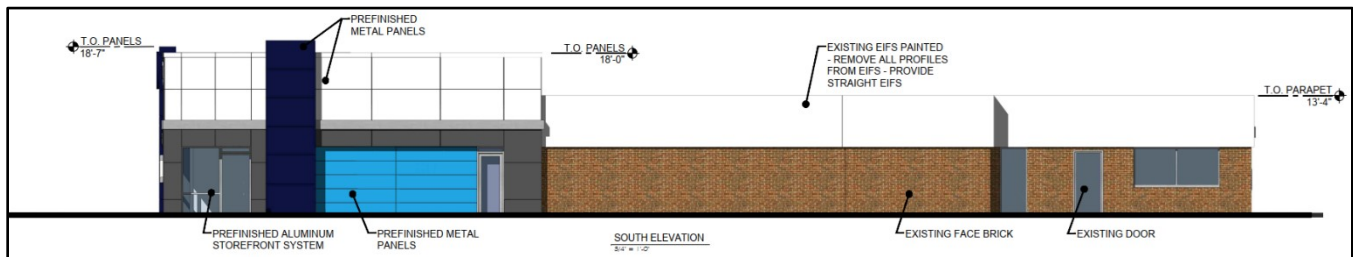


Figure 10: South Elevation

East elevation (Figure 11): On the tall portion of the building, the existing EIFS will be replaced with prefinished metal panels colored midnight blue and pure white. On the main portion of the building, the existing face brick and EIFS will remain with the same proposed changes. The wash bay door will be replaced with an aluminum overhead door with clear polycarbonate glass panels.

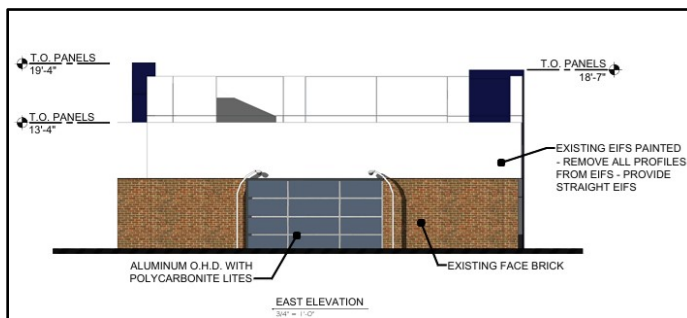


Figure 11: East Elevation

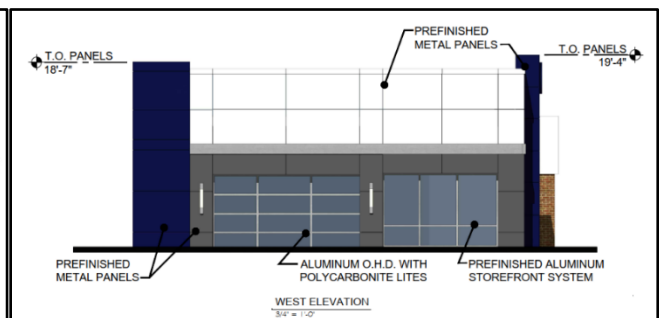


Figure 12: West Elevation

West elevation (Figure 12): At the car wash exit, the existing gable will be removed. The existing face brick and EIFS will be replaced with prefinished metal panels and aluminum storefront system. These metal panels will be midnight blue, pure white, mica gray, and metal silver. The existing windows will be replaced with clear float glass behind the new waiting area. The wash bay door will also be replaced at the car wash's exit.

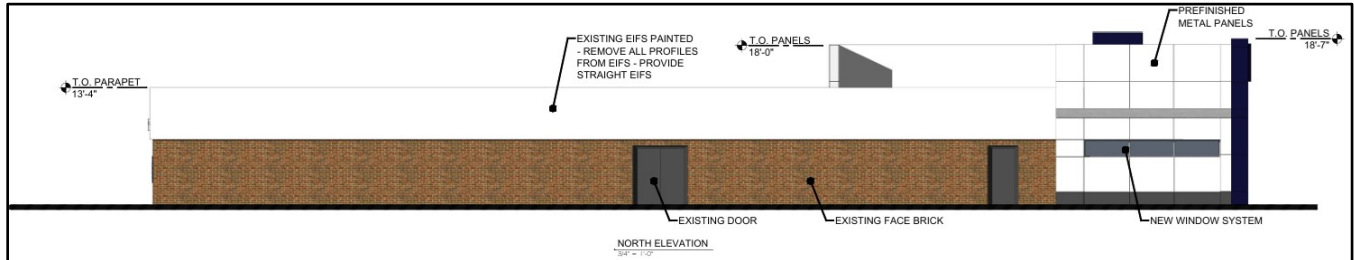


Figure 13: North Elevations

North elevation (Figure 13): At the west side of the building, the existing face brick and EIFS will be replaced with prefinished metal panels. These metal panels will be midnight blue, pure white, mica gray, and metal silver. A new window system will be installed. The back of the roof façade will be visible. On the main portion of the building, the existing face brick and EIFS will remain with the same proposed changes.

### **DEPARTMENTAL INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the Architectural Review Board will be included in Staff's report to the Planning Commission.

Staff requests review on the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for Herman Stemme Office Park, Lot 2B.

### **MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for Herman Stemme Office Park, Lot 2B at 15606 Olive Boulevard (Waterway) as presented, with a recommendation for approval (or denial)."
- 2) "I move to forward the Amended Site Development Section Plan, Landscape Plan, Lighting Plan, and Amended Architectural Elevations for Herman Stemme Office Park, Lot 2B at 15606 Olive Boulevard (Waterway) with a recommendation for approval with the following conditions..."

### **Attachments**

Architectural Review Packet Submittal

March 04, 2025

Shane Streiler  
City Planner  
City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017

**PROJECT NAME:** Waterway – Chesterfield  
**PROJECT LOCATION:** 15606 Olive Blvd.  
Chesterfield, Missouri 63017

### **ARCHITECTS STATEMENT OF DESIGN**

While designing the remodel of this Waterway facility located at 15606 Olive Blvd in Chesterfield, MO we reimagined the car wash and convenience store, our objective was to create a modern, inviting space that enhances the customer experience while integrating sustainable design principles. This remodel embraces contemporary materials and innovative design to foster a clean, efficient, and welcoming environment.

We selected durable, eco-friendly materials that not only withstand the rigors of daily use but also promote sustainability. The exterior features high-performance metal panels and face brick veneer, providing a sleek, modern look while ensuring longevity.

To enhance the customer journey, the car wash entry and exit points are clearly marked, minimizing confusion and ensuring a smooth flow. A welcoming seating area encourages customers to relax while waiting for their vehicles.

Sustainability is woven into the fabric of this remodel. We incorporated energy-efficient lighting to reduce our carbon footprint and the landscaping features native plants, designed to require less irrigation and maintenance.

This remodel reflects our commitment to creating a building that is not only functional but also uplifting. By blending modern aesthetics with sustainable practices, we have transformed the car wash and convenience store into a vibrant facility that prioritizes customer experience and environmental responsibility. Waterway looks forward to welcoming customers into this new space, where cleanliness and comfort meet innovation.

Please see the attached elevations and renderings that clearly reflect this design intent and show the facility meets each of the city's design standards.

Respectfully,

Jay Schoessel  
Architextures SP



# Scottsdale® Legacy (CRUS)

## LED Canopy Luminaire

**IP66**

### OVERVIEW

Lumen Package	5,000 - 22,000
Wattage Range	38 - 152
Efficacy Range (LPW)	114 -156
Weight lbs(kg)	23 (10.4)

### QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Features a ultra-slim 11/16" profile die-cast housing, with flat clear tempered glass lens. Unit is water-resistant, sealed and IP66 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

### Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED; 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).
- Choice of Symmetric or Asymmetric distribution. Asymmetric provides a wider distribution pattern.
- Six Lumen Packages: 5,000, 9,000, 10,000, 13,000, 18,000 and 22,000 Lumens.

### Electrical

- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral 6kV surge protection that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards. Custom lumen and wattage packages available.
- Additional field replaceable 10kV surge protection device that meets a minimum

Category C Low operation (per ANSI/IEEE C62.41.2) is standard.

- Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and acts as the primary heatsink ensuring cool operation of internal components for longer life. Seals to optical housing via one-piece molded silicone gasket.
- Universal voltage power supply, 120-277 VAC, 50/60 HZ and 347-480 VAC, 50/60 HZ input.
- -40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)
- Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location (see performance data for specifics.)

### Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See lscorp.com for specific guidance. Not available on SLW.

### Installation

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck

penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.

- Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

### Warranty

- LSI LED fixtures carry a 5-year warranty (contact your LSI representative for extended warranty options.)

### Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature.



Catalog # :

Project :

Prepared By :

Date :



# Slice Medium - SLM Outdoor LED Area Light

The Slice's sleek design makes it perfectly-suited for Commercial & Industrial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Slice offers high performance silicone optics, die cast aluminum housing, 42,000+ lumens and is available with integral Airlink Synapse controls.

## Features & Specifications

### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K, 2700K and Amber color temperatures per ANSI C78.377.
- Minimum CRI of 70. Optional 80 CRI available, consult factory for lead time.
- Integral Louver (IL) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.

### Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 3)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L lumen package rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.



Dimmable



WIRELESS CONTROLS

IP66



ROHS COMPLIANT



Funding Compliant



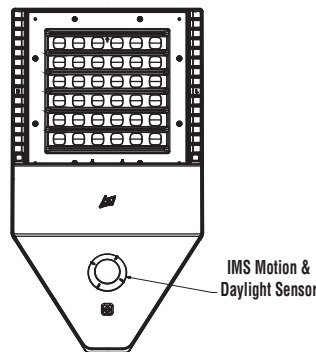
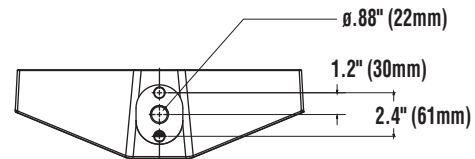
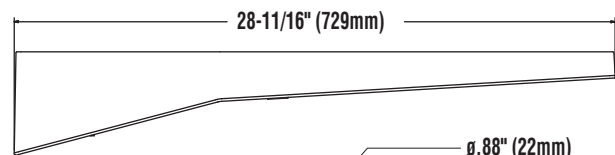
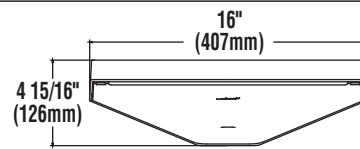
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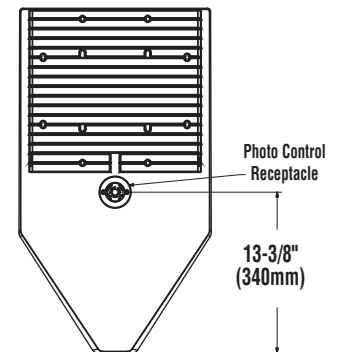
MANUFACTURED IN USA



## Product Dimensions



Bottom View



Top View



# Slice Medium - SLM Outdoor LED Area Light

## Features & Specifications (Cont.)

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles.
- Luminaire is proudly manufactured in the U.S. of U.S. and imported parts.
- IP66 rated luminaire protects integral components from harsh environments.
- 3G rated for ANSI C136.31 high vibration applications
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

### Controls

- Optional integral passive infrared motion and daylight sensor activates switching of luminaire light levels (see page 6 for more details).
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 6 for more details)

### Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block provides quick and easy on-site wiring.
- Utilizes LSI's traditional 3" drill pattern for easy fastening of LSI products. (See drawing on page 1)

### Warranty

- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- RoHS Compliant.
- American Recovery and Reinvestment Act Funding Compliant.
- IDA compliant; with 3000K color temperature selection.
- Suitable For wet Locations.
- IP66 rated Luminaire. IP66 rated optical chamber.
- 3G rated for ANSI C136.31 high vibration applications

## Performance

ELECTRICAL DATA*							
Lumens	Watts	120V	208V	240V	277V	347V	480V
9L	68.2	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A
12L	93.1	0.8A	0.4A	0.4A	0.3A	0.3A	0.2A
18L	148.5	1.2A	0.7A	0.6A	0.5A	0.4A	0.3A
24L	188.8	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A
30L	248.6	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A
36L	317.8	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A
42L	393.4	3.3A	1.9A	1.6A	1.4A	1.1A	0.8A

\*Electrical data at 25C (77F). Actual wattage may differ by +/-10%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (24-42L)					
Ambient	Initial <sup>2</sup>	25 hr <sup>2</sup>	50 hr <sup>2</sup>	75 hr <sup>3</sup>	100 hr <sup>3</sup>
0-40 C	100%	100%	97%	94%	92%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (9-18L)					
Ambient	Initial <sup>2</sup>	25 hr <sup>2</sup>	50 hr <sup>2</sup>	75 hr <sup>3</sup>	100 hr <sup>3</sup>
0-50 C	100%	96%	91%	87%	83%

- 1- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- 2- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- 3- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing

Slice ALSCH Satellite #														
		Input Current (Amps)							Satellites Supported					
VAC	42L	36L	30L	24L	18L	12L	9L	42L	36L	30L	24L	18L	12L	9L
110	3.6	2.9	2.3	1.7	1.4	0.8	0.6	0	0	1	1	2	4	4
120	3.4	2.6	2.1	1.6	1.2	0.8	0.6	0	0	1	2	2	4	4
208	1.9	1.5	1.2	0.9	0.7	0.4	0.3	1	2	3	4	4	4	4
240	1.6	1.3	1.0	0.8	0.6	0.4	0.3	1	2	3	4	4	4	4
277	1.4	1.1	0.9	0.7	0.5	0.3	0.2	2	3	4	4	4	4	4
347	1.1	0.9	0.7	0.5	0.4	0.3	0.2	3	4	4	4	4	4	4
480	0.8	0.7	0.5	0.4	0.3	0.2	0.1	4	4	4	4	4	4	4

LUMINAIRE EPA CHART - SLM	
	Single 0.6
	D180° 1.1
	D90° 0.9
	T90° 1.9
	TN120° 1.9
	Q90° 2.1

Specifications and dimensions subject to change without notice.

## LED 6 INCH WET-LISTED DOWNLIGHT (PDL6K)

**COMPLETE KIT** - PDL6K comes complete with high-efficiency LED modules, recessed housing and built-in trim.

**LEDs** - Select high-brightness LEDs. Color temperature 4000K (NW, nominal). CRI = 90 (nominal)

**LED MODULE ASSEMBLY** - Durable plastic housing integrates LED module, white trim and white baffle reflector. Frosted lens eliminates direct view of LEDs. Torsion springs safely secure LED module in housing. Other trims available, consult factory.

**ROUGH-IN HOUSING** - Non-IC housing must be kept at least 3" away from insulation. 16-gauge galvanized steel housing includes frame with bar hangers with nails for wood joist. Adjustable 14" to 25" for precise placement. Bar hangers include T-bar notch for T-grid ceilings

**DIMMING** - PDL6K is dimmable to 10% with standard 120V electronic dimmers. Contact factory for use with incandescent or magnetic low-voltage dimmers.

**DELIVERED LUMENS** - 900 (HO Output) or 700 (SS)

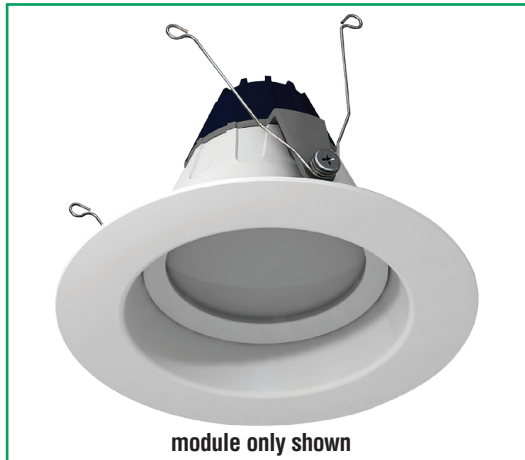
**INPUT POWER** - 13 watts (HO); 10 watts (SS)

**EXPECTED LIFE** - Minimum 50,000 hours.

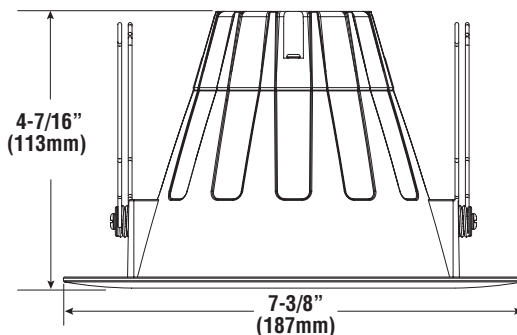
**WARRANTY** - Limited 5-year warranty.

**LISTING** - Wet location. ETL listed to U.S. and Canadian safety standards.

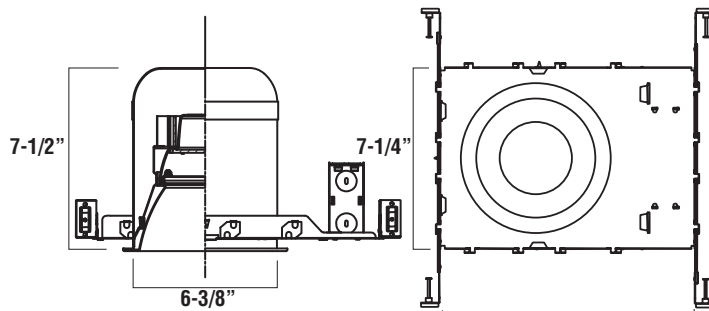
**PHOTOMETRICS** - LM-79 and LM-80 reports, as well as application layout assistance are available on request. Contact LSI Applications Group or [lighting.apps@lsi-industries.com](mailto:lighting.apps@lsi-industries.com).



### DIMENSIONS



Module Only



Assembled in Housing

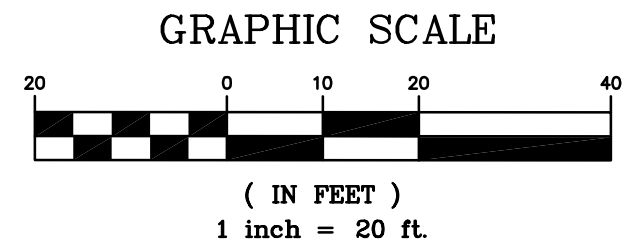
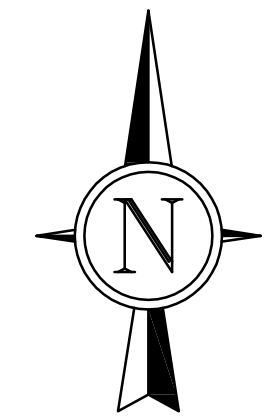
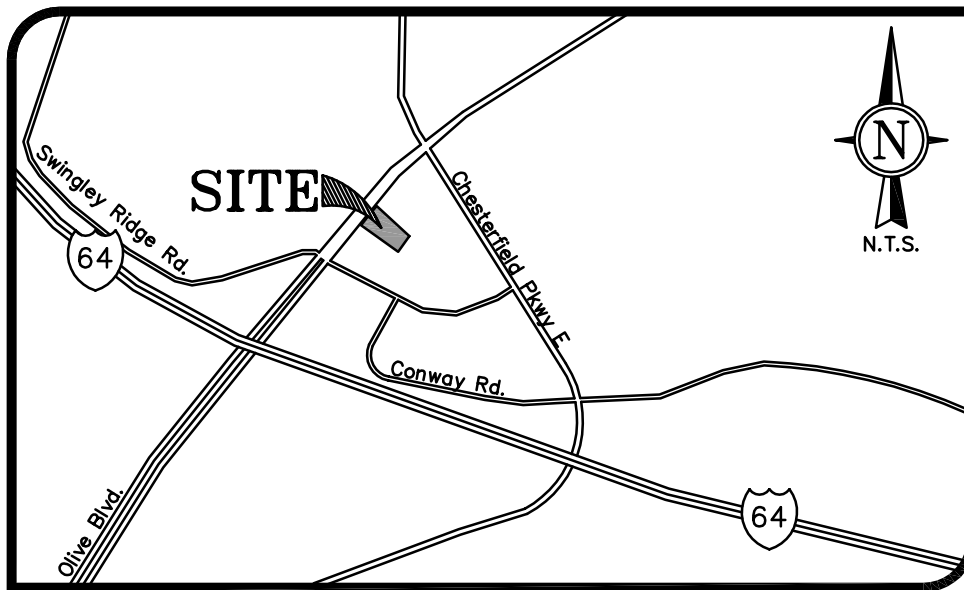
### ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **PDL6K LED HO NW 120**

Prefix	Light Source	Lumen Output	Color Temp	Line Voltage
PDL6K - 6" Downlight (Module & housing)	LED	HO - High Output SS - Super Saver	NW - Neutral White (4000K)	120 - 120 VAC

# AMENDED SITE DEVELOPMENT PLAN WATERWAY CARWASH - CHESTERFIELD, MO SITE MAINTENANCE

ALL OF LOT 2B OF THE SUBDIVISION OF LOT 2 OF HERMAN STEMME OFFICE PARK  
PLAT BOOK 203, PAGE 98  
CITY OF CHESTERFIELD, ST LOUIS COUNTY, MISSOURI



NOTE: ALL UTILITIES WILL BE INSTALLED UNDERGROUND.

NOTE: SIGNAGE APPROVAL WILL BE A SEPARATE APPROVAL PROCESS.



GRIMES CONSULTING, INC.  
12300 OLD TESSON RD.  
SUITE 3000  
ST. LOUIS, MO 63128  
PH (314) 849-6100  
FAX (314) 849-6010  
www.grimesconsulting.com  
PE COAF E-1470-D  
FLS COAF LS-343-D

**BENCHMARK:**  
STL COUNTY #12352: 644.27 F1US NAVD88 - Standard DNR aluminum disk stamped SL-31A and situated in a grassy area south of the intersection of Olive Boulevard and Swingley Ridge Road; roughly 78 feet southeast of the centerline of Olive Boulevard, 45 feet southwest of the centerline of Swingley Ridge Road, 1.3 feet east of the easternmost corner of a flush type concrete traffic signal vault, 0.15 miles more or less northeast along Olive boulevard from the centerline of Interstate 64.

**SITE BENCHMARK:**  
641.08 F1US NAVD88 - PK nail in top of concrete base under light stand approximately 100 feet southeast of the south ROW line of Olive Boulevard and approximately 320 feet northeast of the intersection of the south ROW line of Olive Boulevard and the north ROW line of Swingley Ridge Road

**BASIS OF BEARING**

MISSOURI STATE PLANE  
GRID NORTH FROM GPS  
TIES TO MODOT GLOBAL  
NAVIGATION SATELLITE  
REAL-TIME NETWORK

**LEGEND**

- HARDSCAPE - TO BE REMOVED
- TREES - TO BE REMOVED

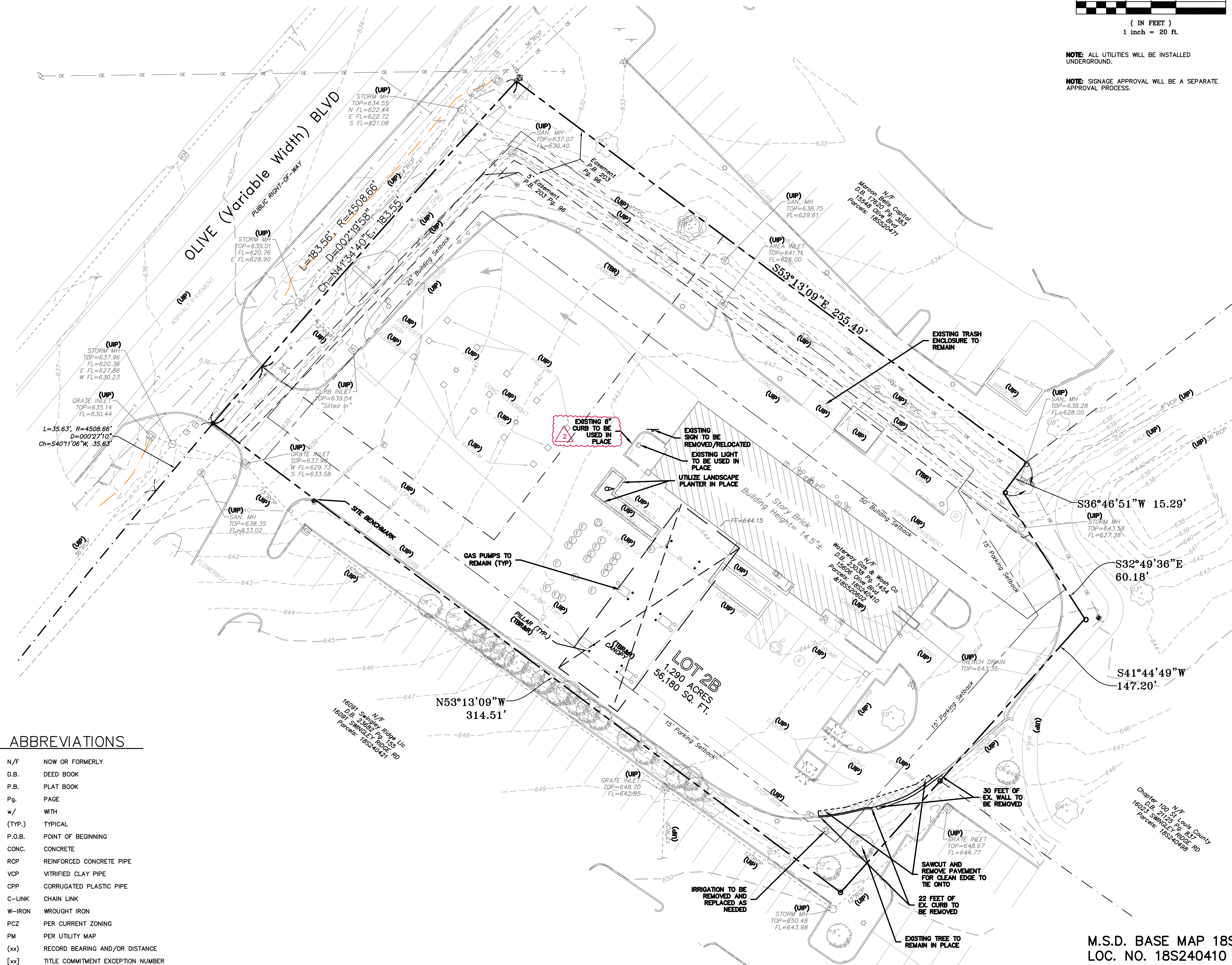
**LEGEND**

- |  |                      |  |                             |
|--|----------------------|--|-----------------------------|
|  | UTILITY POLE         |  | STREET SIGN                 |
|  | GUY WIRE             |  | OWNERS SIGN                 |
|  | LIGHT POLE           |  | BASKETBALL GOAL             |
|  | TRAFFIC SIGNAL BOX   |  | FLAG POLE                   |
|  | ELECTRIC BOX         |  | BOLLARD OR POST             |
|  | ELECTRIC SERVICE     |  | PARKING METER               |
|  | ELECTRIC MANHOLE     |  | MAILBOX                     |
|  | ELECTRIC METER       |  | FILLER CAP                  |
|  | ELECTRIC VAULT       |  | ROOF DRAIN                  |
|  | GENERATOR            |  | YARD DRAIN                  |
|  | TRANSFORMER          |  | CLEANOUT                    |
|  | CABLE BOX            |  | FLARED END SECTION          |
|  | CABLE VAULT          |  | TERMINUS UNKNOWN            |
|  | SATELLITE DISH       |  | STORM DRAIN W/GRATE INLET   |
|  | TELEPHONE BOX        |  | STORM DRAIN W/AREA INLET    |
|  | TELEPHONE MANHOLE    |  | STORM DRAIN W/MANHOLE       |
|  | TELEPHONE VAULT      |  | STORM DRAIN W/GRATE MANHOLE |
|  | TELEPHONE UG MARKER  |  | SANITARY SEWER W/MANHOLE    |
|  | FIBEROPTIC UG MARKER |  | TRENCH DRAIN                |
|  | FIRE HYDRANT         |  | OVERHEAD ELECTRIC LINE      |
|  | FIRE DEPT CONNECTION |  | UNDERGROUND ELECTRIC LINE   |
|  | WATER METER          |  | UNDERGROUND TELEPHONE LINE  |
|  | WATER MANHOLE        |  | WATER LINE                  |
|  | WATER VALVE          |  | GAS LINE                    |
|  | WATER VAULT          |  | TREE LINE/EDGE OF WOODS     |
|  | SPRINKLER VALVE      |  | FENCE: CHAIN LINK OR WIRE   |
|  | WATER UG MARKER      |  | FENCE: WOOD CONSTRUCTION    |
|  | GAS METER            |  | 1' CONTOUR INTERVAL         |
|  | GAS VALVE            |  | 5' CONTOUR INTERVAL         |
|  | GAS DRIP             |  | RIPRAP                      |
|  | GAS UG MARKER        |  | BUSH OR SHRUB               |
|  | TEST WELL            |  | TREE W/APPROX. DIAMETER     |
|  | SOIL BORING          |  |                             |
|  | AIR CONDITIONER      |  |                             |

**ABBREVIATIONS**

- |        |                                   |
|--------|-----------------------------------|
| N/F    | NOW OR FORMERLY                   |
| D.B.   | DEED BOOK                         |
| P.B.   | PLAT BOOK                         |
| Pg.    | PAGE                              |
| w/     | WITH                              |
| (TYP.) | TYPICAL                           |
| P.O.B. | POINT OF BEGINNING                |
| CONC.  | CONCRETE                          |
| RCP    | REINFORCED CONCRETE PIPE          |
| VCP    | VITRIFIED CLAY PIPE               |
| CPP    | CORRUGATED PLASTIC PIPE           |
| C-LINK | CHAIN LINK                        |
| W-IRON | WROUGHT IRON                      |
| PCZ    | PER CURRENT ZONING                |
| PM     | PER UTILITY MAP                   |
| (xx)   | RECORD BEARING AND/OR DISTANCE    |
| [xx]   | TITLE COMMITMENT EXCEPTION NUMBER |

PREPARED FOR:  
**WATERWAY GAS & WASH CO.**  
CONTACT: MIKE GOLDMAN  
727 GODDARD AVE.  
CHESTERFIELD, MO 63005  
EMAIL: MIKE@WATERWAY.COM



**AMENDED SITE DEVELOPMENT PLAN FOR  
WATERWAY CARWASH  
CHESTERFIELD, MO**  
15606 OLIVE BLVD. CHESTERFIELD, MO 63017

**EXISTING SITE  
AND DEMOLITION  
PLAN**

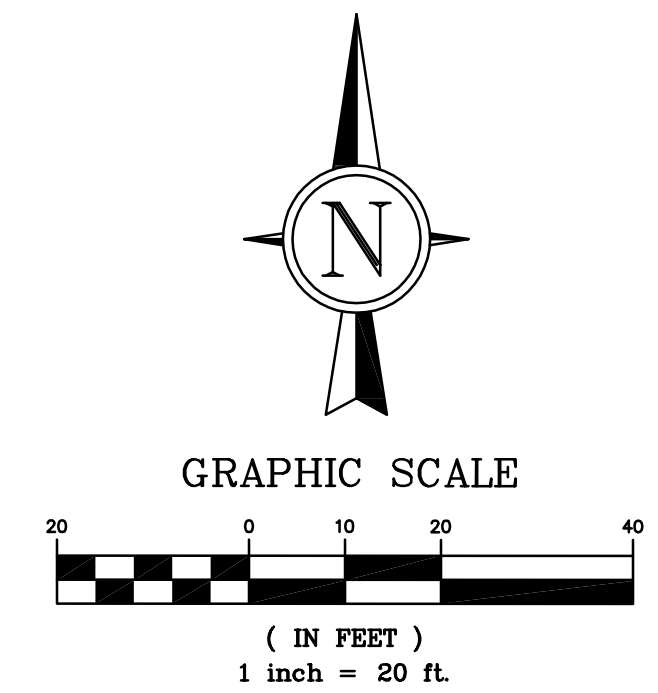
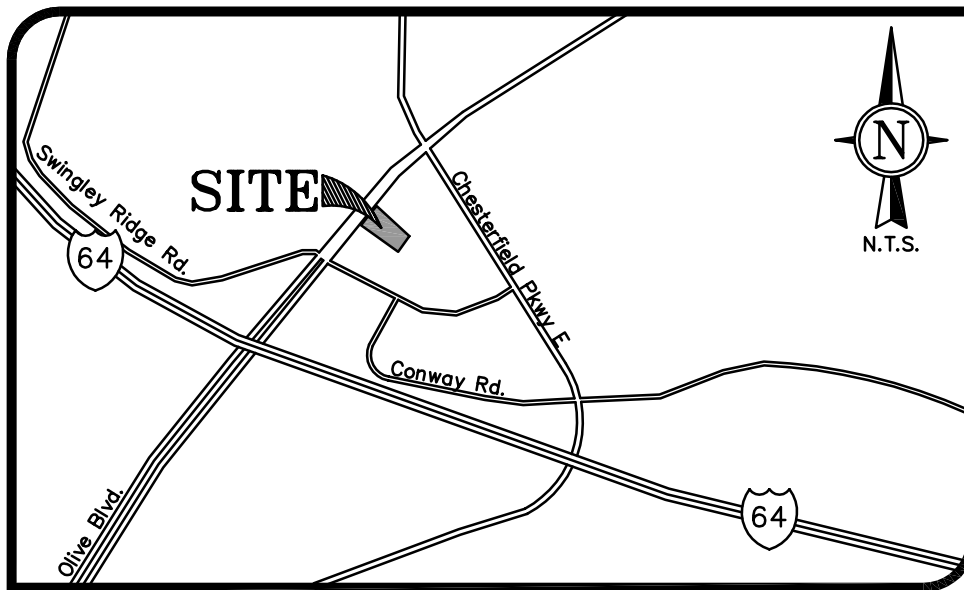
SHEET TITLE: EXISTING SITE AND DEMOLITION PLAN  
 JOB NUMBER: 3931  
 DRAWN BY: JRB  
 DATE: 01/11/24  
 CHECKED BY: LJM  
 DATE: 01/11/24

SHEET:  
**SDP1**

M.S.D. BASE MAP 18S  
 LOC. NO. 18S240410  
 ZIP CODE 63017

# AMENDED SITE DEVELOPMENT PLAN WATERWAY CARWASH - CHESTERFIELD, MO SITE MAINTENANCE

ALL OF LOT 2B OF THE SUBDIVISION OF LOT 2 OF HERMAN STEMME OFFICE PARK  
PLAT BOOK 203, PAGE 98  
CITY OF CHESTERFIELD, ST LOUIS COUNTY, MISSOURI



**BENCHMARK:**  
STL COUNTY #12352: 644.27 F1US NAVD88 - Standard DNR aluminum disk stamped SL-31A and situated in a grassy area south of the intersection of Olive Boulevard and Swingley Ridge Road; roughly 78 feet southeast of the centerline of Olive Boulevard, 45 feet southwest of the centerline of Swingley Ridge Road, 1.3 feet east of the easternmost corner of a flush type concrete traffic signal vault, 0.15 miles more or less northeast along Olive boulevard from the centerline of Interstate 64.

**SITE BENCHMARK:**  
641.08 F1US NAVD88 - PK nail in top of concrete base under light stand approximately 100 feet southeast of the south ROW line of Olive Boulevard and approximately 320 feet northeast of the intersection of the south ROW line of Olive Boulevard and the north ROW line of Swingley Ridge Road

**BASIS OF BEARING**

MISSOURI STATE PLANE  
GRID NORTH FROM GPS  
TIES TO MODOT GLOBAL  
NAVIGATION SATELLITE  
REAL-TIME NETWORK

LEGEND	
PROPOSED CONCRETE BARRIER CURB	
PROPOSED BUILDING	
EXISTING FEATURES	
PROPOSED FEATURES	
PROPERTY LINES	
ORNAMENTAL PICKET FENCE	
PROPOSED SITE RETAINING WALL	
SIDEWALK	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	

**PERTINENT DATA**

PARCEL ID# & ADDRESS 18S2404101, 15606 OLIVE BLVD  
PROP. USE CARWASH & GAS STATION  
WATER SHED MISSOURI SUB-AREA 7  
FIRE DISTRICT MISSOURI AMERICAN WATER CO.  
FIRE DISTRICT MONARCH FIRE DISTRICT  
SCHOOL DISTRICT PARKWAY  
SEWER DISTRICT MSD  
FEMA MAP NUMBER 29189C0170K  
CURRENT ZONING C8 - PLANNED COMMERCIAL

TOTAL LOT AREA	1.29 AC
<b>EXISTING</b>	
Building + Canopy	0.16 AC
Pavement	0.75 AC
% Lot Coverage	70.54%
FAR	0.12
Open Space	29.46%
<b>PROPOSED</b>	
Building + Canopy	0.16 AC
Pavement	0.75 AC
% Lot Coverage	70.54%
FAR	0.12
Open Space	29.46%

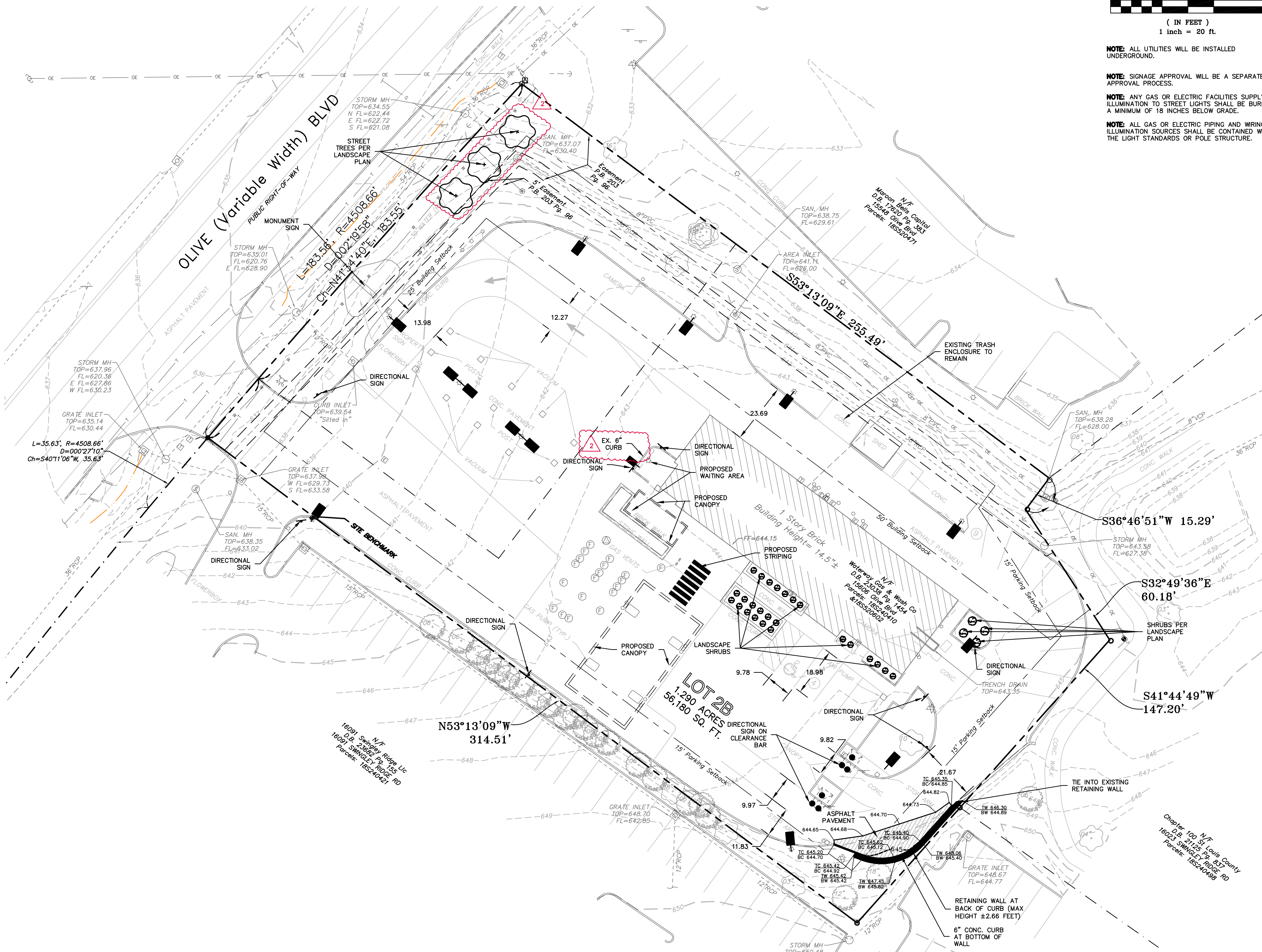
**NOTE:** OPEN SPACE MAY INCLUDE SIDEWALKS AND PEDESTRIAN AREAS SUCH AS PLAZA AREAS FOR SEATING.

**NOTE:** LIMITS OF DISTURBANCE = 0.05 ACRES

**PARKING SUMMARY**

ST. LOUIS COUNTY PARKING REQUIRED:	
CAR WASH:	2*(11/3) = 7.33 PS
2 PS PER 3 EMPLOYEES ON MAX SHIFT	TOTAL = 8 PS
TOTAL STALLS REQUIRED = 8 STALLS	
EXISTING PARKING PROVIDED = 13 STALLS	
MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED = 1, WHERE THE TOTAL NUMBER OF SPACES IS BETWEEN 1 AND 25, PER ADAAG. NUMBER OF ACCESSIBLE SPACES PROVIDED = 1.	

PREPARED FOR:  
**WATERWAY GAS & WASH CO.**  
CONTACT: MIKE GOLDMAN  
727 GODDARD AVE.  
CHESTERFIELD, MO 63005  
EMAIL: MIKE@WATERWAY.COM



**NOTE:** ALL UTILITIES WILL BE INSTALLED UNDERGROUND.

**NOTE:** SIGNAGE APPROVAL WILL BE A SEPARATE APPROVAL PROCESS.

**NOTE:** ANY GAS OR ELECTRIC FACILITIES SUPPLYING ILLUMINATION TO STREET LIGHTS SHALL BE BURIED A MINIMUM OF 18 INCHES BELOW GRADE.

**NOTE:** ALL GAS OR ELECTRIC PIPING AND WIRING TO ILLUMINATION SOURCES SHALL BE CONTAINED WITHIN THE LIGHT STANDARDS OR POLE STRUCTURE.



GRIMES CONSULTING, INC.  
12300 OLD TESSON RD.  
SUITE 3000  
ST. LOUIS, MO 63128  
PH. (314) 849-6100  
FAX (314) 849-6010  
www.grimesconsulting.com  
PE COAF E-1470-D  
FLS COAF LS-343-D

REV. NO.	DATE	REMARKS
1	02/11/25	ARCH COORDINATION
2	04/02/25	CITY COMMENTS

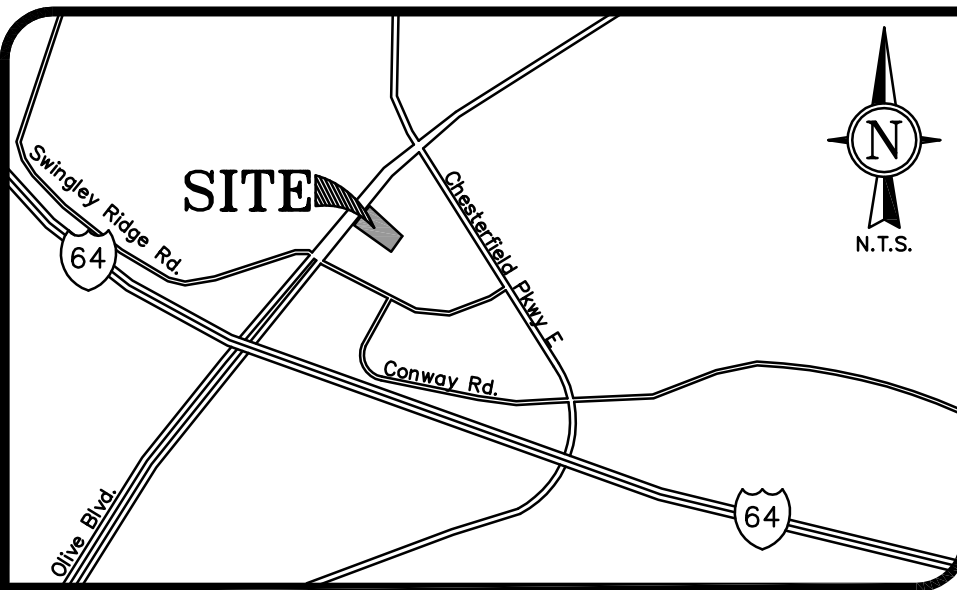
**AMENDED SITE DEVELOPMENT PLAN FOR  
WATERWAY CARWASH  
CHESTERFIELD, MO**  
15606 OLIVE BLVD. CHESTERFIELD, MO 63017

SHEET TITLE  
**AMENDED SITE DEVELOPMENT PLAN**

JOB NUMBER: 3931  
DRAWN BY: JRB  
DATE: 01/11/24  
CHECKED BY: LJM  
DATE: 01/11/24  
SHEET:

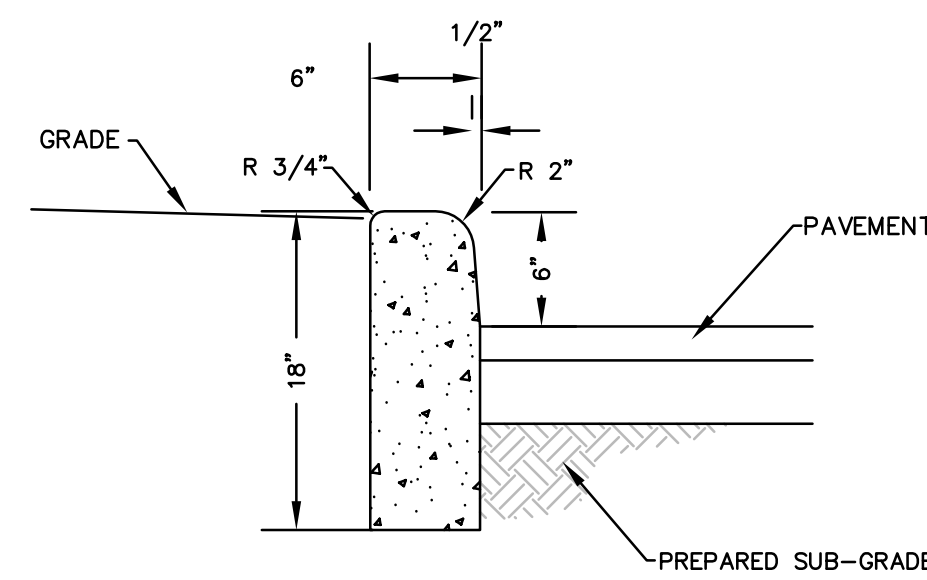
**SDP2**

M.S.D. BASE MAP 18S  
LOC. NO. 18S240410  
ZIP CODE 63017



# AMENDED SITE DEVELOPMENT PLAN WATERWAY CARWASH - CHESTERFIELD, MO SITE MAINTENANCE

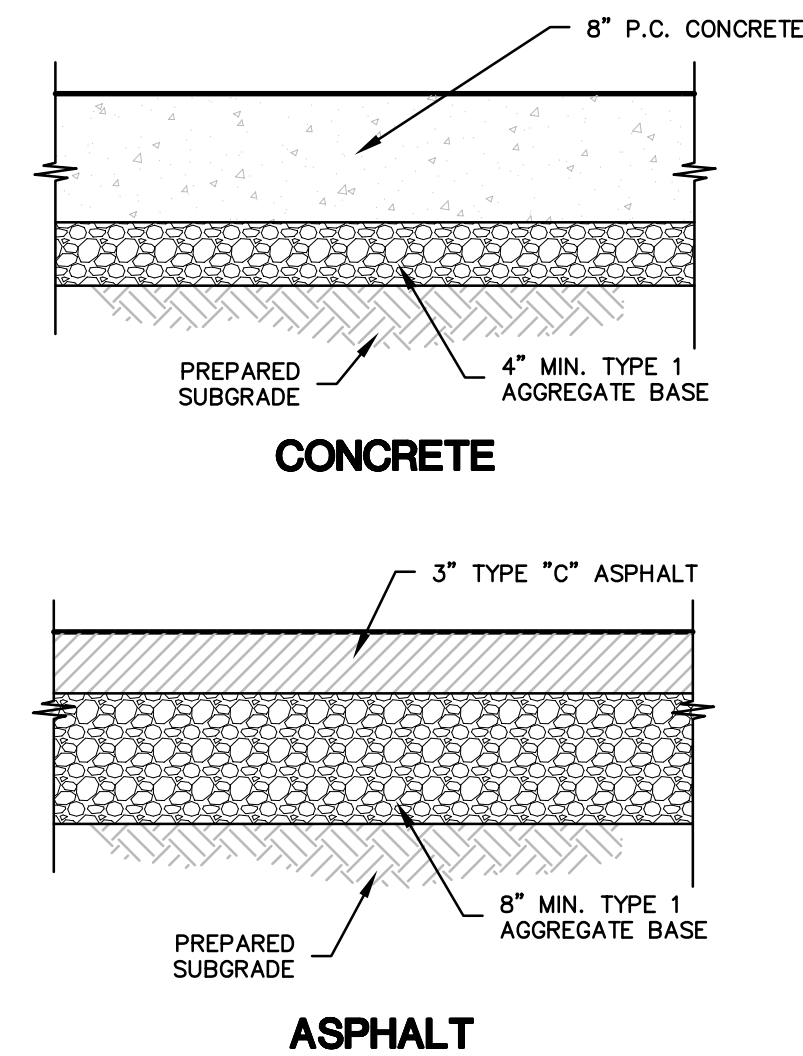
ALL OF LOT 2B OF THE SUBDIVISION OF LOT 2 OF HERMAN STEMME OFFICE PARK  
PLAT BOOK 203, PAGE 98  
CITY OF CHESTERFIELD, ST LOUIS COUNTY, MISSOURI



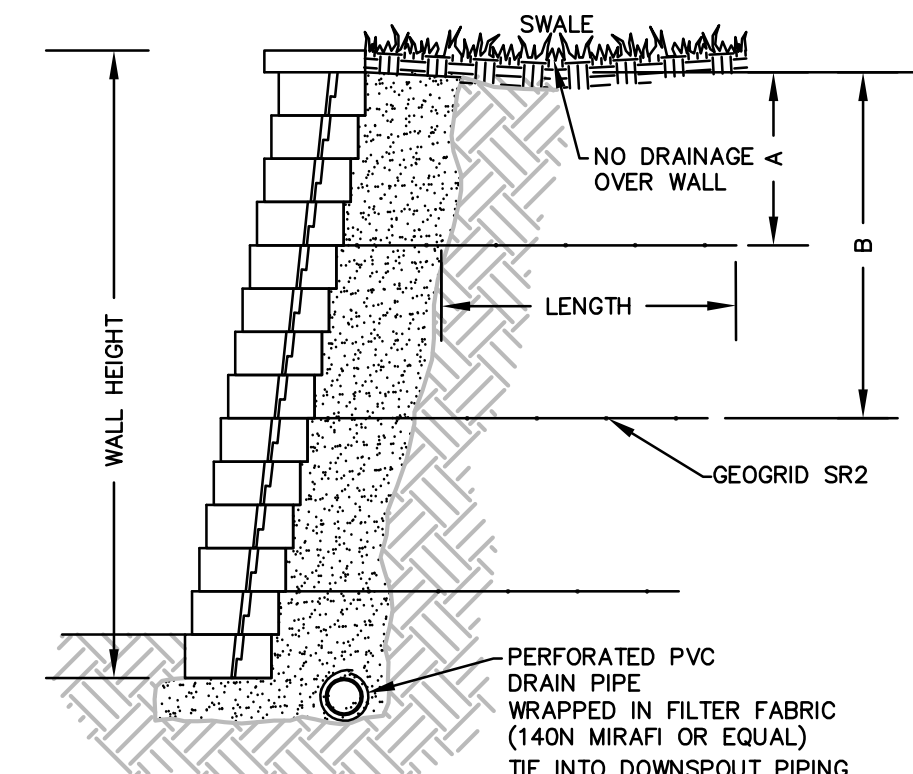
**1 CONCRETE CURB DETAIL**  
SDP3 SCALE : NTS

**NOTES:**

1. ALL CONCRETE SHALL BE MIN. FC.=3000 P.S.I.
2. ANY UNSUITABLE SOIL (AS DETERMINED BY SOILS ENGINEER) BELOW STRUCTURE SHALL BE REMOVED AND REPLACED WITH SELECT EARTHEN MATERIAL COMPACTED IN PLACE WITH VIBRATORY TAMPER.
3. PROVIDE 1/2" EXPANSION JOINTS AT 20' CENTERS.



**2 FULL DEPTH PAVEMENT**  
SDP3 SCALE : NTS



**3 RETAINING WALL DETAIL**  
SDP3 SCALE : NTS

NOTE: CONTRACTOR TO PROVIDE FINAL WALL SEALED SHOP DRAWINGS, DETAILS, AND CALCULATIONS FOR APPROVAL.



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www.grimesconsulting.com  
PE COAF E-1470-D  
FLS COAF LS-343-D

REV. NO.	DATE	REMARKS
1	02/11/25	ARCH COORDINATION
2	04/02/25	CITY COMMENTS

AMENDED SITE DEVELOPMENT PLAN FOR  
**WATERWAY CARWASH**  
**CHESTERFIELD, MO**  
 15606 OLIVE BLVD. CHESTERFIELD, MO 63017

SHEET TITLE  
**SITE DETAILS**

JOB NUMBER:	3931
DRAWN BY:	JRB
DATE:	01/11/24
CHECKED BY:	LJM
DATE:	01/11/24

SHEET:  
**SDP3**

M.S.D. BASE MAP 18S  
LOC. NO. 18S240410  
ZIP CODE 63017

PREPARED FOR:  
**WATERWAY GAS & WASH CO.**  
CONTACT: MIKE GOLDMAN  
727 GODDARD AVE.  
CHESTERFIELD, MO 63005  
EMAIL: MIKE@WATERWAY.COM



DEPARTMENT OF PLANNING

SCRIPT FOR A AMENDED SITE DEVELOPMENT SECTION PLAN

(INCLUDE THE ABOVE SECTION)

(INSERT LEGAL DESCRIPTION WITH TOTAL ACREAGE)

\_\_\_\_\_, the owner(s) of the property shown on this plan for and in consideration of being granted approval of said plan to develop property under the provisions of Section 03.\_\_\_\_\_, \_\_\_\_\_ of City of Chesterfield Unified Development Code, do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the City of Chesterfield, or voided or vacated by order of ordinance of the City of Chesterfield Council.

(Signature): \_\_\_\_\_

(Name Typed): \_\_\_\_\_

Rev. 02/2020

(AND EITHER INCLUDE THIS SECTION FOR A CORPORATION)

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ ) SS.

On this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, before me personally appeared \_\_\_\_\_, to me known, who, being by me sworn in, did say that he/she is the \_\_\_\_\_ of \_\_\_\_\_ a \_\_\_\_\_ (Title) \_\_\_\_\_ (Name of Corporation) corporation in the State of \_\_\_\_\_, and that the seal affixed to the foregoing instruments is the corporate seal of said corporation, and that said instrument was signed on behalf of said corporation by authority of its Board of Directors, and the said \_\_\_\_\_ (Officer of Corporation) acknowledged said instrument to be the free act and deed of said corporation.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my Office in \_\_\_\_\_, the day and year last above written.

My term expires \_\_\_\_\_.  
\_\_\_\_\_  
(Notary Public)

(OR INCLUDE THIS SECTION FOR AN INDIVIDUAL)

State of \_\_\_\_\_ )  
County of \_\_\_\_\_ ) SS.

On this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_, before me personally appeared \_\_\_\_\_, and \_\_\_\_\_, his wife, to me known (Individual) \_\_\_\_\_ (Wife) to be the person(s) described in, and who executed the foregoing instrument, and acknowledged that he, she or they executed the same as his, her, or their free act and deed.

In Testimony Whereof, I have hereunto set my hand and affixed my Notarial Seal at my Office in \_\_\_\_\_, the day and year last above written.

My term expires \_\_\_\_\_.  
\_\_\_\_\_  
(Notary Public)

Rev. 02/2020

(AND INCLUDE THIS SECTION)

This Amended Site Development Section Plan ~~This Site Development Plan~~ was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by the Chairperson of said Commission, authorizing the recording of this Site Development Plan pursuant to Chesterfield Ordinance Number 200, as attested to by the Director of Planning and the City Clerk.

Justin Wyse, AICP  
Director of Planning  
City of Chesterfield, Missouri

Vickie McGownd, City Clerk  
City of Chesterfield, Missouri

Rev. 02/2020



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REV. NO.	DATE	REMARKS
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AMENDED SITE DEVELOPEMENT PLAN FOR  
**WATERWAY CARWASH**  
**CHESTERFIELD, MO**  
15606 OLIVE BLVD. CHESTERFIELD, MO 63017

SHEET TITLE  
**SCRIPT**

JOB NUMBER: **3931**  
DRAWN BY: **JRB**  
DATE: **01/11/24**  
CHECKED BY: **LJM**  
DATE: **01/11/24**

SHEET:  
**SDP4**

J:\3931\Drawings\Engineering\SDP\3931\_Site.dwg 12/2025 10:45 AM Jacob Broomeyer

PREPARED FOR:  
**WATERWAY GAS & WASH CO.**  
CONTACT: MIKE GOLDMAN  
727 GODDARD AVE.  
CHESTERFIELD, MO 63005  
EMAIL: MIKE@WATERWAY.COM

M.S.D. BASE MAP 18S  
LOC. NO. 18S240410  
ZIP CODE 63017



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS AT GRADE	Illuminance	Fc	0.97	11.8	0.0	N.A.	N.A.
PAY CANDY 1	Illuminance	Fc	0.32	0.4	0.2	1.60	2.00
PAY CANDY 2	Illuminance	Fc	14.18	16.7	11.2	1.27	1.49
CANDY	Illuminance	Fc	5.13	11.8	0.6	8.55	19.67
INSIDE CURB	Illuminance	Fc	2.47	16.7	0.0	N.A.	N.A.

Fixture Types A2 & B2 Dimmed 90%.

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts
[Symbol]	4	A1	SINGLE	CRUS-SC-SLW-50	15'	1.000	1.000	5955	38
[Symbol]	4	A2	SINGLE	CRUS-SC-SLW-50	15'	0.100	0.100	5955	38
[Symbol]	5	B1	SINGLE	SLM-LED-09L-SIL-FT-50-70CRI-IL	20'	1.000	1.000	6151	63
[Symbol]	6	B2	SINGLE	SLM-LED-09L-SIL-FT-50-70CRI-IL	20'	1.000	0.100	6151	63
[Symbol]	2	C	D180*	SLM-LED-09L-SIL-5W-50-70CRI	20'	1.000	1.000	18900	126
[Symbol]	6	D	SINGLE	PDL6K-LED-08-30	8'	1.000	1.000	817	12.2

Total Project Watts  
Total Watts = 1322.2



LIGHTING PROPOSAL LD-133421-11

WATERWAY  
727 GODDARD AVE  
CHESTERFIELD, MO

BY: AHK DATE: 6/15/16 REV: 02/14/25 SHEET 1 OF 1

SCALE: 1"=20' 0 20



**EXISTING CONDITIONS - LANDSCAPE**

**EXISTING CONDITIONS - NOTES**

1. TBR = TO BE REMOVED
2. ALL EXISTING PLANTS, INCLUDING TREES, ARE IN FAIR TO GOOD CONDITION EXCEPT AS NOTED ON PLAN
3. ALL EXISTING PLANT MATERIAL TO REMAIN IN PLACE UNLESS OTHERWISE NOTED

**GENERAL NOTES**

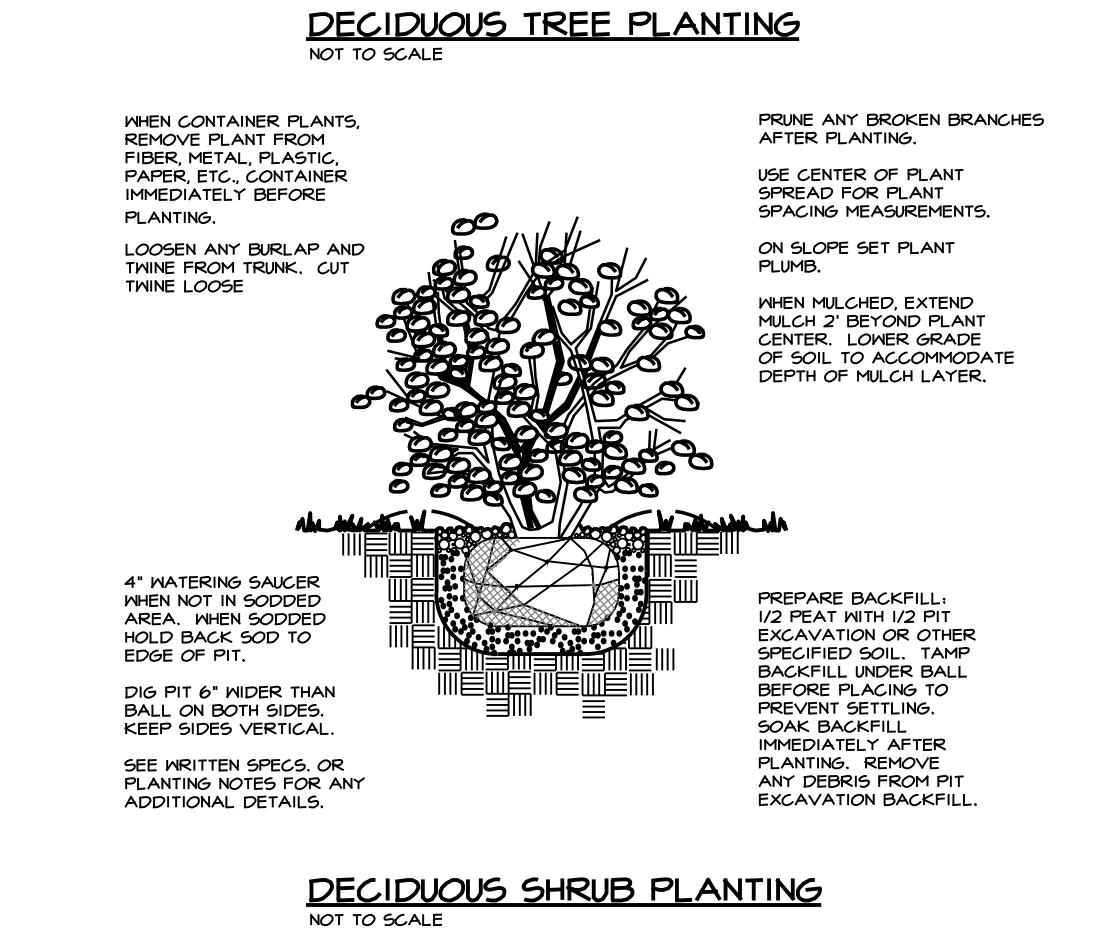
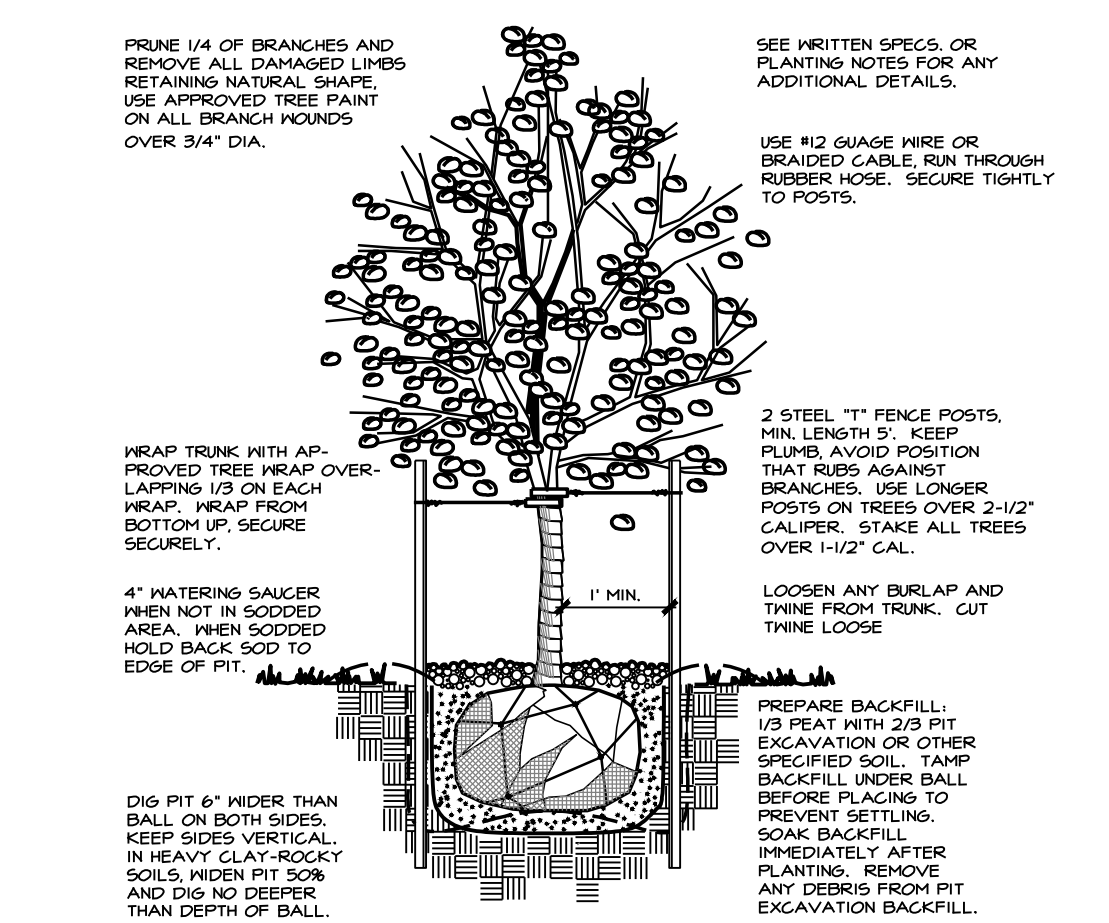
1. REPORT ANY DISCREPANCIES FOUND WITH REGARD TO EXISTING AND/OR PROPOSED CONDITIONS IMMEDIATELY TO THE CITY'S REPRESENTATIVE.
2. DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WHERE KNOWN DISCREPANCIES EXIST. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS RESULTING FROM FAILURE TO PROVIDE PROPER NOTIFICATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER RELATED CONSTRUCTION ACTIVITIES NECESSARY TO ACCOMPLISH SPECIFIED WORK.
4. SEE PLANTING DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
5. ALL SHRUB BEDS SHALL RECEIVE 3"-4" SHREDDED HARDWOOD BARK MULCH. APPLY GRANULAR PRE-EMERGENT HERBICIDE THROUGHOUT PLANT BED. APPLY PER MANUFACTURER'S RECOMMENDED RATE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL NECESSARY CONSTRUCTION PERMITS FROM APPROPRIATE AGENCIES PRIOR TO BEGINNING WORK.
7. IN THE EVENT THAT PLAN GRAPHICS AND PLANT SCHEDULE CONFLICT, PLAN GRAPHICS SHALL TAKE PRECEDENCE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
8. STREET TREES REQ. = 184' FRONTAGE / 50' = 4 TREES  
NO STREET TREES PROPOSED (NO STREET TREES PRESENT IN THE ENTIRE AREA).

**EXISTING TREE SCHEDULE**

KEY	QUAN.	BOT. NAME	SIZE	GROWTH RATE
<b>DECIDUOUS TREES</b>				
X-BRADFORD PEAR	1	Prunus cal.	As Noted	Fast
X-BOXELDER	1	Acer negundo	As Noted	Fast
X-COTTONWOOD	1	Populus deltoides	As Noted	Fast
X-ELM	6	Ulmus sp.	As Noted	Moderate
X-MAPLE	1	Acer rubrum	As Noted	Moderate
X-PECAN	1	Carya sp.	As Noted	Moderate
X-WALNUT	2	Juglans nigra	As Noted	Moderate
<b>EVERGREEN TREES</b>				
X-PINE	4	Pinus sp.	As Noted	Moderate

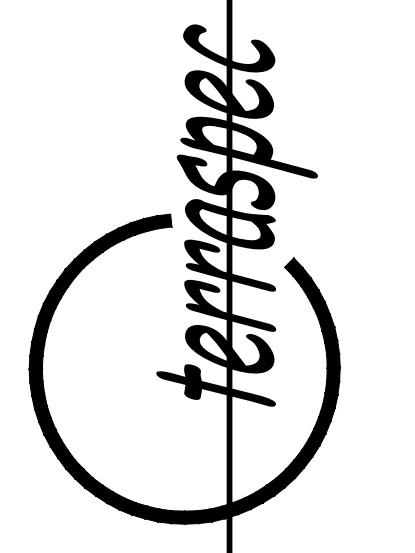
**PROPOSED PLANT SCHEDULE**

KEY	QUAN.	BOT. NAME	COMMON NAME	SIZE	GROWTH RATE
<b>DECIDUOUS TREE</b>					
GBPS	4	Ginkgo biloba	'Princeton Sentry'	2 1/2" CAL.	Moderate
<b>DECIDUOUS SHRUBS</b>					
IVLH	4	Itea virginica	'Little Henry'	5 GAL.	



**PROPOSED CONDITIONS - LANDSCAPE**

LAND PLANNING  
RECREATION PLANNING AND DESIGN  
LANDSCAPE ARCHITECTURE  
11426 Gravois Road Suite 102  
ST. LOUIS, MO 63126  
(314) 984-8211



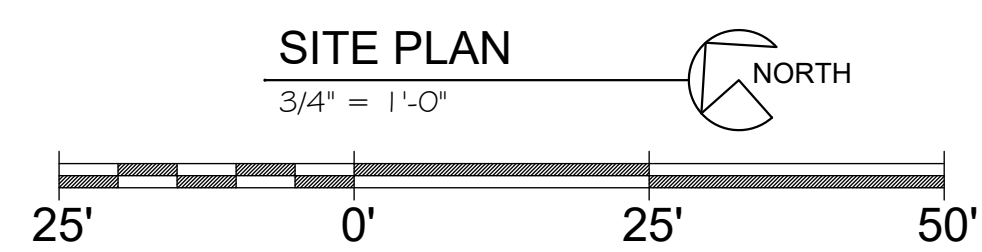
**WATERWAY**  
GAS & WASH  
15606 OLIVE BLVD, CHESTERFIELD, MO 63017

OWNER  
**WATERWAY**  
GAS & WASH  
727 GODARD AVENUE  
CHESTERFIELD, MO 63005  
Phone: (636) 537-1111  
Fax: (636) 537-1115  
EMAIL: mike@waterway.com

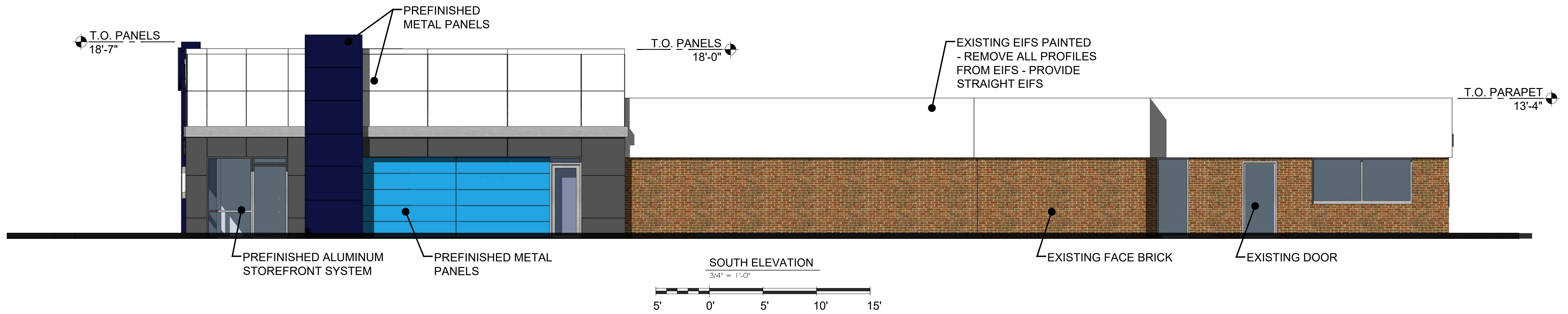
SHEET TITLE  
JOB NUMBER  
**05-020.01**  
DATE  
08/05/24  
DRAWN BY  
KJK  
REVISION  
9/11/24 CITY COMMENTS  
2-12-25 CITY COMMENTS  
3-4-25 CITY COMMENTS  
4-1-25 ADD DIMENSION  
SHEET NUMBER  
**L1**

Call before you DIG  
Dial 811 or TOLL FREE  
1-800-344-7483  
mo1call.com  
MISSOURI ONE-CALL SYSTEM INC.

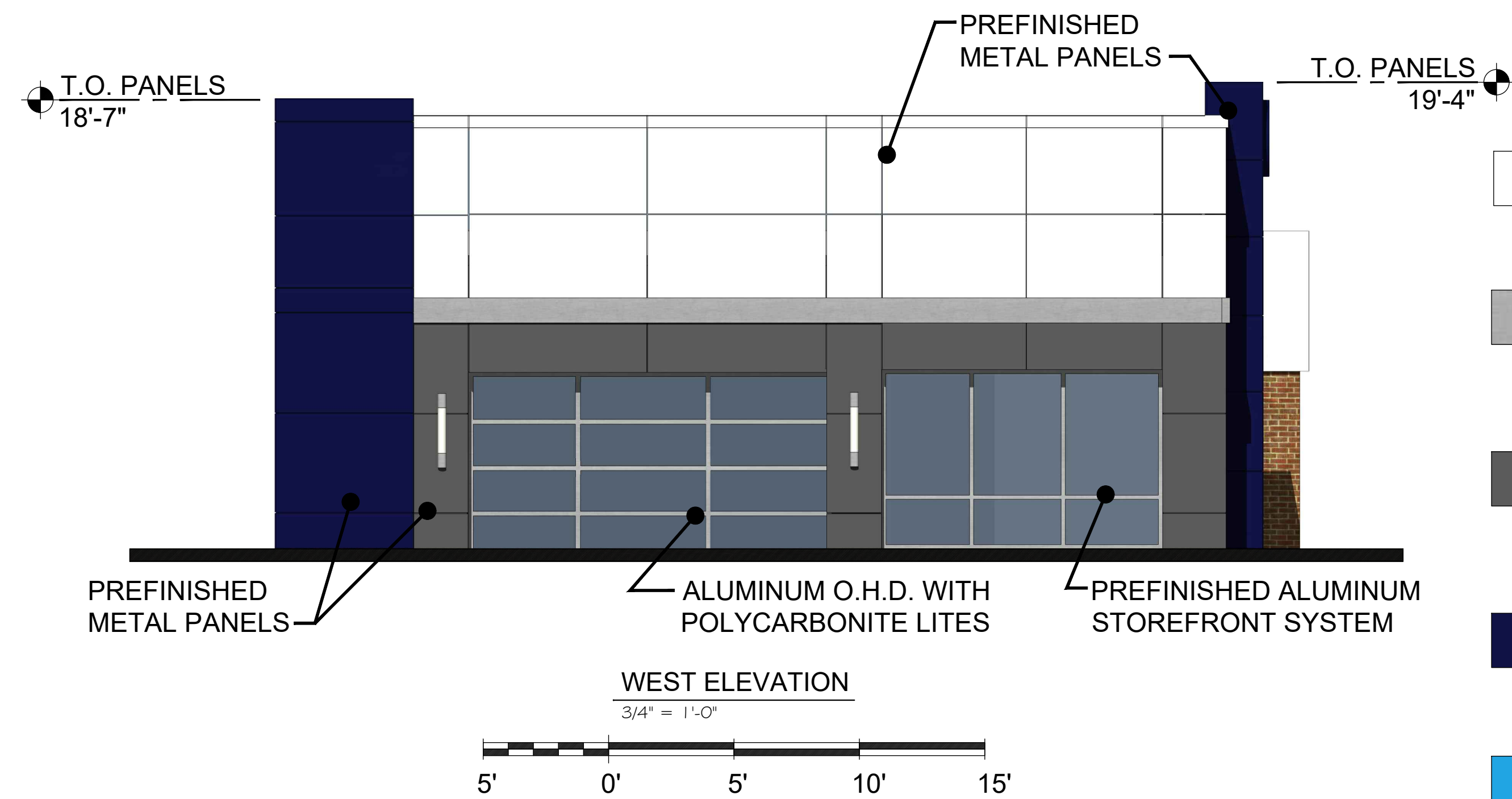
Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities.  
The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act.



Chesterfield, MO

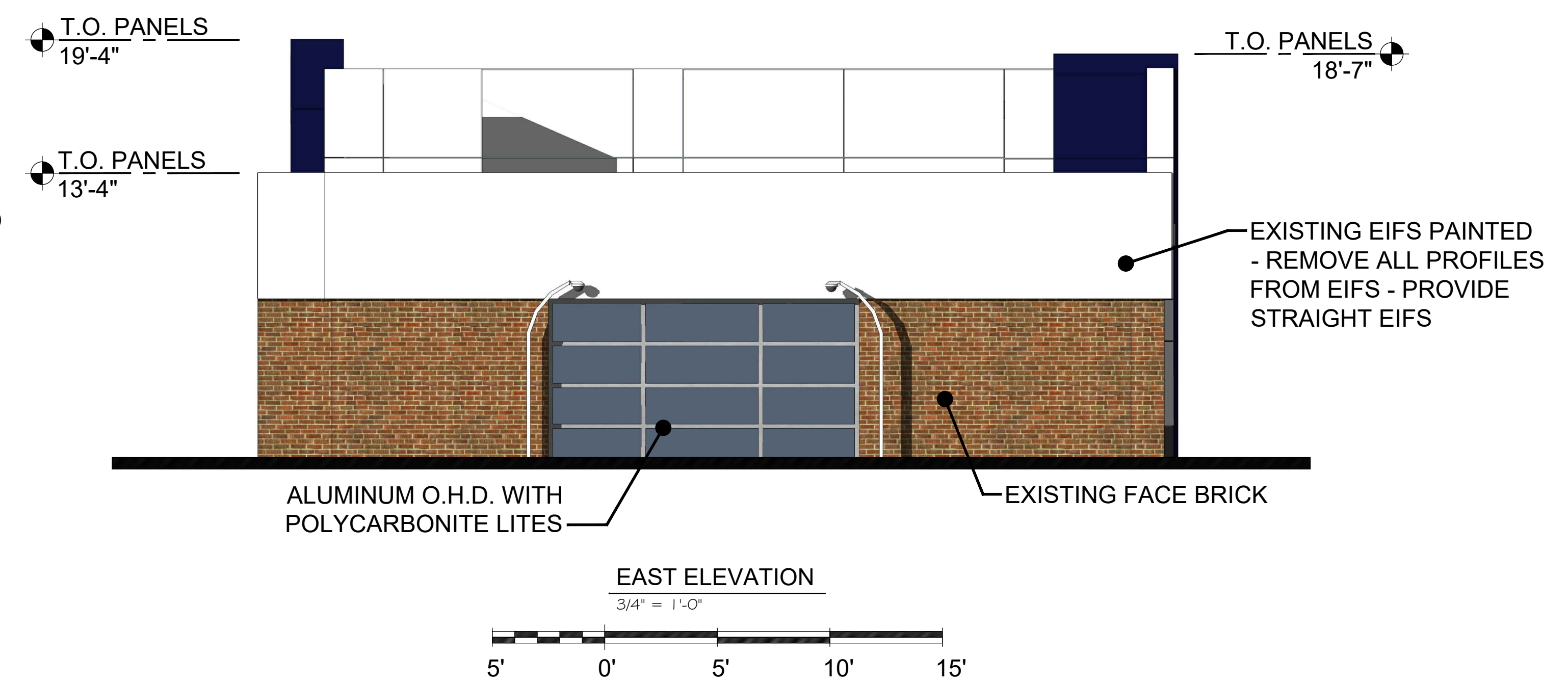


**SOUTH ELEVATION**  
 3/4" = 1'-0"  
 5' 0' 5' 10' 15'

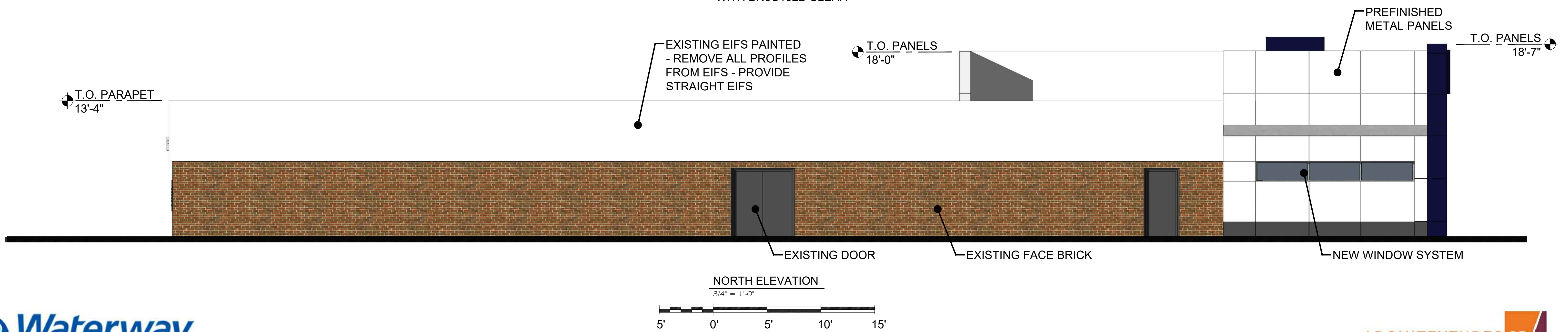


**WEST ELEVATION**  
 3/4" = 1'-0"  
 5' 0' 5' 10' 15'

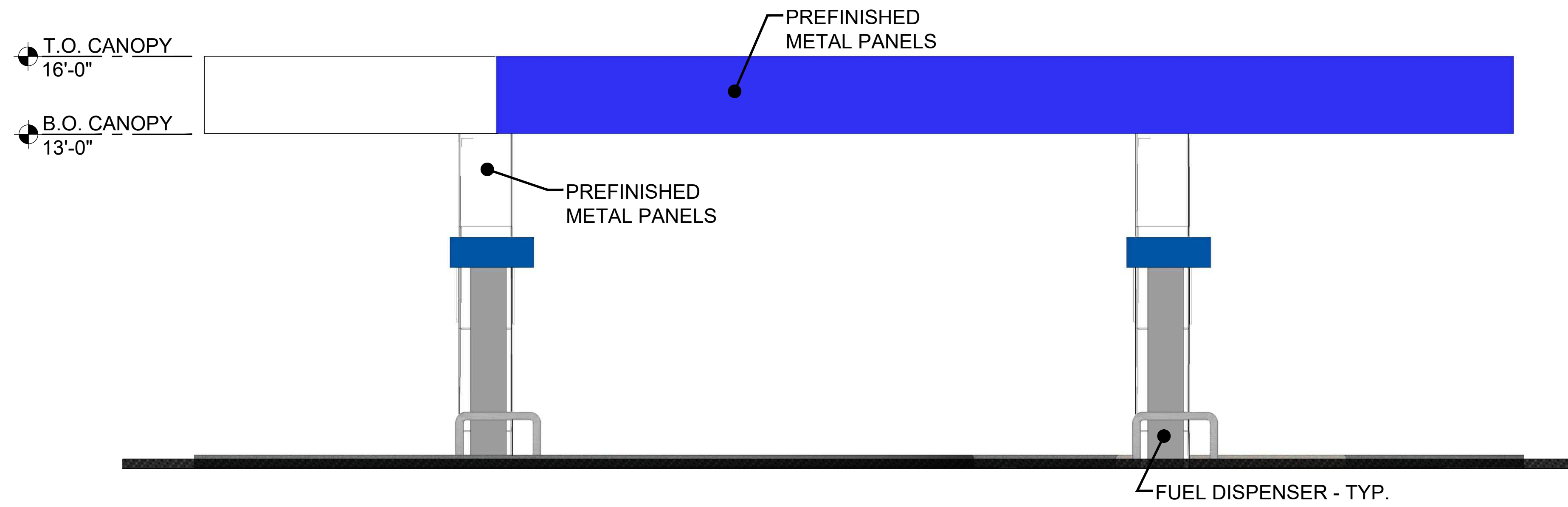
- REYNOBOND COLORWELD 500 PURE WHITE
- PRE-ENGINEERED PRE-FINISHED METAL SILVER
- ALPOLIC 4mm4MZG3.5 MZG MICA GREY
- REYNOBOND COLORWELD 300 MIDNIGHT BLUE
- DURANAR ULTRA-COOL WATERWAY BLUE WITH BN5C102B CLEAR



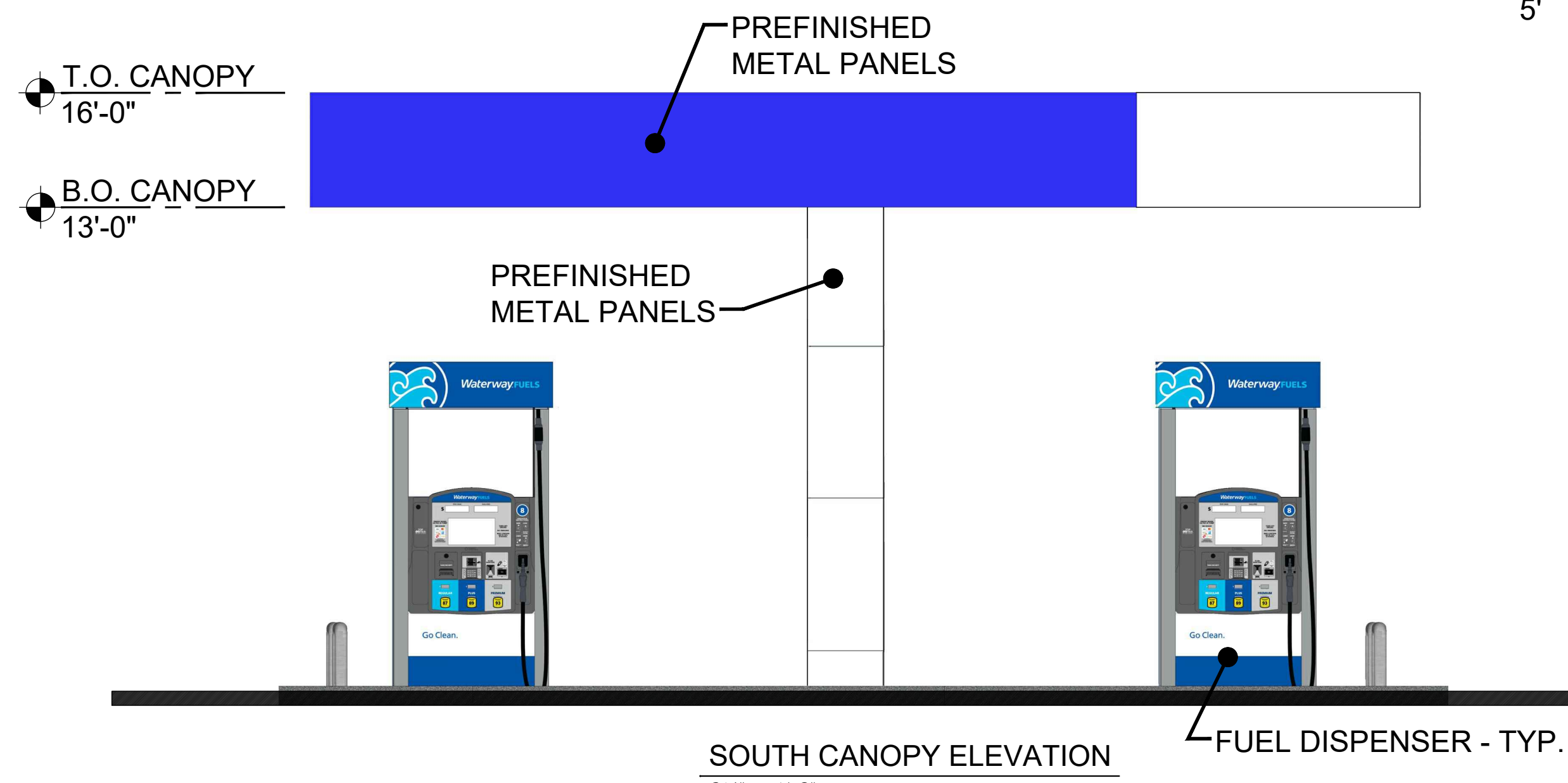
**EAST ELEVATION**  
 3/4" = 1'-0"  
 5' 0' 5' 10' 15'



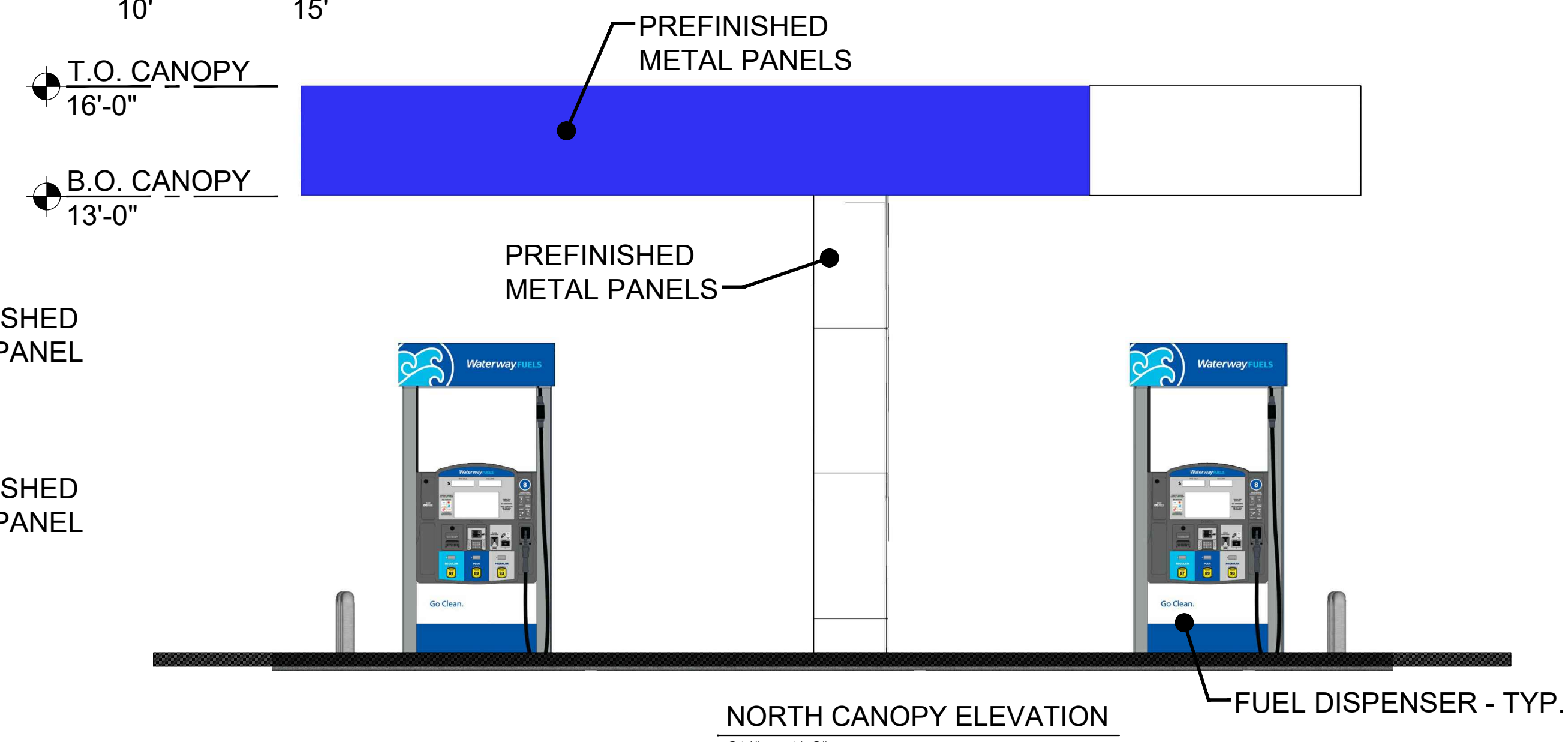
**NORTH ELEVATION**  
 3/4" = 1'-0"  
 5' 0' 5' 10' 15'



WEST CANOPY ELEVATION  
 3/4" = 1'-0"

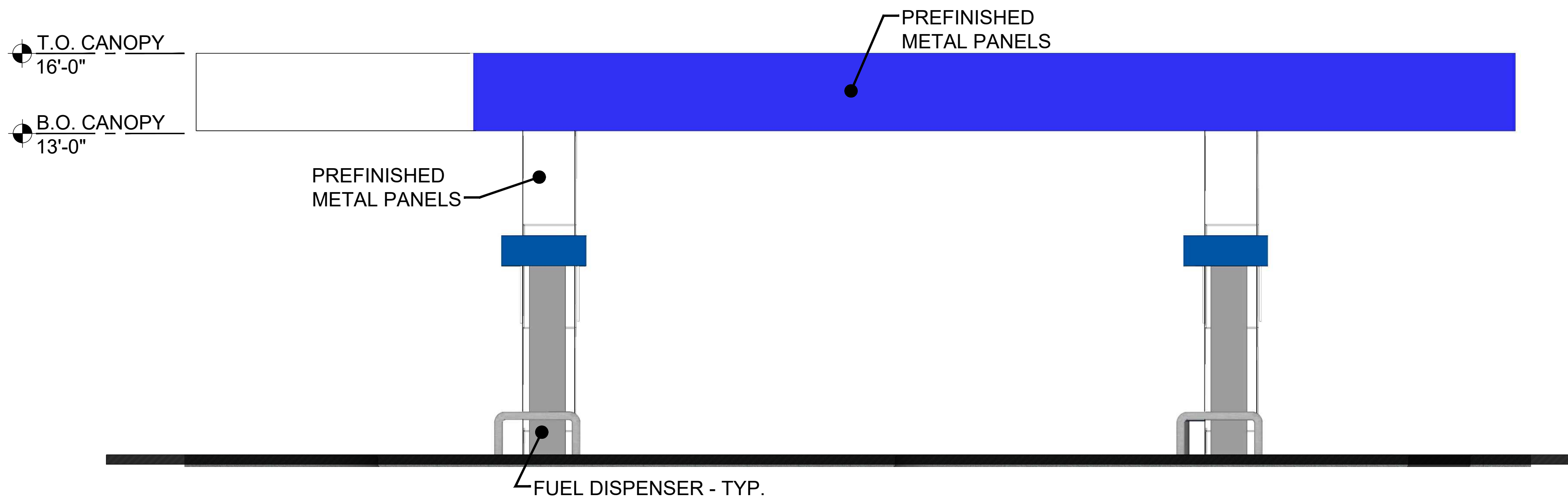


SOUTH CANOPY ELEVATION  
 3/4" = 1'-0"



NORTH CANOPY ELEVATION  
 3/4" = 1'-0"

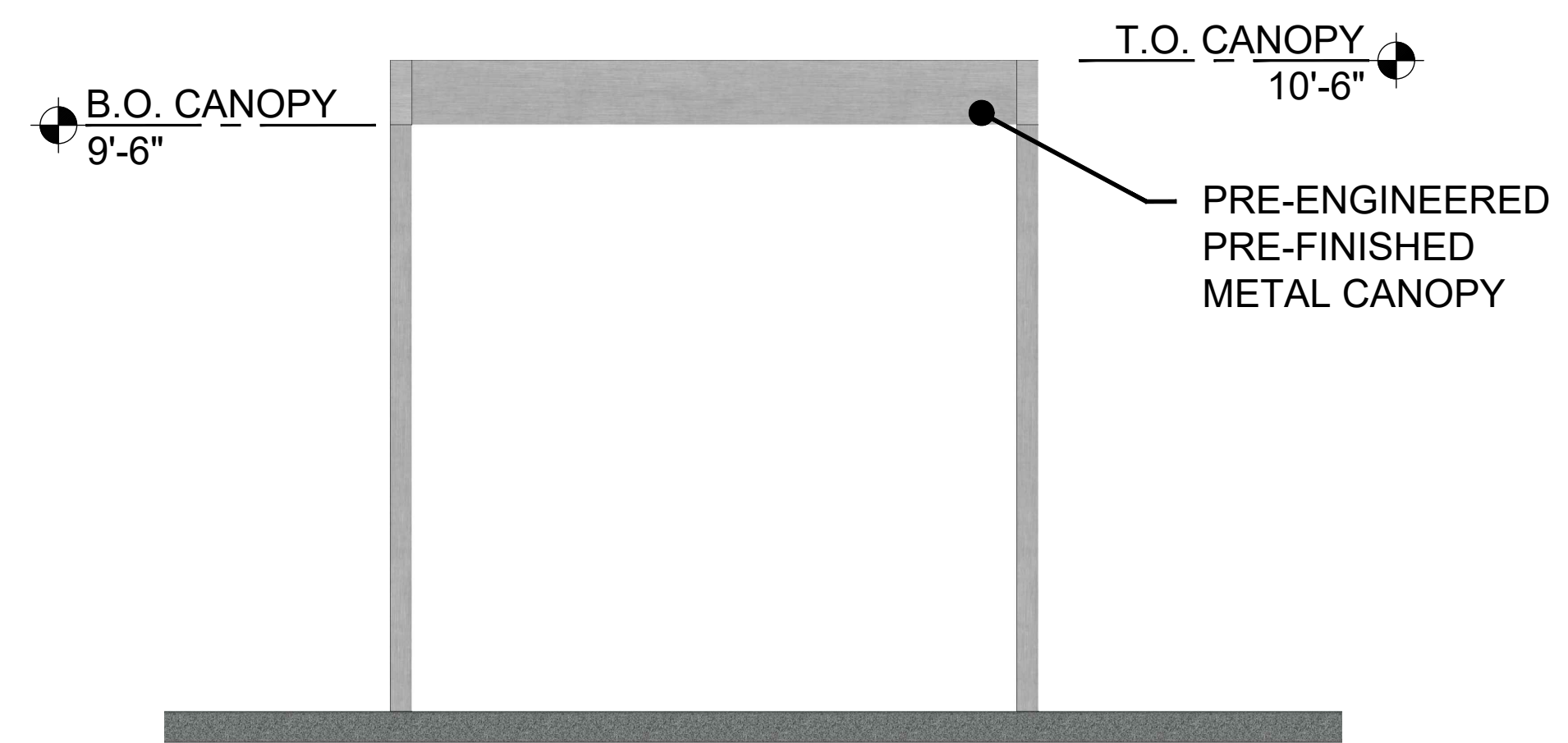
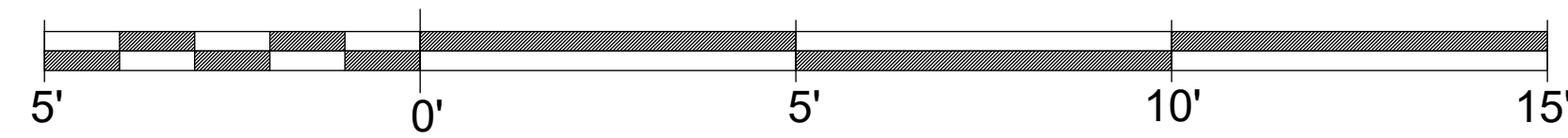
- PREFINISHED METAL PANEL WHITE
- PREFINISHED METAL PANEL BLUE



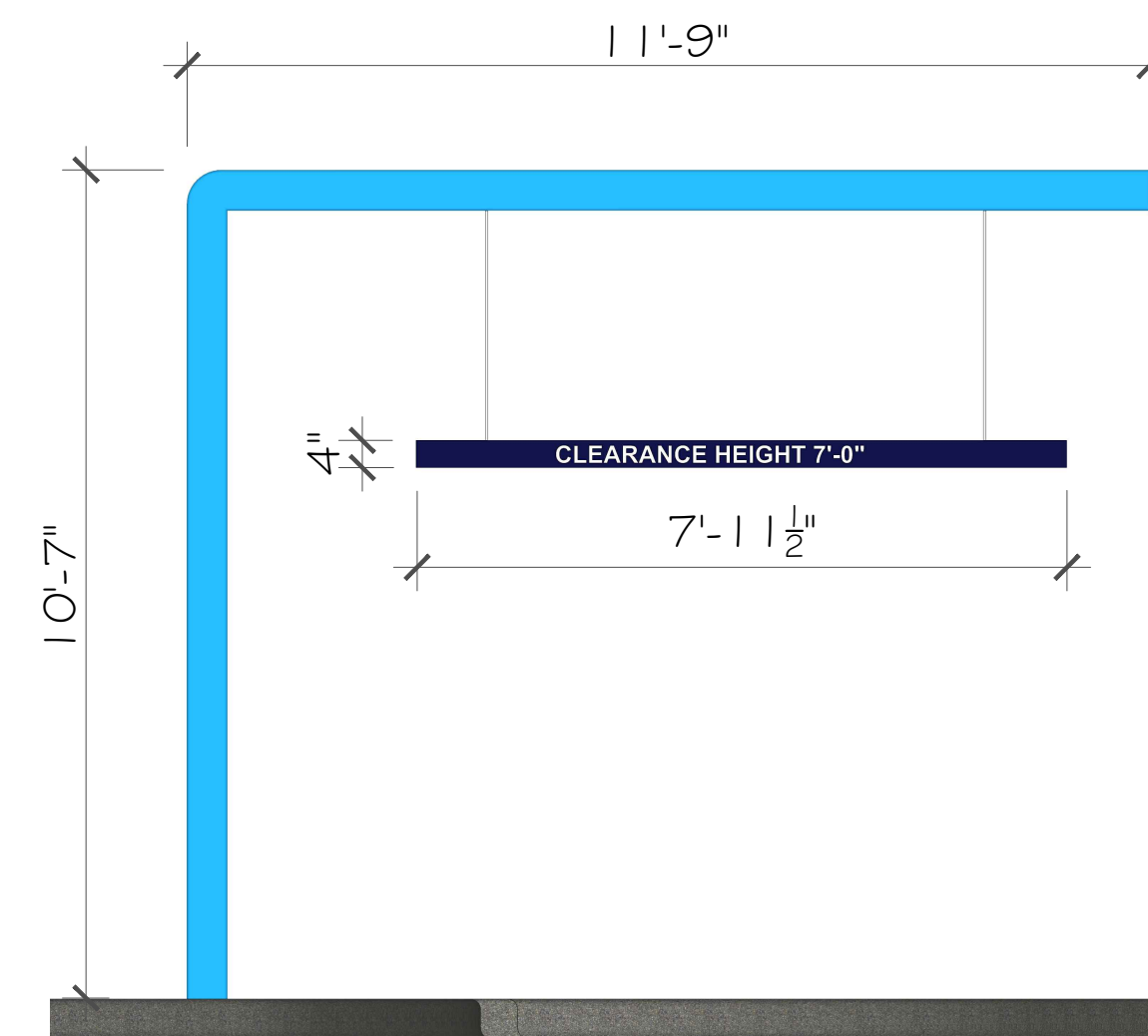
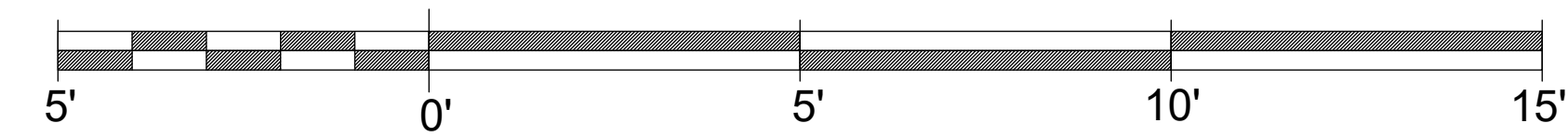
EAST CANOPY ELEVATION  
 3/4" = 1'-0"



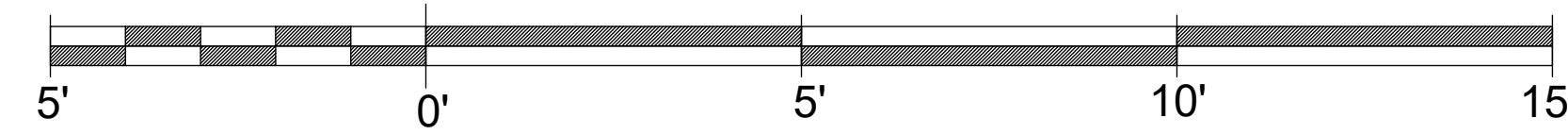
#1 CANOPY ELEVATION (SIDES)



#2 CANOPY ELEVATION (FRONT / REAR)



#3 XPT HEADACHE BAR ARM  
(2) TOTAL





PERSPECTIVE VIEW #1



PERSPECTIVE VIEW #2



PERSPECTIVE VIEW #3



PERSPECTIVE VIEW #4



PERSPECTIVE VIEW #5



PERSPECTIVE VIEW #6

## Architectural Review Board Staff Report

**Meeting Date:** May 15<sup>th</sup>, 2025

**From:** Alyssa Ahner, Senior Planner

**Location:** South of the intersection of Olive Street Road and Chesterfield Airport Road

**Description:** **The Wedge:** An Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for a 5.04-acre tract of land zoned “PC” – Planned Commercial located south of the intersection of Olive Street Road and Chesterfield Airport Road.

### PROPOSAL SUMMARY

The City of Chesterfield, on behalf of Energy Marketing 709, LLC, has submitted plans for the redevelopment of an existing gas station into a mixed use development. The mixed use development will consist of a new gas station with a car wash and convenience store on the western portion of the site and a multi-tenant retail building just to the east of the gas station. The existing gas station on site will be demolished.



Figure 1: Subject Site

### SITE HISTORY

Ordinance 2820, the current zoning for the site, was established in 2013 and included language for access to the site. More specifically, it included language that prohibited left turn movements out of the development at the easternmost access point on Chesterfield Airport Road and the requirement that the development must construct a barrier median separating the westbound and eastbound lanes of Chesterfield Airport Road.

A Site Development Plan was submitted in 2015 and the proposed development did not meet the access criteria established in the zoning ordinance. St. Louis County Department of Transportation, owner of Chesterfield Airport Road and Olive Street Road, provided comments of the Site Development Plan

stating that “for traffic safety reasons the barrier median will not be permitted to be constructed on Chesterfield Airport Road. In addition the left turn movement out of the easternmost access to Chesterfield Airport Road is required for adequate access and to enhance traffic safety”. The City was later sued for reasons related to roadway jurisdiction.

For the purpose of a high level comparison, the site layout that the Architectural Review Board reviewed in May of 2016 can be found in *Figure 2* and the current proposed site layout can be found in *Figure 3*. Additionally, the ARB meeting results letter from 2016 has been attached to this report.

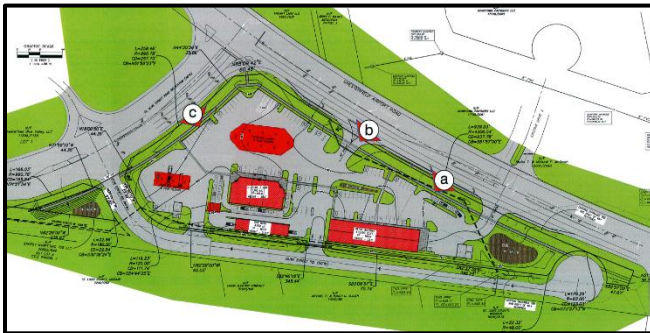


Figure 2: Site layout reviewed in May 2016



Figure 3: Current proposed site layout

### **SITE RELATIONSHIPS**

The site is primarily surrounded by vacant undeveloped land to the south with exception to an Ameren substation. For the purpose of considering future development, the land to the south is designated as industrial in the Comprehensive Land Use Plan. A hotel and hockey complex are located to the north while a gas station and retail uses are located to the west. All land north of the property is designated as regional commercial in the Comprehensive Land Use Plan.

### **CIRCULATION, ACCESS, & PARKING**

Access to the site from Chesterfield Airport Road and Olive Street Road is not being reviewed by the City. Both roads fall under St. Louis County’s jurisdiction and will be reviewed when permits are applied for. Sidewalk will be constructed on the property with an easement dedicated for public access.

The development is proposing two full access drives on Old Olive Street Road which is owned by the City. Both drives adhere to the Preliminary Development Plan associated with the ordinance amendment that is being reviewed concurrently.

Parking is being provided throughout the site with a drive aisle separating the gas station from the proposed retail building. The amount of parking exceeds what is allowed per City code but is being reviewed concurrently through the ordinance amendment.

### **TOPOGRAPHY**

Chesterfield Airport Road and Olive Street Road sit roughly five (5) feet higher than the site. Fill will be brought in to help level and provide more functional drainage throughout the site. A bio-retention basin is proposed on the furthest eastern portion of the site, a second on the outlot located just west of the main

parcel, and a third smaller one towards the center of site. There aren't any retaining walls proposed or necessary.

**SCALE, DESIGN, MATERIALS, & COLOR**

***Convenience Store, Carwash, and Gas Station***

The convenience store, carwash, and gas station are all located on the western portion of the site. The building for the convenience store varies in height but sits at a maximum height of 29' with a square footage of 6,650. It will be constructed of a mixture of adhered stone, brick veneer, and EIFS with a standing seam metal roof. Metal awnings in a matte black have been incorporated to match the roof. Lastly, any proposed rooftop mechanical equipment will be partially screened by the parapet with additional screening provided by a light tan acrylic ribbed panel enclosure. *Figure 4* depicts the front or north elevation which will be most visible from Chesterfield Airport Road.



Figure 4: Front or north elevation facing Chesterfield Airport Road

The 3,000 square foot carwash, which is proposed as being attached to the rear of convenience store, is 21'8" tall. The same mixture of stone and brick veneer is proposed. The entrance to the car wash is on the west and has a separated drive area for stacking with an 11'11" tall arched steel structure for signage. The sign itself does not fall within ARB's purview. A sign package will be submitted to Planning Commission at a later date to review signage allowance. *Figure 5* depicts the carwash area outlined in red and an image of the arched structure with its intended location. Lastly, located just south of the carwash are twelve (12) vacuum stations with canopies. The equipment and canopies will be black in color to match the awnings and roof of the proposed buildings as shown in *Figure 6*.

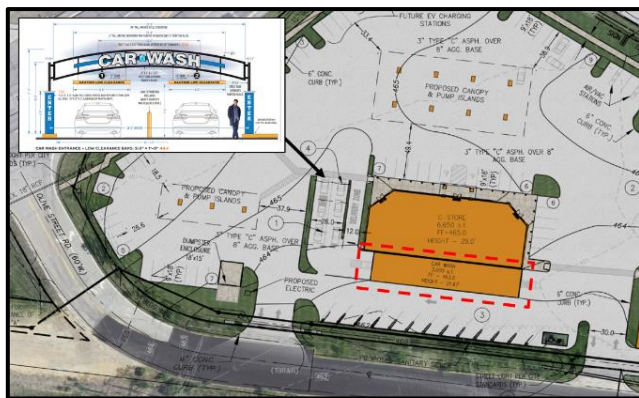


Figure 5: Car wash location



Figure 6: Vacuum stations behind carwash

The gas station will consist of a canopy for commercial fueling and a canopy for regular fueling. The commercial fueling canopy, measuring at a maximum height of 21', will be located in the furthest western corner of the site. The regular fueling canopy, measuring at a maximum height of 19'6", will be located on the northern portion of site along Chesterfield Airport Road.

**Multi-tenant Retail Building**

The proposed 10,000 square foot multi-tenant retail building is located to the east of the convenience store with a maximum height of 23'8". It will be constructed of a mixture of brick veneer, split-faced concrete masonry units, and EIFS. Metal awnings to match the convenience store have been incorporated on the north/front elevation. Similar to the other building, the rooftop mechanical equipment will be partially screened by the parapet with additional screening by a light tan acrylic ribbed panel enclosure. *Figure 7* depicts the front or north elevation which will be most visible from Chesterfield Airport Road.



Figure 7: Front or north elevation facing Chesterfield Airport Road

**LANDSCAPE DESIGN & SCREENING**

The landscaping requirements for the site are currently being reviewed with the ordinance amendment. The language is being written to mimic the proposed landscaping on the Preliminary Development Plan. This may reflect a reduction in what is typically required per Code. A condition of Planning Commission's approval for the ordinance amendment included working with staff to revisit the landscape plan. This process is ongoing.

As the proposal currently stands, a mixture of street trees and shrubs are proposed along Chesterfield Airport Road including landscaped beds at each entrance. Landscaped beds are also proposed around each desired freestanding monument sign. The amount of signage does not fall within ARB's purview. A sign package will be submitted to Planning Commission at a later date to review signage allowance.

Located internal to the site, a mixture of perennials and shrubs are found to the west of the carwash entrance while evergreen trees and shrubs surround each of the two proposed trash enclosures. One trash enclosure is proposed on the eastern portion of the site and a second is proposed on the western portion of the site. Each enclosure will be constructed using brick veneer and a cast stone cap to match the buildings.

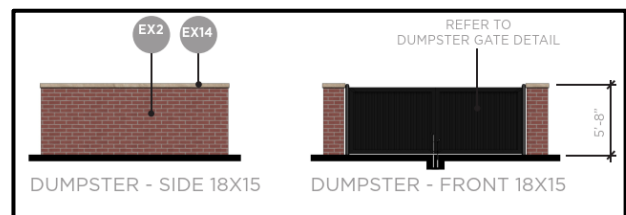


Figure 8: Trash enclosure

**LIGHTING**

All exterior lighting will adhere to the City’s UDC lighting code requirements. A mixture of matching wall mounted lights, parking lot lights, fuel canopy lights, and street lights are proposed throughout the site. *Figure 9* depicts the proposed fixtures.



Figure 9: Proposed lighting fixtures

**RENDERING**



Aerial view from Old Olive Street Road



View from entrance off of Olive

**DEPARTMENT INPUT**

Be advised, this project is still going through development review by City Staff and will not proceed to the Planning Commission until all outstanding items have been addressed. All recommendations made by the ARB will be included in Staff's report to the Planning Commission. Staff requests review and recommendation on this submittal for The Wedge.

**MOTION**

The following options are provided to the Architectural Review Board for consideration relative to this application:

- 1) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for The Wedge, as presented, with a recommendation for approval (or denial)."
  
- 2) "I move to forward the Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for The Wedge with the following recommendations..."

Attachments:

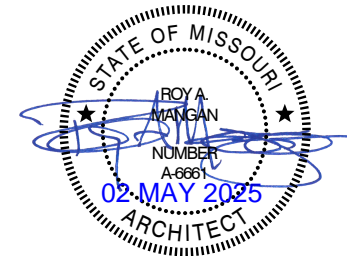
1. Architectural Review Packet Submittal
2. 2016 ARB Meeting Results Letter



# Architectural Review Board Submittal Package

[02 May 2025]

Chesterfield, Missouri The Wedge (Mc Grath Plaza) Energy Express





## Project Description

The Energy Express project is located at the intersection of Olive Street Road and Chesterfield Airport Road in Chesterfield, Missouri. Old Olive Street Road is located along the back side of the property. The site is comprised of approximately 5.26 acres. The proposed project includes the construction of three new buildings, including a 6,650 s.f. - 29'-0" high C-Store, a 3,000 s.f. - 21'-8" high Car-wash (connected to C-Store), and a 10,000+/- s.f. - 23'-6" high Retail lease space. There will also be a 19'-6" high canopy over the automobile fuel pump island and a 21'-0" high canopy over a separate commercial fuel pump island.

To address concerns of the adjoining airport, the tallest building is 29'-0" high, well under the height of the existing trees adjacent to the property and multi-story hotel across the street.

The site is relatively flat with only a one to three foot rise and fall across the property to achieve proper site drainage.

## Site Relationship

The Scale and Fenestration of the proposed structures are compatible with neighboring use groups and surrounding buildings. The buildings are oriented with the most articulate facades and public accessible portions of the buildings addressing the Chesterfield Airport Road. As designed, this project does not impair or interfere with any surrounding properties or developments.

Parking for business patrons is provided adjacent to the public buildings. Parking areas will be required to provide landscape islands and trees as required by the Tree Preservation and Landscape Manual requirements. Sidewalks provided at these parking areas delineate and separate the pedestrian and vehicular traffic, and in no way does this design impair or interfere with any surrounding properties or developments.

The orientation of the building was derived by several influencing factors, including FAA sightline criteria, grades of transitioning ramps due to newly established flood plain elevation datums, and aircraft clearance recommendations.

## Circulation System and Access

Bicycle circulation is not addressed.

The Amended Site Development Plan exceeds the minimum 35% open space requirements and parking and loading spaces for the proposed uses.

The floor area ratio (FAR) for the site is 0.15 (including pump canopy) which is below the required maximum of 0.55.

Sidewalks are provided along the Chesterfield Airport Road and relocated Olive Street Road and internal sidewalks are provided connecting proposed structures to allow for safe pedestrian access to each building within the site.

A 30-foot wide landscape buffer, parking and building setback is provided along the entire portion of Chesterfield Airport Road and relocated Olive Street Road. A 15 foot wide parking setback is provided along the dead end portion Old Olive Street Road along the southern boundary.

Landscape islands are shown in parking areas and will be provided as required by the Tree Preservation and Landscape Manual requirements. Bio-retention areas will also be located in landscaped island where possible and in green space areas at the east and west edges of the property.

The proposed hours of operation will be the same as those of the businesses on the surrounding properties, namely, Comfort Inn to the northeast, and the Gas Station/Outlet Mall to the west, which contain no limitation on the hours of operation. This is consistent with existing uses and there is no residentially zoned property adjacent to or in the vicinity of the site.

## Topography

Due to the adjacent airport and FAA requirements pertaining to minimizing obstructions of sight lines. The flat nature of this site and the low heights of the building and landscaping, has not caused any sightline issues.

## Retaining Wall

Because of the flatness of the site, retaining walls are not required.

## General Requirements Addressing Building Design

### A. Building Scale:

Building height is consistent with adjacent and neighboring properties.

### B. Design:

The scale of this project is appropriate and consistent with the adjacent buildings and surrounding area. The material finishes and colors selected for this project reflect those used on the adjacent area buildings uniting the new building with the existing context. All exposed mechanical rooftop units will be screened with panels matching the theme of the building colors.

### C. Colors:

- All proposed buildings have colors that are considered natural earth tones.
- The lower portion of all the buildings are masonry veneer products consisting of burgundy colored brick, light tan colored splitfaced block, light tan colored cast stone and different earth tone colored stones.
- Aluminum store front will be black.
- Glazing color will be a tinted grey.
- Exterior Insulation Finish System (E.I.F.S.) are light tan colors of Almond and Birch.
- Metal roof and Awnings will be matte black.

### D. Landscape design and screening:

- All new landscaping will compliment the site. FAA regulations restricts certain types of plants to be incorporated into the design due to height limitations.
- Building landscape buffers are introduced in limited areas.
- Parking landscaping utilized per city requirements.
- Masonry dumpster enclosure screen wall has brick veneer to minimize visual acuity.
- Roof top units screened by metal panels matching proposed building exterior wall colors.

### E. Signage:

- Wall mounted Signage will be located on the North exterior wall and potentially the West wall. All signage will be designed and approved under a separate review process.

### F. Lighting:

- New wall pack mounted lighting will be incorporated in the design and be located on all exterior walls of the building for safety as well as for site lighting. -Refer to site lighting plans.
- There is no up-lighting permitted.

### Specific Requirements for the Chesterfield Valley:

#### Facades:

- All facades have been designed to an equal level of detail and quality of the nearest adjacent structure based upon functionality.

#### Storage:

- Not Applicable.

#### Utilities:

- New utility services are underground.

#### Parking:

- Property not adjacent or along I-64 corridor.





Aerial Key Map for Contextual Images



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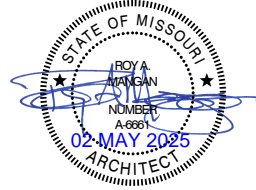
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PROJECT SITE AND PHOTOS

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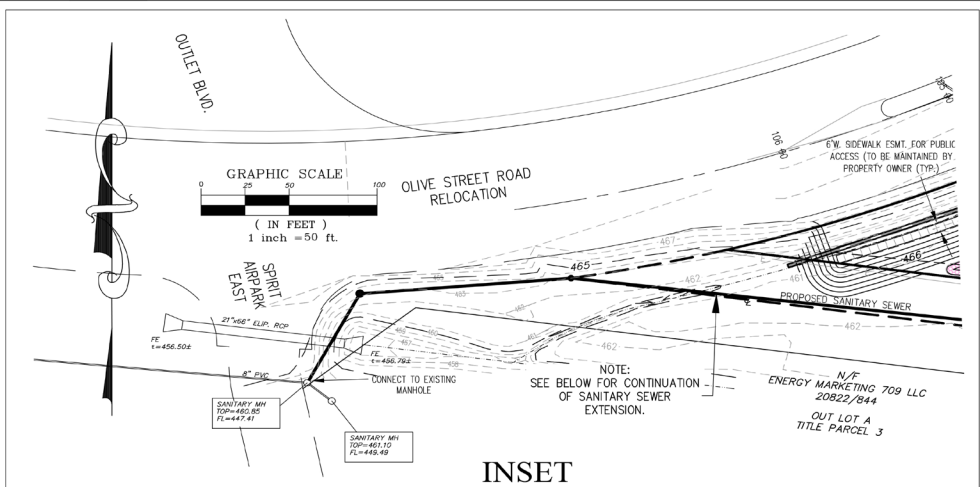
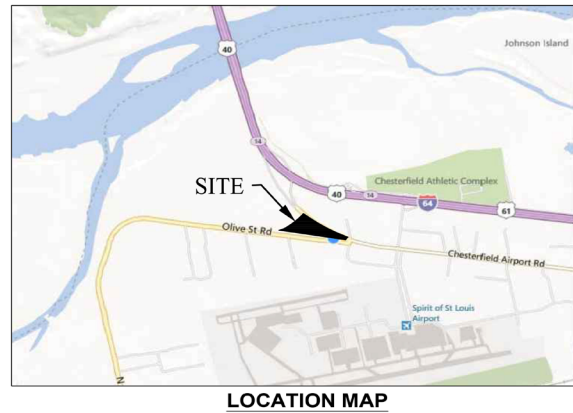
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# Energy Marketing 2nd Amended Site Development Plan

A tract of land being Lot 2 and Outlot A of McGrath Plaza, part of Lot 6 of the Subdivision of R. H. Stevens Farm and part of U. S. Survey 102, Township 45 North - Range 3 East, St. Louis County, Missouri

- LEGEND**
- UTILITY POLE
  - LIGHT STANDARD
  - MANHOLE
  - TREE
  - WATER VALVE
  - WATER METER
  - TREE LINE
  - CONC. P.W.M.T.
  - SIGN
  - OVERHEAD UTILITY
  - FENCE
  - SEWER CLEANOUT
  - ELECTRIC BOX
  - BOLLARD
  - GUY WIRE



**Civil & Environmental Consultants, Inc.**  
3000 Little Hills Expressway, Suite 102  
St. Charles, MO 63301  
314-656-4566 www.cecinco.com

**Energy Marketing**  
A tract of land being Lot 2 and Outlot A of McGrath Plaza, part of Lot 6 of the Subdivision of R. H. Stevens Farm and part of U. S. Survey 102, Township 45 North - Range 3 East, St. Louis County, Missouri

Prepared For:  
**Energy Marketing 709 LLC**

2130 Kilmoran Avenue  
St. Louis, MO 63112-5505  
314-383-3700

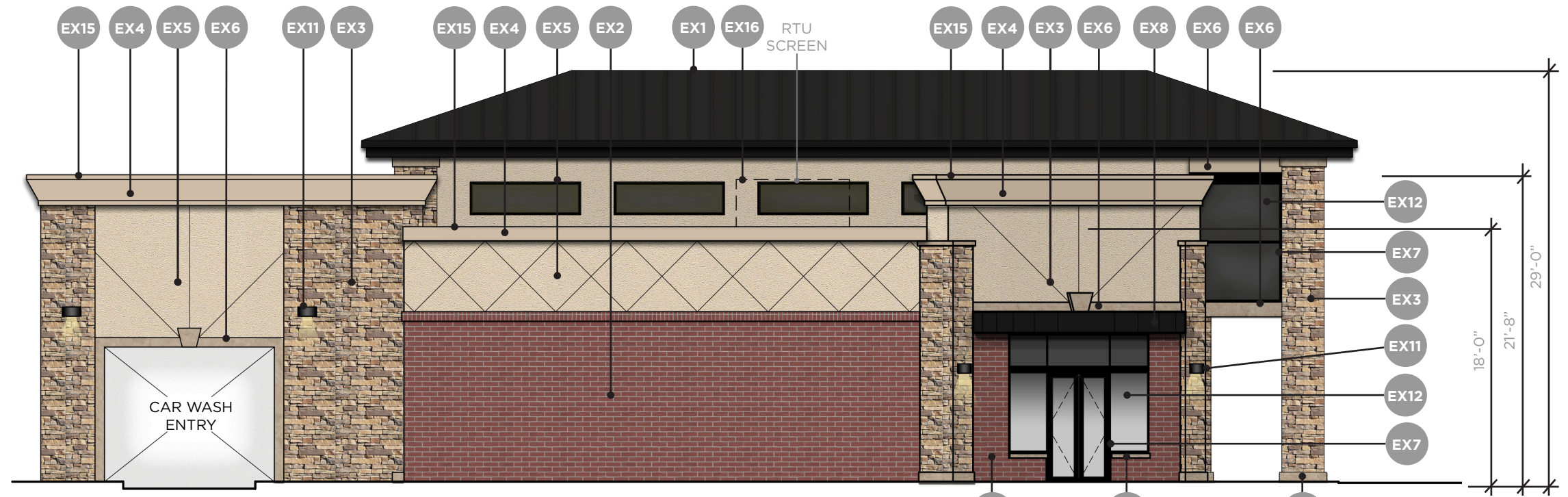
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**C-STORE/CARWASH FRONT ELEVATION**

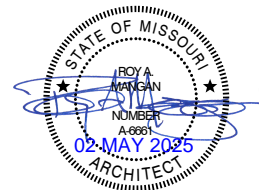
**LEGEND**

- EX1** Standing Seam Metal Roof Panel (Color: Black).
- EX2** Facebrick Veneer (Color: Haverford). 3 5/8"W x 2 1/4"H x 7 5/8"L.
- EX3** Adhered Stone - Mountain Ledge Panels (Color: Pioneer).
- EX4** Exterior Insulation Finish System (Color: Almond).
- EX5** Exterior Insulation Finish System (Color: Birch).
- EX6** Adhered Stone - Snapped Edge Wainscot Sill & Base, Ashlar Cut Heads & Keystone (Color: Buckskin).
- EX7** Aluminum Storefront with 1" insulated glazing. (Color: Black Anodized Aluminum).
- EX8** Metal Awning. (Color: Matte Black).
- EX9** Exterior/Commercial Grade Paint. Paint color to match EX4.
- EX10** Split-Faced Concrete Masonry Units (Color: Light Tan).
- EX11** Outdoor Wall Mount Lighting -
- EX12** 1" Insulated tinted windows (Color: Grey)
- EX13** Fuel Canopies Manufactured by Arning Companies, Inc.
- EX14** Cast Stone. (Color - Light Tan)
- EX15** Metal Coping (Color - Match adjacent finish color)
- EX16** Plastic RTU Screen (Color - Light Tan)



**C-STORE/CARWASH LEFT ELEVATION**

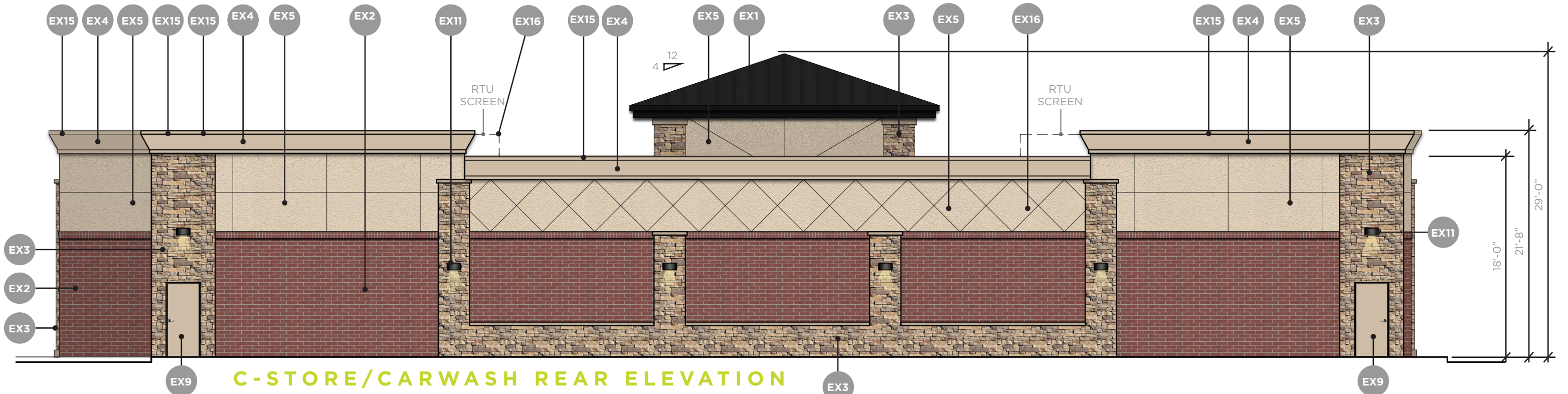
SCALE



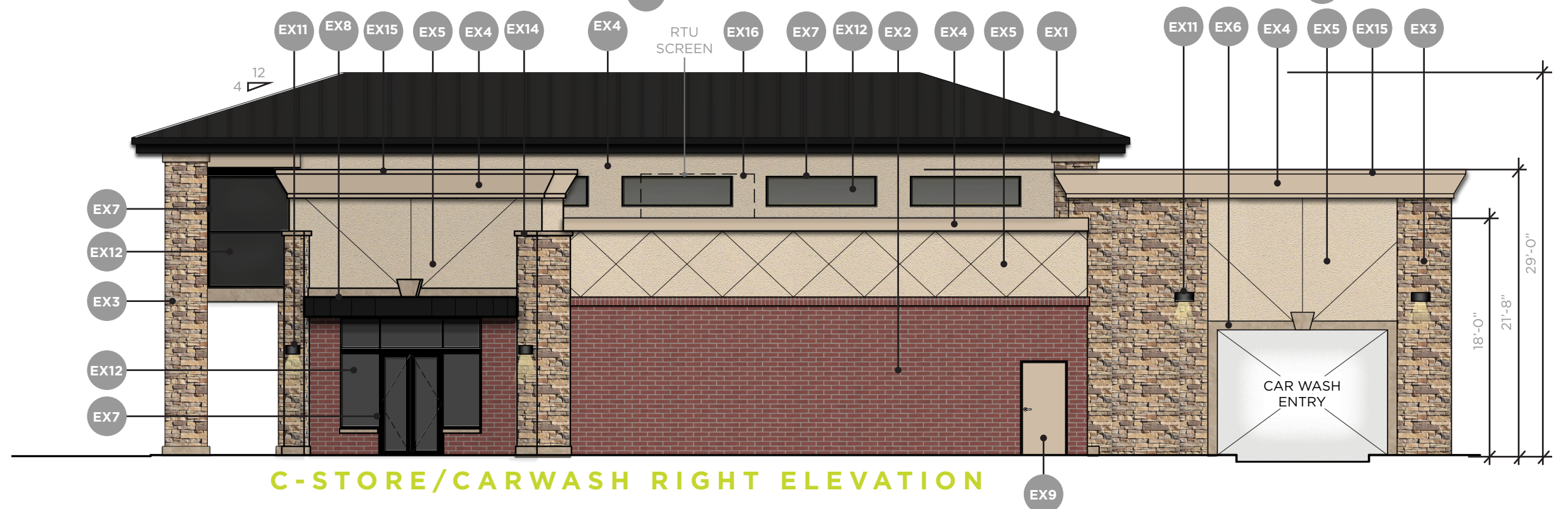
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**C-STORE/CARWASH REAR ELEVATION**



**C-STORE/CARWASH RIGHT ELEVATION**

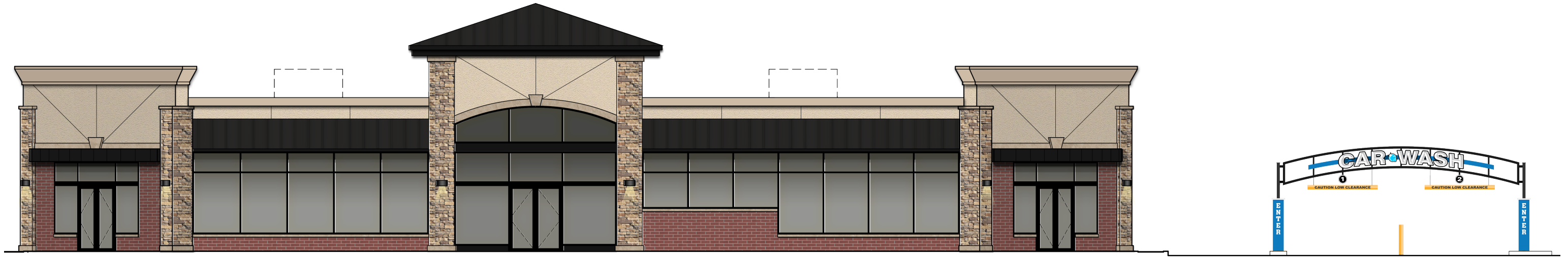
**EXTERIOR ELEVATIONS**

- LEGEND**
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  - EX16** Plastic RTU Screen (Color - Light Tan)
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## C-STORE/CARWASH FRONT ELEVATION WITH SIGNAGE ELEMENT

-SEE PREVIOUS SHEET FOR BALANCE OF MATERIAL INFORMATION

### LEGEND

- EX1** Standing Seam Metal Roof Panel (Color: Black).
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- EX16** Plastic RTU Screen (Color - Light Tan)

EXTERIOR ELEVATIONS

BECAUSE YOU WOULDN'T LET JUST ANYONE SIGN YOUR NAME...

#### CAR WASH ENTRY STRUCTURE

3.3" AND 2" X 2" STEEL TUBE ARCHWAY TRUSS CONSTRUCTION WITH 4" X 4" STEEL TUBE UPRIGHT SUPPORTS PER SEALED ENGINEER'S DRAWING. STRUCTURE PAINTED BLACK. COORDINATE EXACT PLACEMENT ON SITE. \* ALUM. POLE COVERS (SEE NOTES).

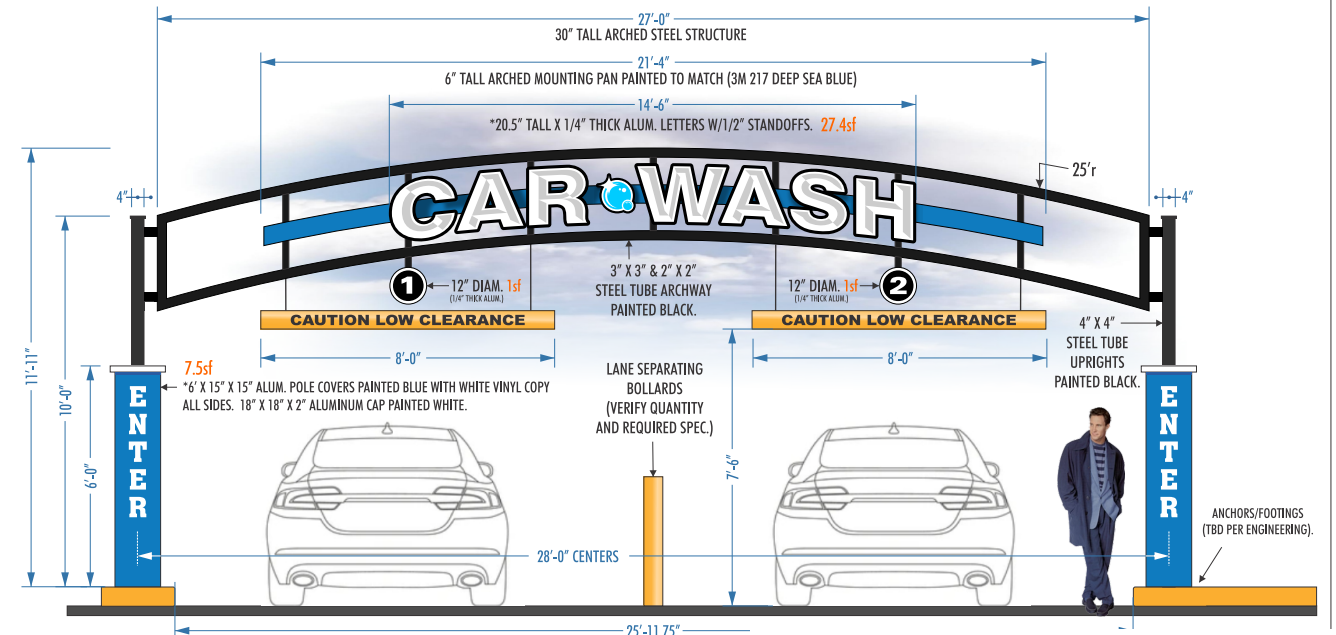
#### ALUMINUM CUT OUT LETTERS

\*20.5" TALL 1/4" THICK LETTERS ALUMINUM CUT OUTS PAINTED BLACK (BOTH SIDES). FACES TO BE DECORATED WITH 3M PREMIUM VINYL (WHITE, MEDIUM GRAY & PEACOCK BLUE). ALL UNITS MOUNTED TO ARCHED MOUNTING PAN WITH 1/2" STANDOFFS.



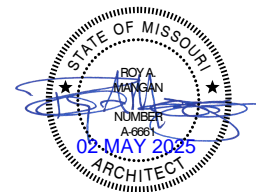
#### CAR WASH ENTRANCE - LOW CLEARANCE BARS: 3/4" = 1'-0"

6" DIAMETER PVC PAINTED CAUTION YELLOW WITH BLACK VINYL COPY. SUSPEND BY STEEL CABLES USING NON-CORROSIVE HARDWARE AS REQUIRED.



CAR WASH ENTRANCE - LOW CLEARANCE BARS: 3/8" = 1'-0" 44.4

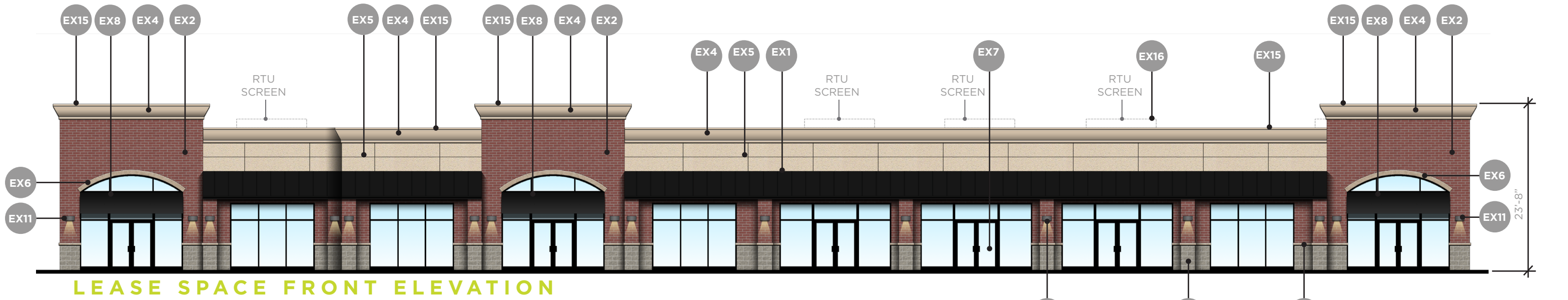
## DRIVE-THRU CAR WASH SIGNAGE ELEMENT [N.T.S.]



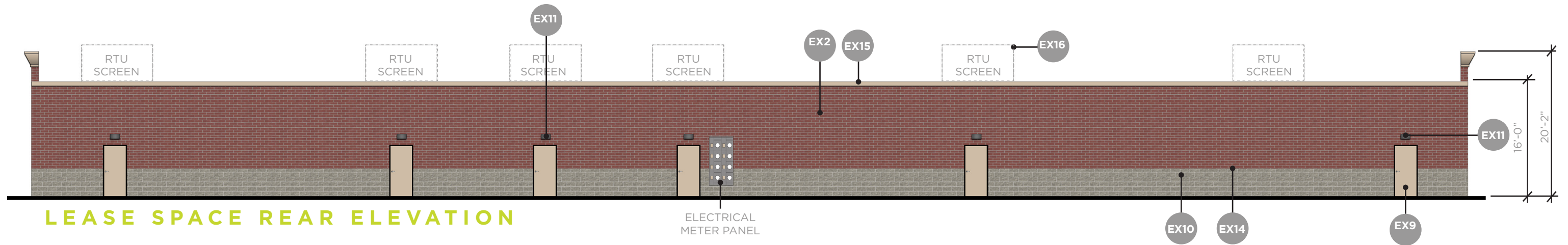
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**LEASE SPACE FRONT ELEVATION**



**LEASE SPACE REAR ELEVATION**

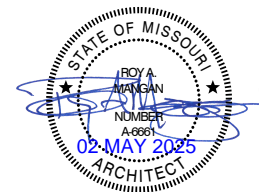
**LEGEND**

- |  |   |  |
|--|---|--|
| <b>EX1</b> Standing Seam Metal Roof Panel (Color: Black).  | <b>EX7</b> Aluminum Storefront with 1" insulated glazing. (Color: Black Anodized Aluminum). | <b>EX13</b> Fuel Canopies Manufactured by Arning Companies, Inc. |
| <b>EX2</b> Facebrick Veneer (Color: Haverford). 3 5/8"W x 2 1/4"H x 7 5/8"L.                                 | <b>EX8</b> Metal Awning. (Color: Matte Black).  | <b>EX14</b> Cast Stone. (Color - Light Tan)                      |
| <b>EX3</b> Adhered Stone - Mountain Ledge Panels (Color: Pioneer).   | <b>EX9</b> Exterior/Commercial Grade Paint. Paint color to match EX4.                       | <b>EX15</b> Metal Coping (Color - Match adjacent finish color)   |
| <b>EX4</b> Exterior Insulation Finish System (Color: Almond).  | <b>EX10</b> Split-Faced Concrete Masonry Units (Color: Light Tan).                          | <b>EX16</b> Plastic RTU Screen (Color - Light Tan)               |
| <b>EX5</b> Exterior Insulation Finish System (Color: Birch).   | <b>EX11</b> Outdoor Wall Mount Lighting   |  |
| <b>EX6</b> Adhered Stone - Snapped Edge Wainscot Sill & Base, Ashlar Cut Heads & Keystone (Color: Buckskin). | <b>EX12</b> 1" Insulated tinted windows (Color: Grey)                                       |  |



**EXTERIOR ELEVATIONS**

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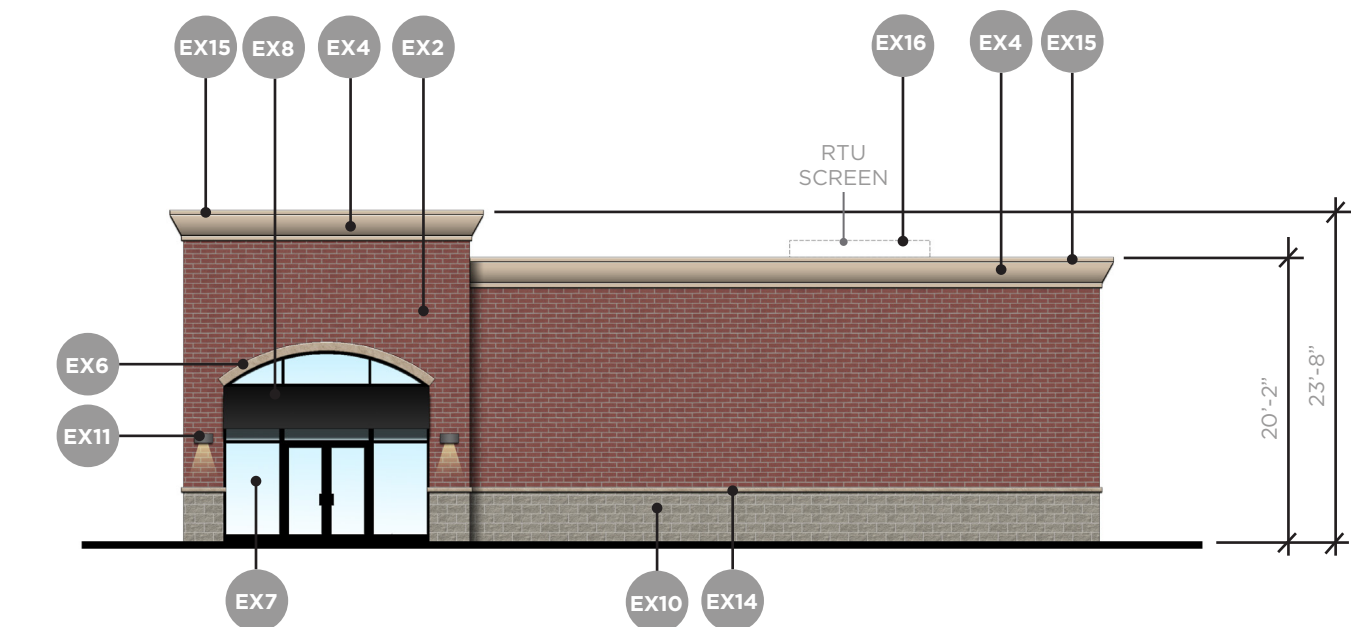
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LEGEND

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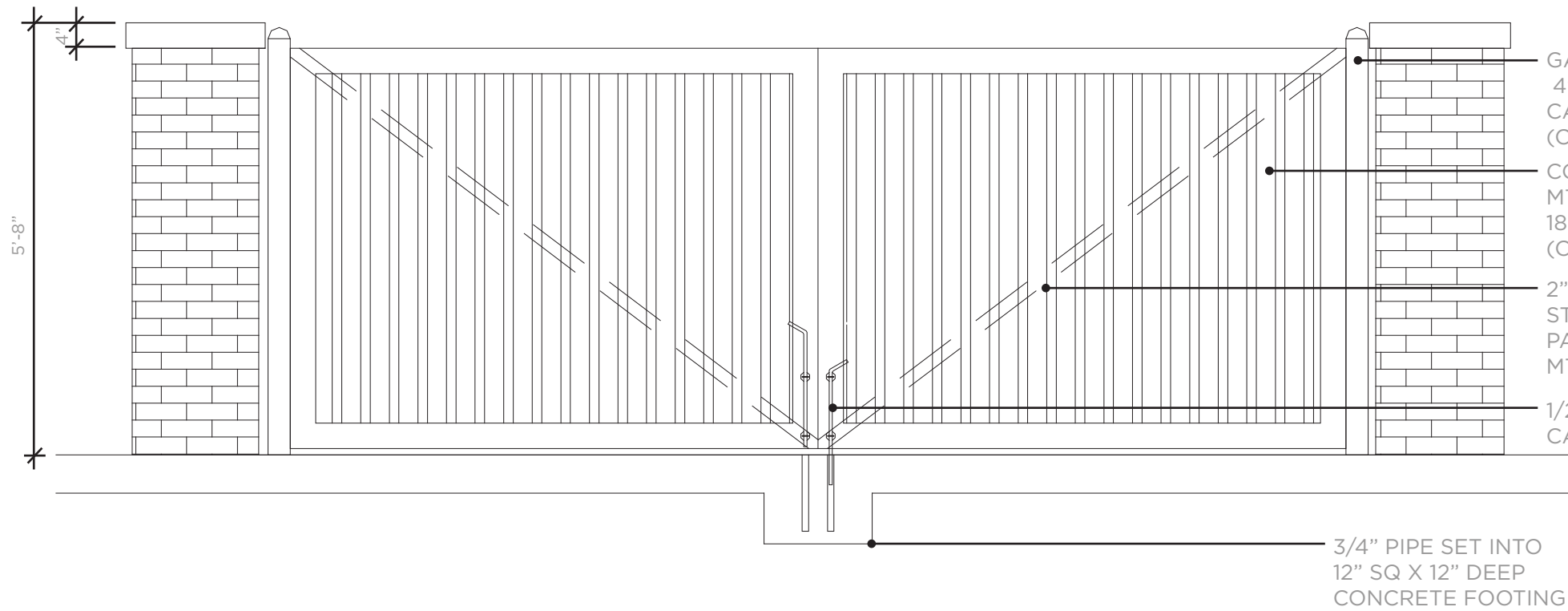
**LEASE SPACE RIGHT ELEVATION**  
**LEASE SPACE LEFT ELEVATION OPP HAND**

- EX13** Fuel Canopies Manufactured by Arning Companies, Inc.
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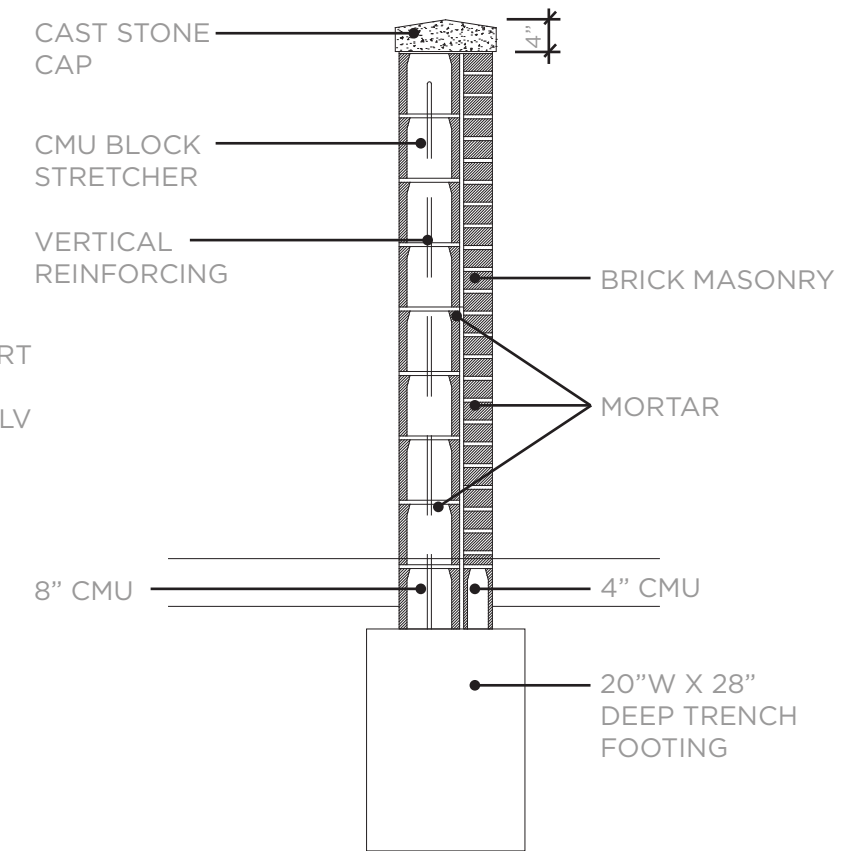


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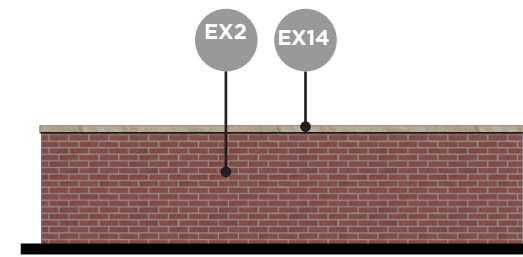
DUMPSTER GATE - DETAIL



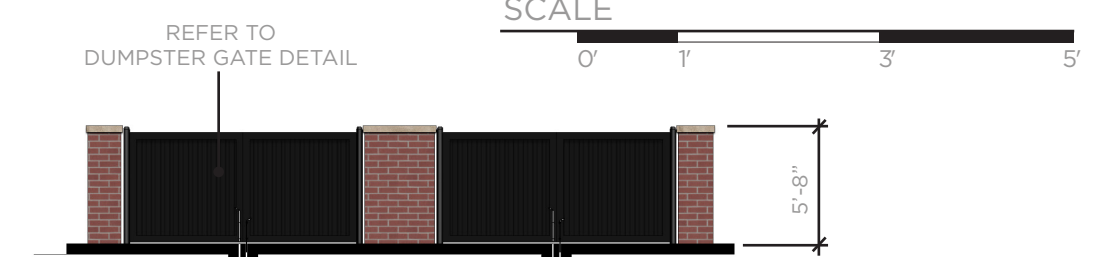
DUMPSTER WALL - DETAIL 1 1/4" THICK

LEGEND

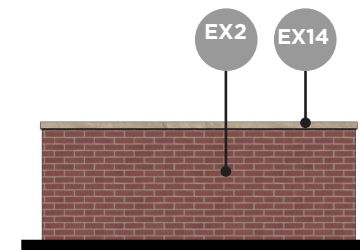
- EX1** Architectural Shingle (Color: Black).
- EX2** Facebrick Veneer (Color: Haverford).  
3 5/8"W x 2 1/4"H x 7 5/8"L.
- EX3** Adhered Stone - Mountain Ledge Panels  
(Color: Pioneer).
- EX4** Exterior Insulation Finish System  
(Color: Almond).
- EX5** Exterior Insulation Finish System  
(Color: Birch).
- EX6** Adhered Stone - Snapped Edge Wainscot Sill  
& Base, Ashlar Cut Heads & Keystone (Color:  
Buckskin).
- EX7** Aluminum Storefront with 1" insulated  
glazing.  
(Color: Black Anodized Aluminum).
- EX8** Metal Awning. (Color: Matte Black).
- EX9** Exterior/Commercial Grade Paint.  
Paint color to match EX4.
- EX10** Split-Faced Concrete Masonry Units  
(Color: Light Tan).
- EX11** Outdoor Wall Mount Lighting -
- EX12** 1" Insulated tinted windows (Color: Grey)
- EX13** Fuel Canopies Manufactured by Arning  
Companies, Inc.
- EX14** Cast Stone Cap. (Color - Light Tan)
- EX15** Metal Coping.  
(Color - Match adjacent finish color)
- EX16** Plastic RTU Screen (Color - Light Tan)



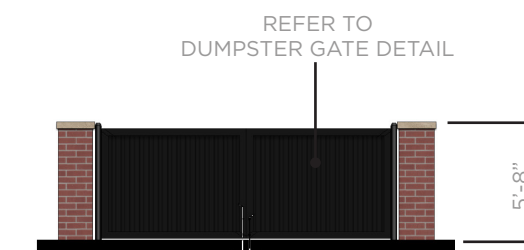
DUMPSTER - SIDE 30X15



DUMPSTER - FRONT 30X15

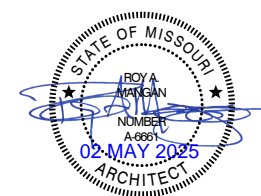


DUMPSTER - SIDE 18X15

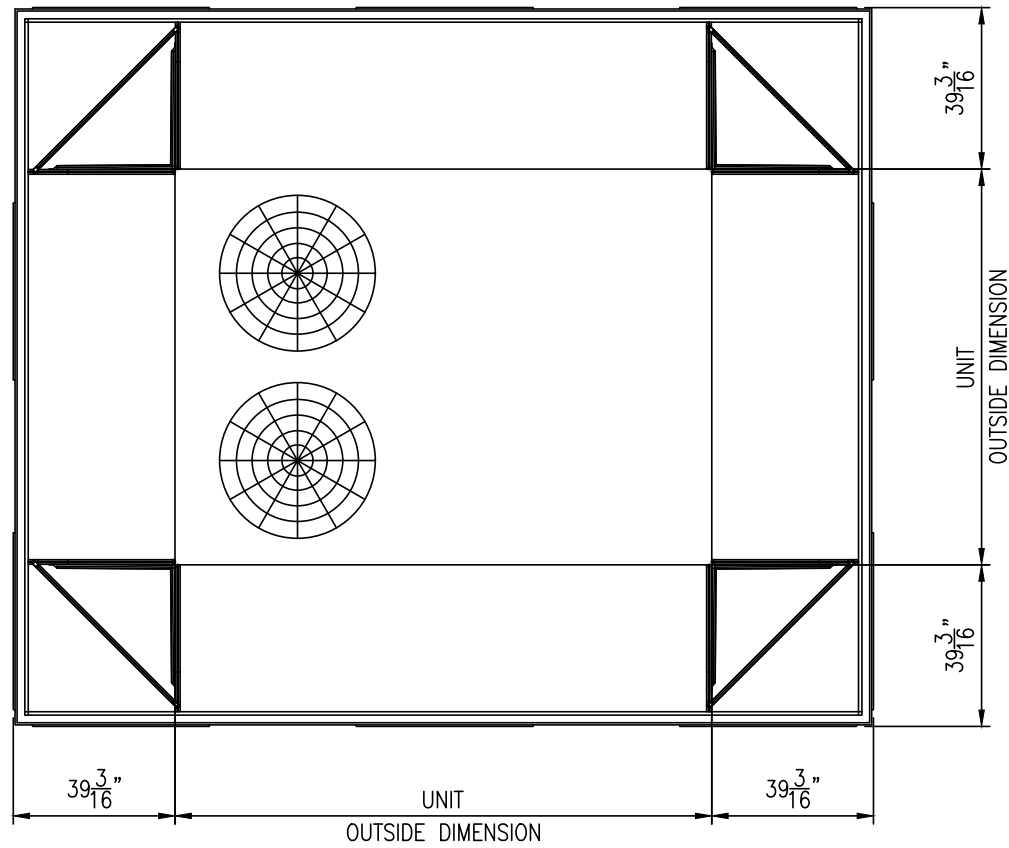


DUMPSTER - FRONT 18X15

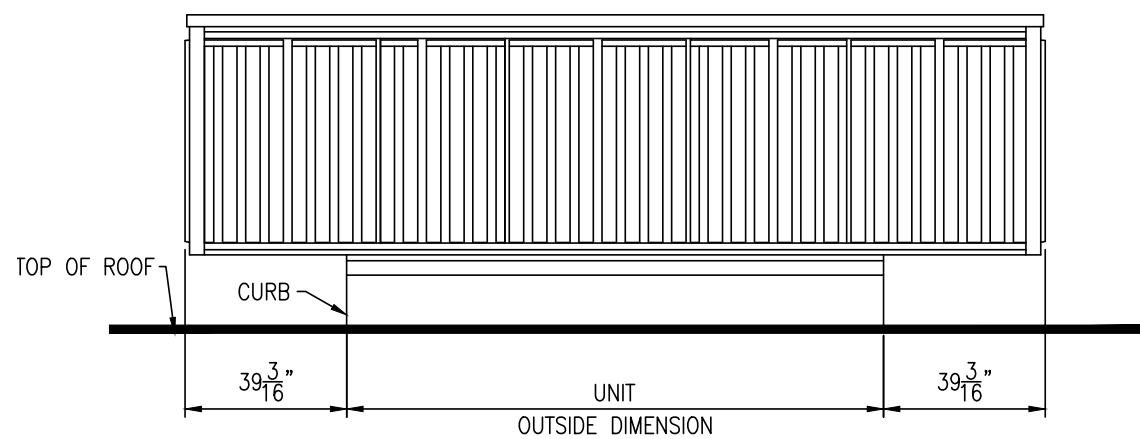
DUMPSTER ENCLOSURE



52" VERTICAL STYLE ENVISOR  
FOOTPRINT

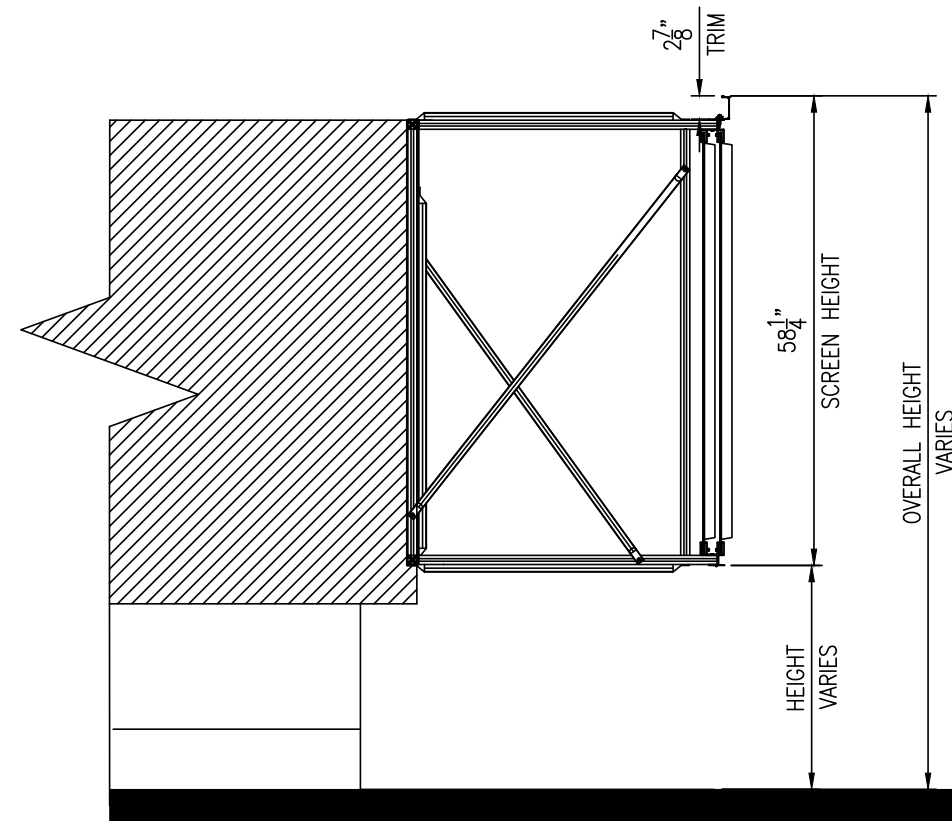


52" VERTICAL STYLE ENVISOR  
ELEVATION



**RTU SCREEN DETAILS**

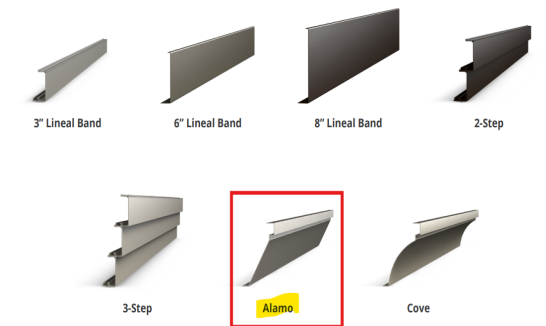
52" VERTICAL STYLE ENVISOR  
SECTION



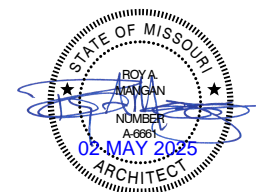
**Horizontal Rib**

**TRIM STYLE OPTIONS**

Enhance your Roof Screen with our durable trim options. Meticulously crafted from .063" wall - 6063 T5 extruded aluminum shapes, these trims feature a 4000 series powder coat finish for long-lasting rust resistance. Elevate your space with trim that combines both style and endurance.



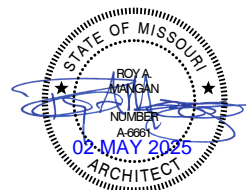
NOTE: The Screen System shown corresponds to a typical construction of the Envisor 52 Vertical Style using Wide Rib Panels. This drawing is intended to illustrate general dimensions of the Envisor System when installed on an average Roof Top Unit. Dimensions and specifications of the system can vary depending on the RTU's location to each other and performance characteristics.





RENDERINGS

[25017] 02 MAY 2025

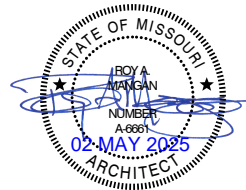


Archimages

architecture | interiors



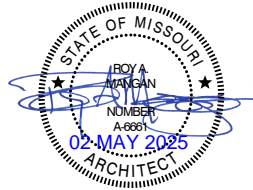
PARAGON SOLUTIONS





RENDERINGS

[25017] 02 MAY 2025



Archimages  
architecture | interiors





RENDERINGS

[25017] 02 MAY 2025



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RENDERINGS

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PARAGON  
SOLUTIONS



RENDERINGS

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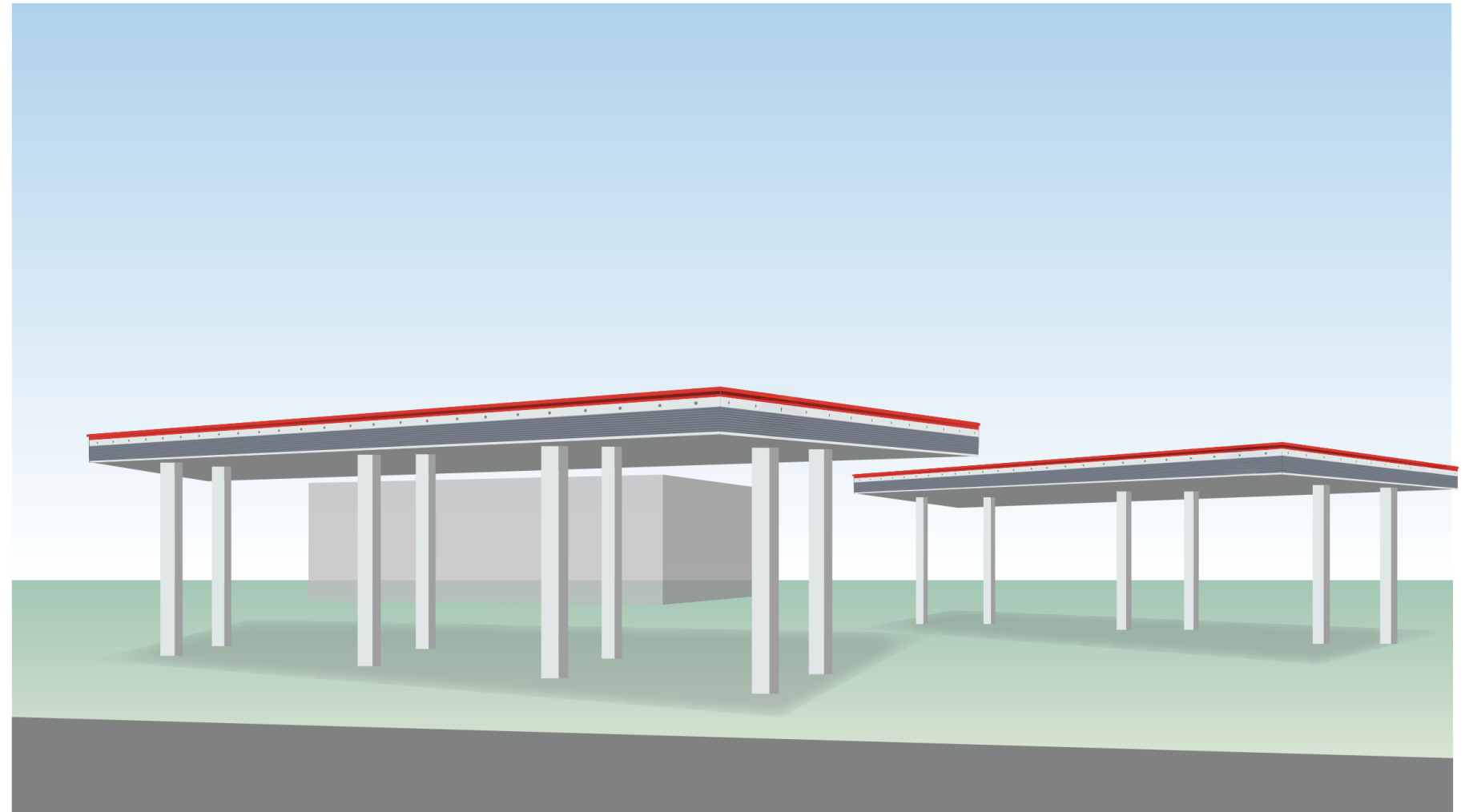
**BIG RED ROOSTER** FLOW

**PROJECT LOCATION:**

18423 OLD OLIVE ST,  
CHESTERFIELD, MO 63017

**PROJECT OVERVIEW:**

- A** Site Map
- B** Canopy Visuals
- C** Dispenser Visuals
- D** Main ID Visuals



CONCEPTUAL SITE VISUAL

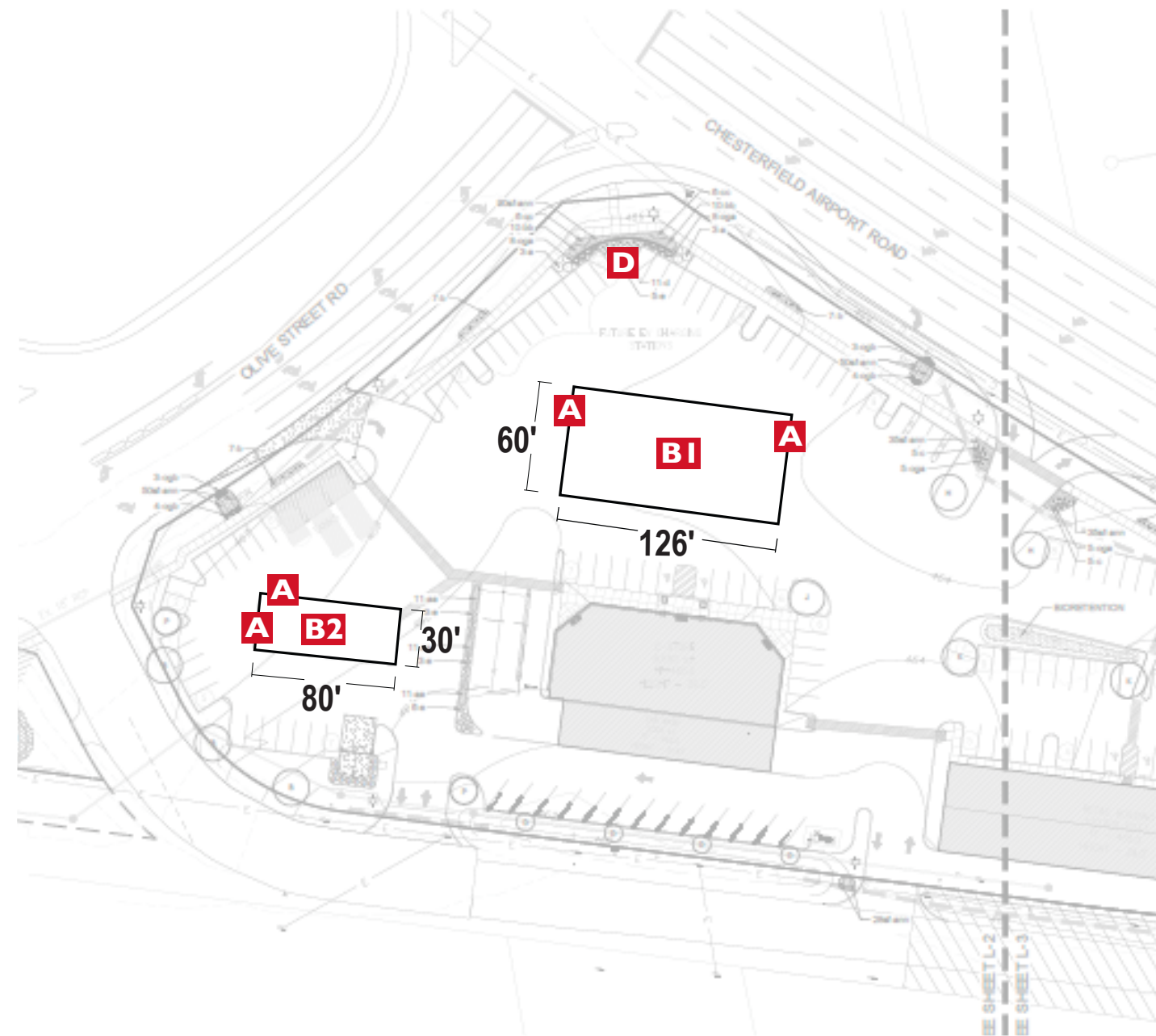
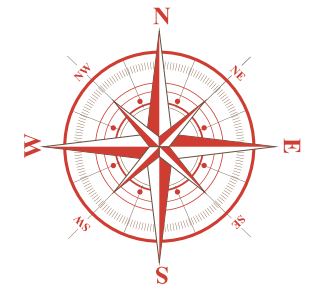
approval signature  
I have reviewed the visuals within this document and I approve the designs and scope of work listed within.

Project Name	SHIP TO #	Customer	Created by	<b>Brand Book</b> <b>BIG RED ROOSTER FLOW</b> 2 Northfield Plaza, Ste 211 Northfield, IL 60093 P: (847) 441-1818 F: (847) 592-9564
<b>PHILLIPS 66</b>	<b>809521</b>	<b>PHILLIPS 66</b>	<b>B. Dahmen</b>	
Revision #	Date	Scale	Page #	
<b>R4</b>	<b>03_21_2025</b>	<b>NA</b>	<b>1 OF 9</b>	

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**SITE PLAN**

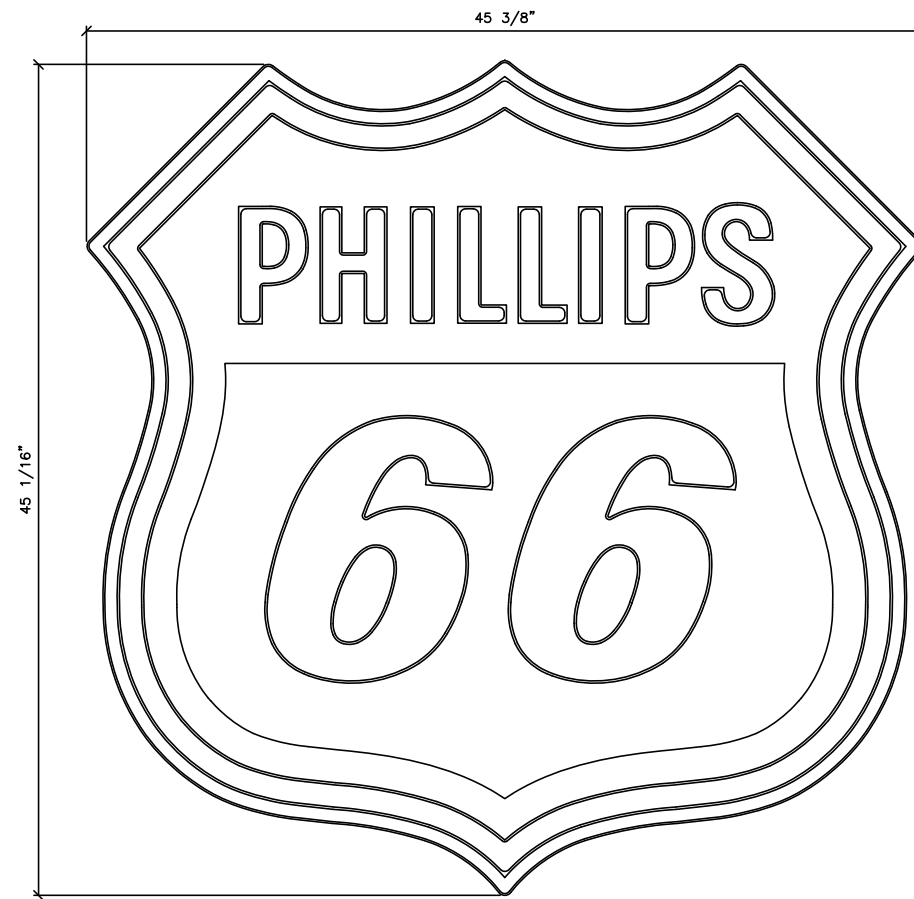
- A** Canopy Logos
- B** Canopy Image
- D** Main ID



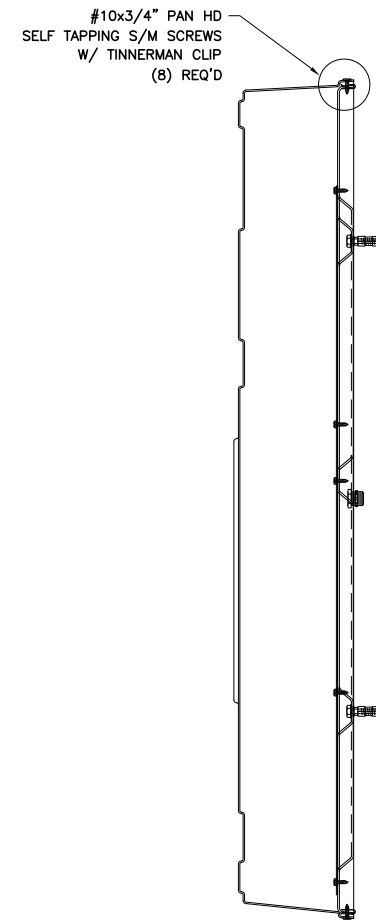
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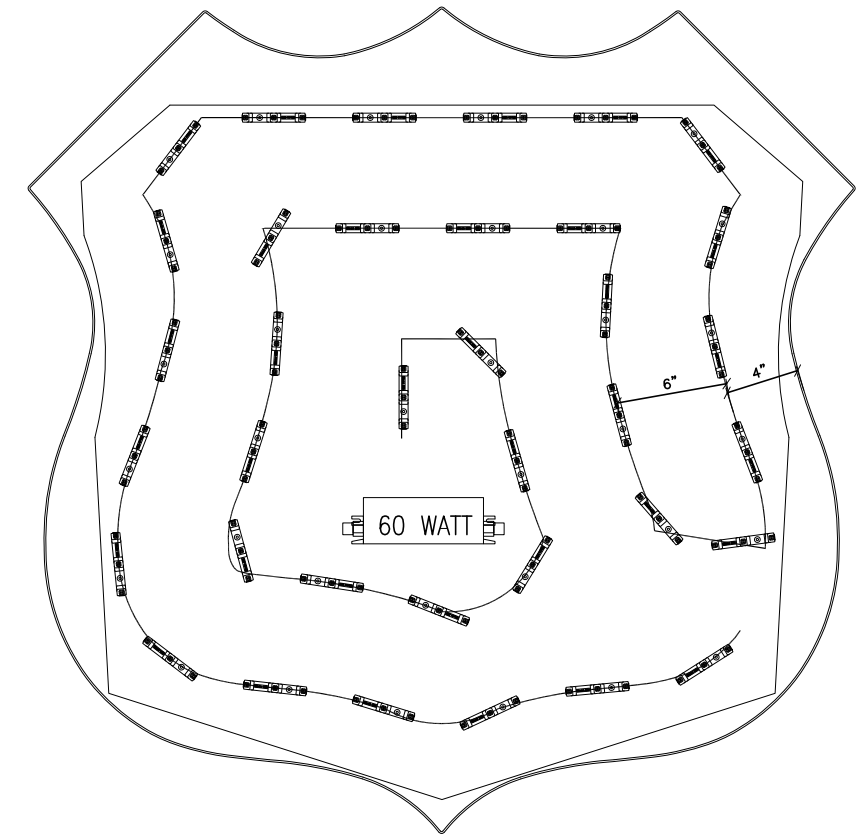
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ELEVATION VIEW  
SCALE: 1 1/2"=1'-0"



SIDE VIEW  
SCALE: 1 1/2"=1'-0"



36 MODULES

- 1- VALUE LINE PLUS WHITE LONG LAID OUT (2) MODULES PER FOOT, 6" ON CENTER
- 2- EACH MODULE 60 POWER SUPPLY CAN RUN UP TO 130 WHITE LONG MODULES
- 3- LAYOUT BASED ON 6" CAN DEPTH
- 4- DIMENSIONS ARE IN INCHES UNLESS STATED OTHERWISE

- ESTIMATED PRODUCT B.O.M. PER SIGN:
- 36 VALUE LINE PLUS WHITE LONG MODULES - 18'
- 1 MOD. 60 POWER SUPPLIES 120VDC (@ 1.0 AMPS 60WATTS ea.)
- 1 100FT ROLL OF JACKETED CABLE

ELECTRICAL DETAIL

SIGN SPECIFICATIONS:

SIGN SIZE:

ACTUAL SIZE ... 45-1/16" H x 45-3/8" L  
 AREA ... SQ. 14.3 SQ.FT. ACTUAL 11.1 SQ.FT  
 APPROXIMATE WEIGHT ... T.B.D. LBS  
 DESIGNED WINDLOAD ... 110 MPH (3 SEC. GUST EXPOSURE C)  
 COMPLIANT w/ NATIONAL BUILDING CODES & STANDARDS  
 (IBC, UBC, BOCA, AISC, ASCE7, ACI, & ALUM. DSGN. MANUAL)

ELECTRICAL:

LED's ... SLOAN VL PLUS WHITE LONG  
 AMPS ... 1.0 TOTAL AMPS  
 CIRCUITS ... (1) 20  
 VOLTS ... 120v

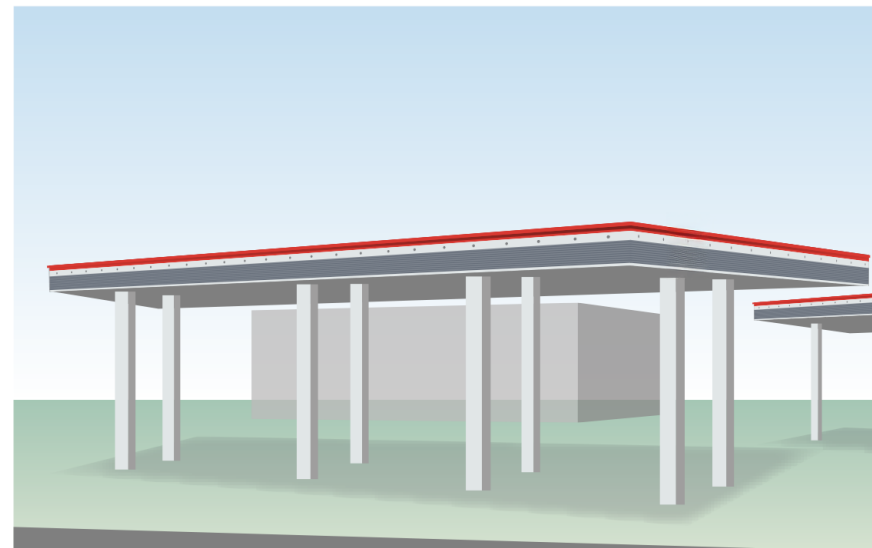
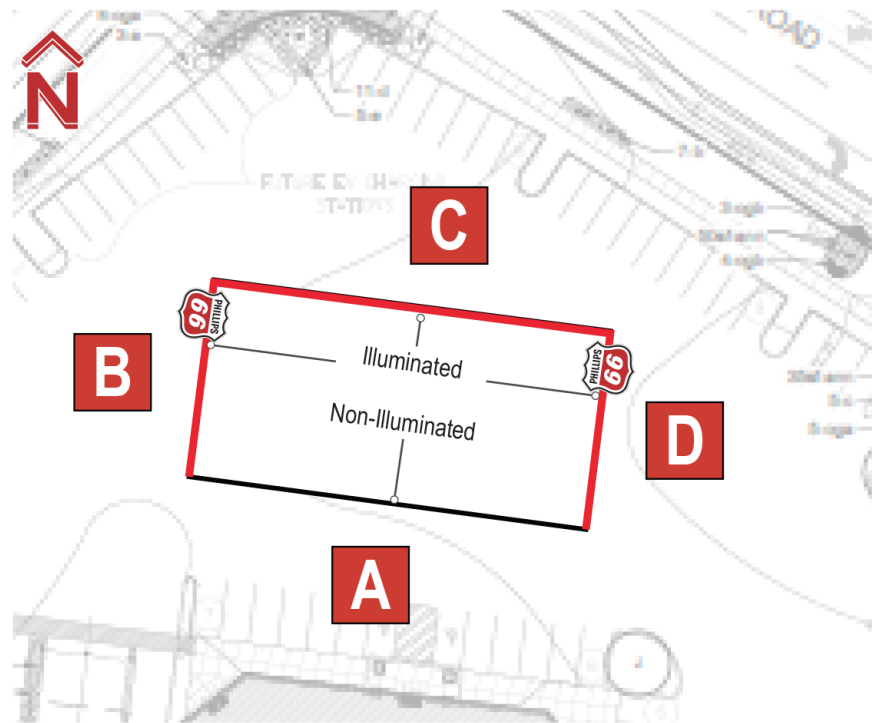
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# B1 CANOPY 1 REFACE

Marketer/Dealer: ENERGY PETROLEUM CO

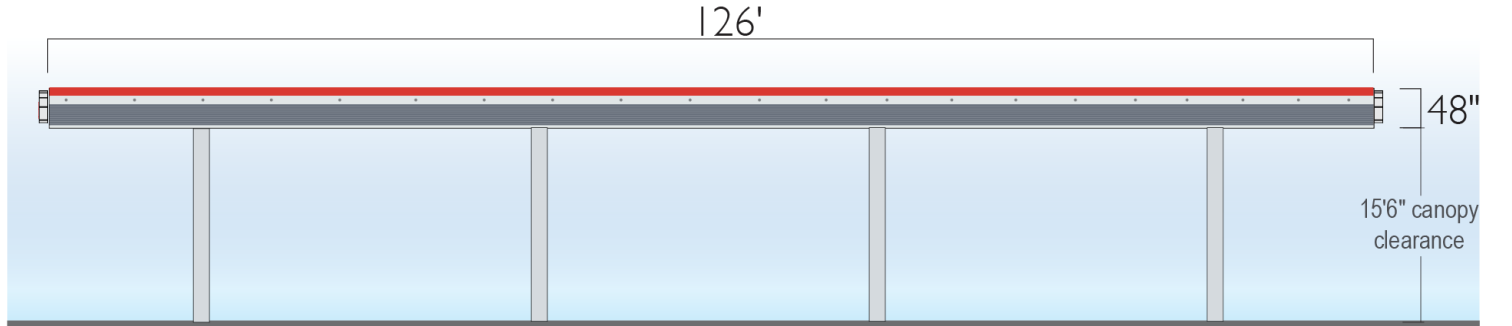
Site Name: THE WEDGE



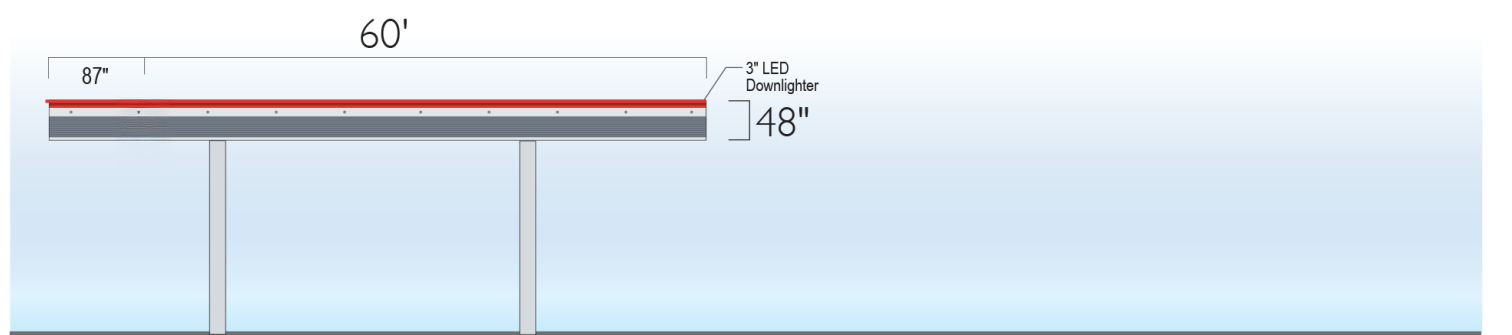
CANOPY PERSPECTIVE

**NOTE: ALL TANK VENTS WILL BE CONCEALED IN THE CANOPY COLUMNS AND SCREENED FROM VIEW BY THE CANOPY FASCIA.**

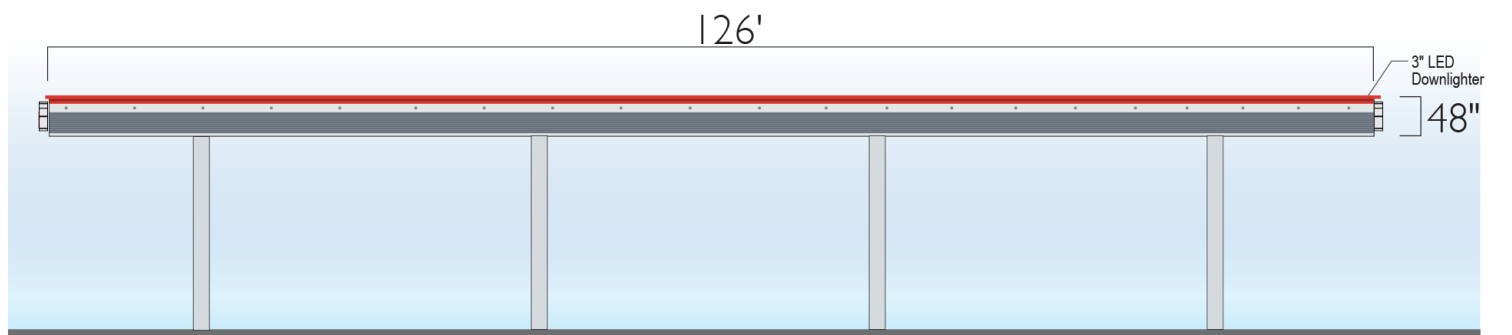
ELEVATION A: NON-ILLUMINATED



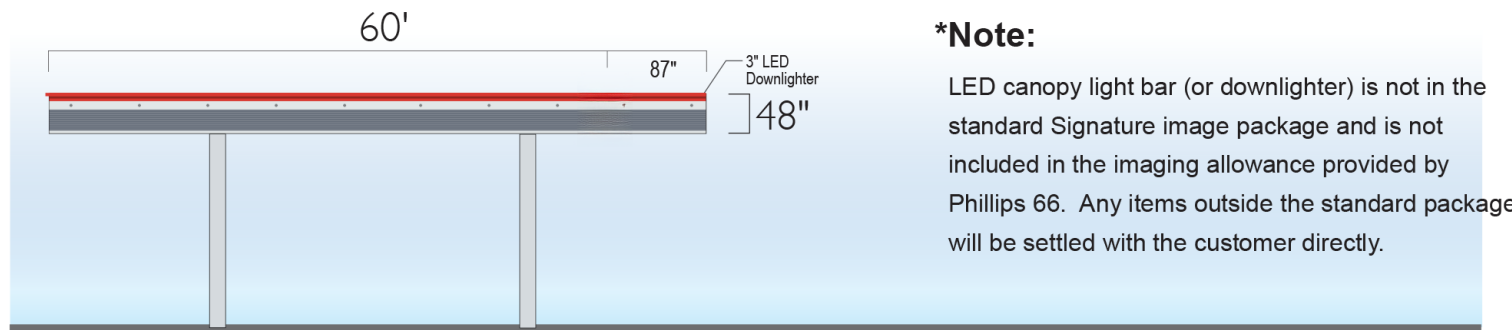
ELEVATION B: NON-ILLUMINATED



ELEVATION C: NON-ILLUMINATED



ELEVATION D: NON-ILLUMINATED



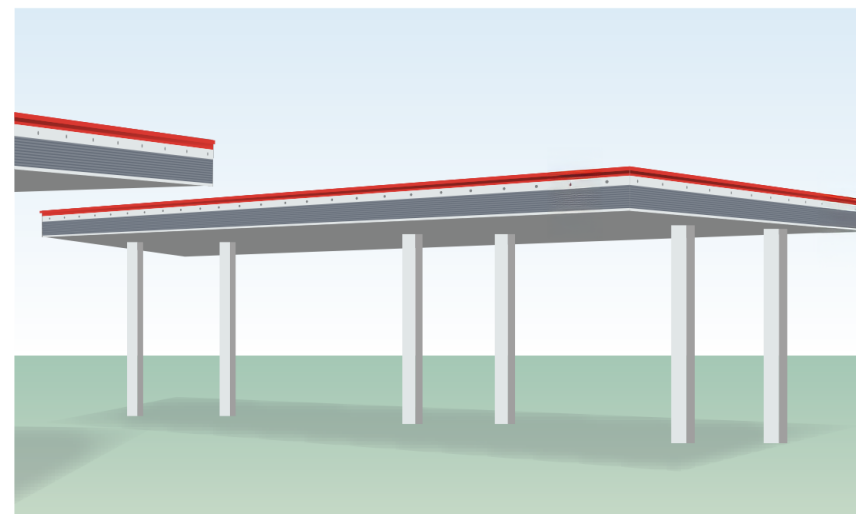
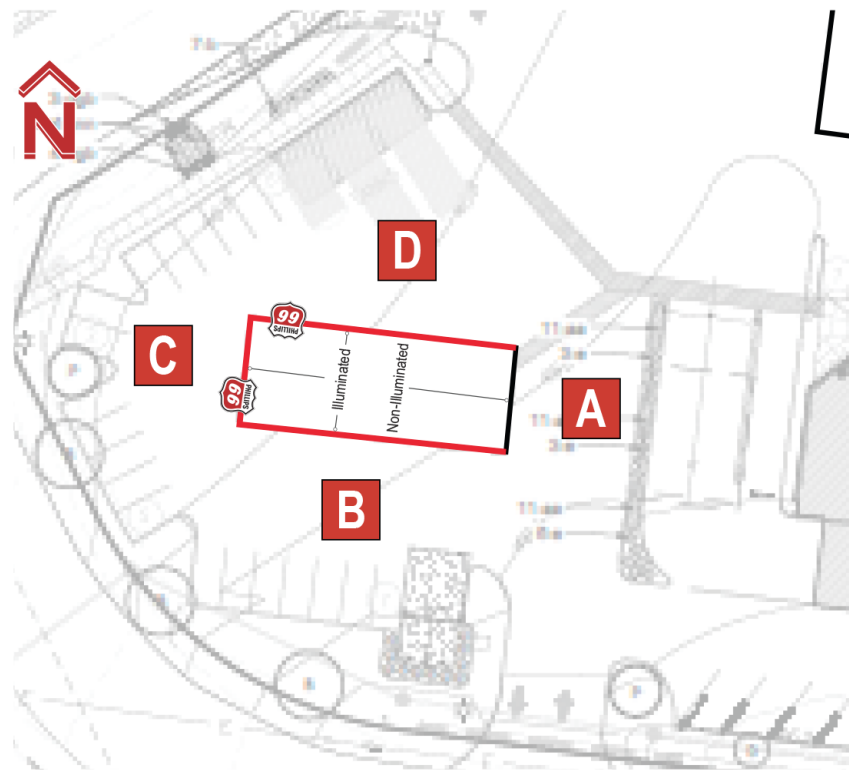
**\*Note:**

LED canopy light bar (or downlighter) is not in the standard Signature image package and is not included in the imaging allowance provided by Phillips 66. Any items outside the standard package will be settled with the customer directly.

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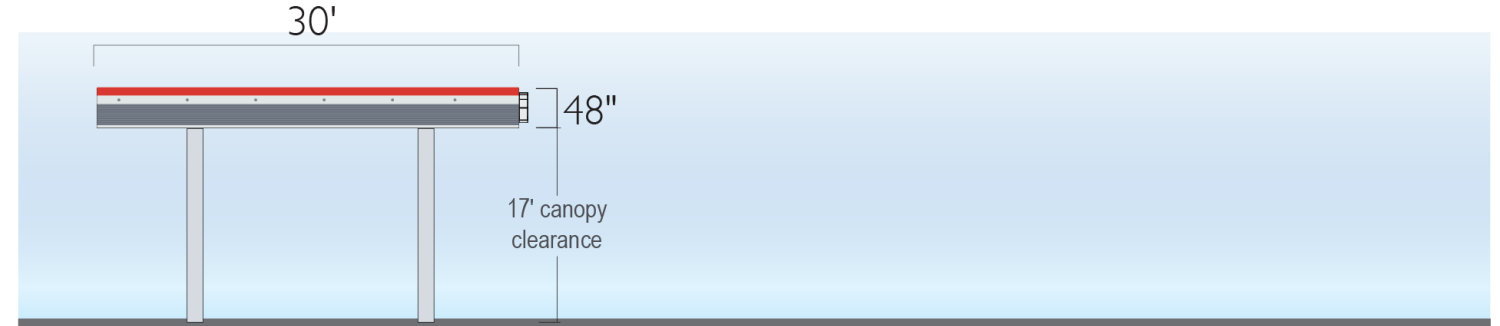
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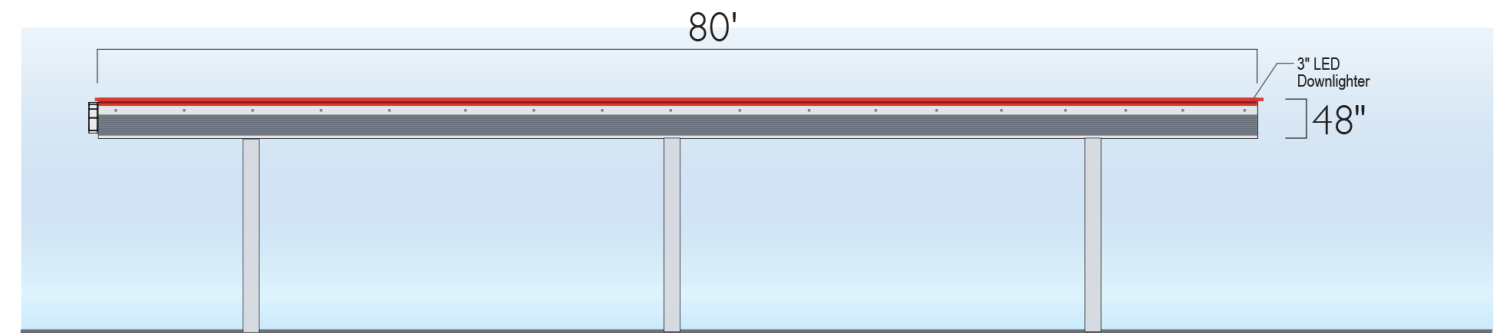
CANOPY PERSPECTIVE

**NOTE: ALL TANK VENTS WILL BE CONCEALED IN THE CANOPY COLUMNS AND SCREENED FROM VIEW BY THE CANOPY FASCIA.**

ELEVATION A: NON-ILLUMINATED



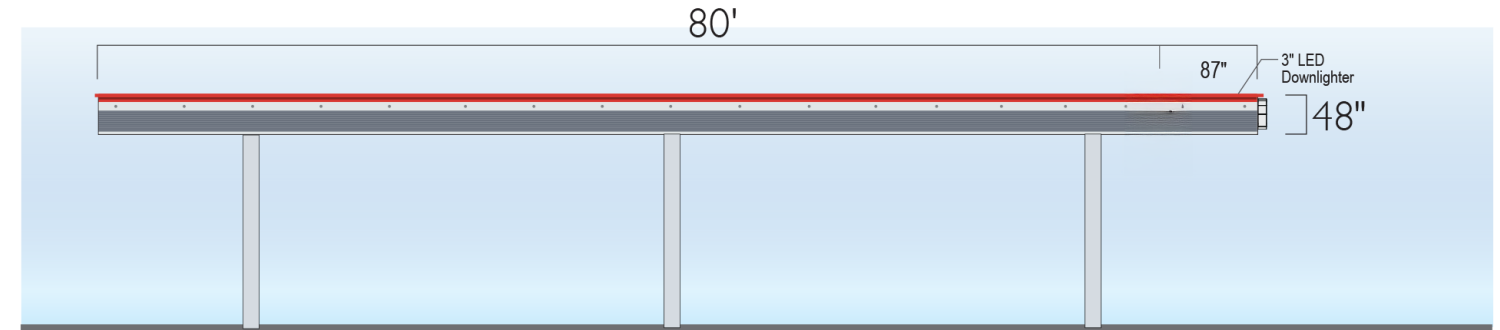
ELEVATION B: ILLUMINATED



ELEVATION C: ILLUMINATED



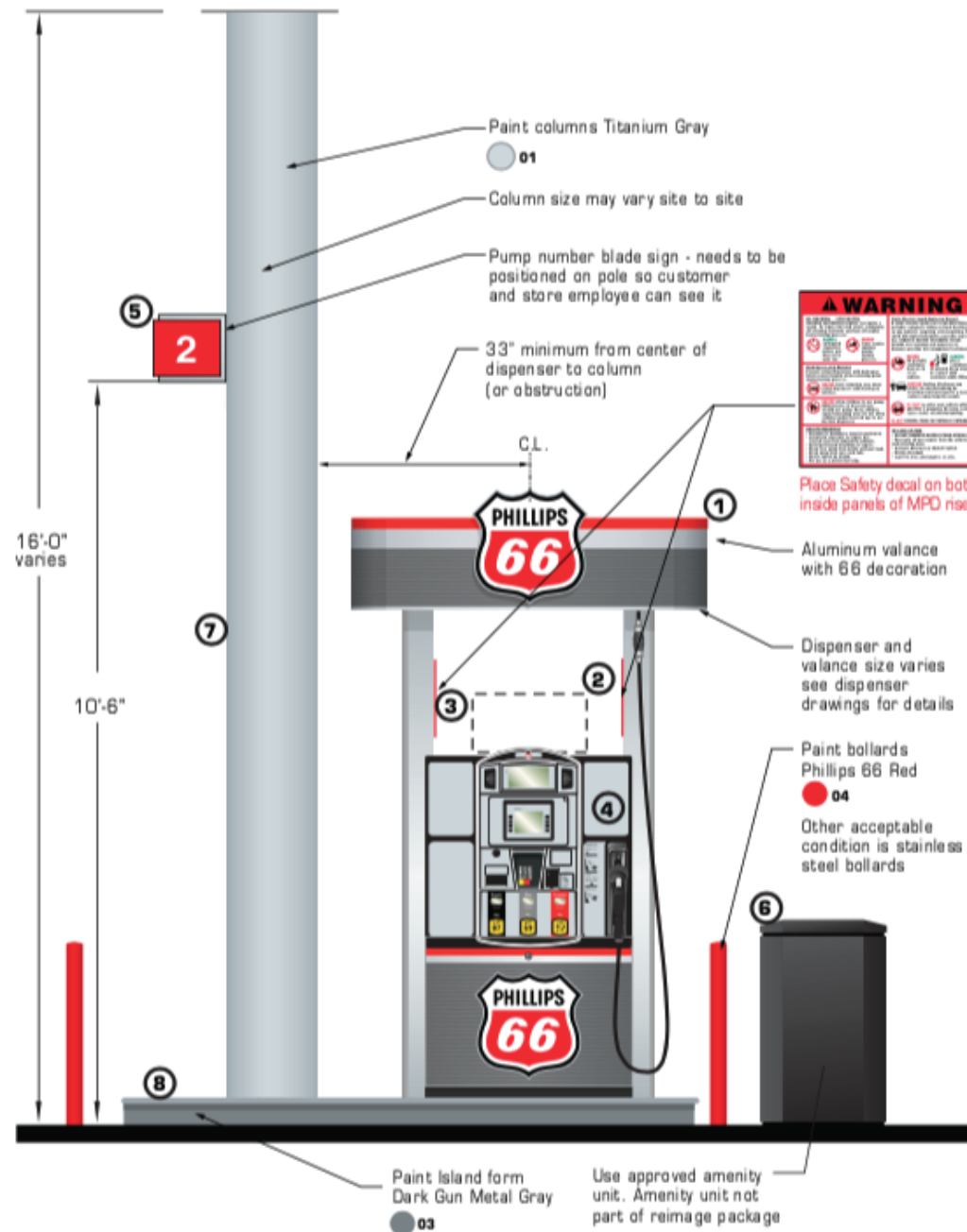
ELEVATION D: ILLUMINATED



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Phillips 66 Rivet brings a bright new appearance to the fueling area that complements the Main ID sign (MID) and canopy image. There are several elements of the fuel islands that are required for Phillips 66 Rivet standard image package as shown below.

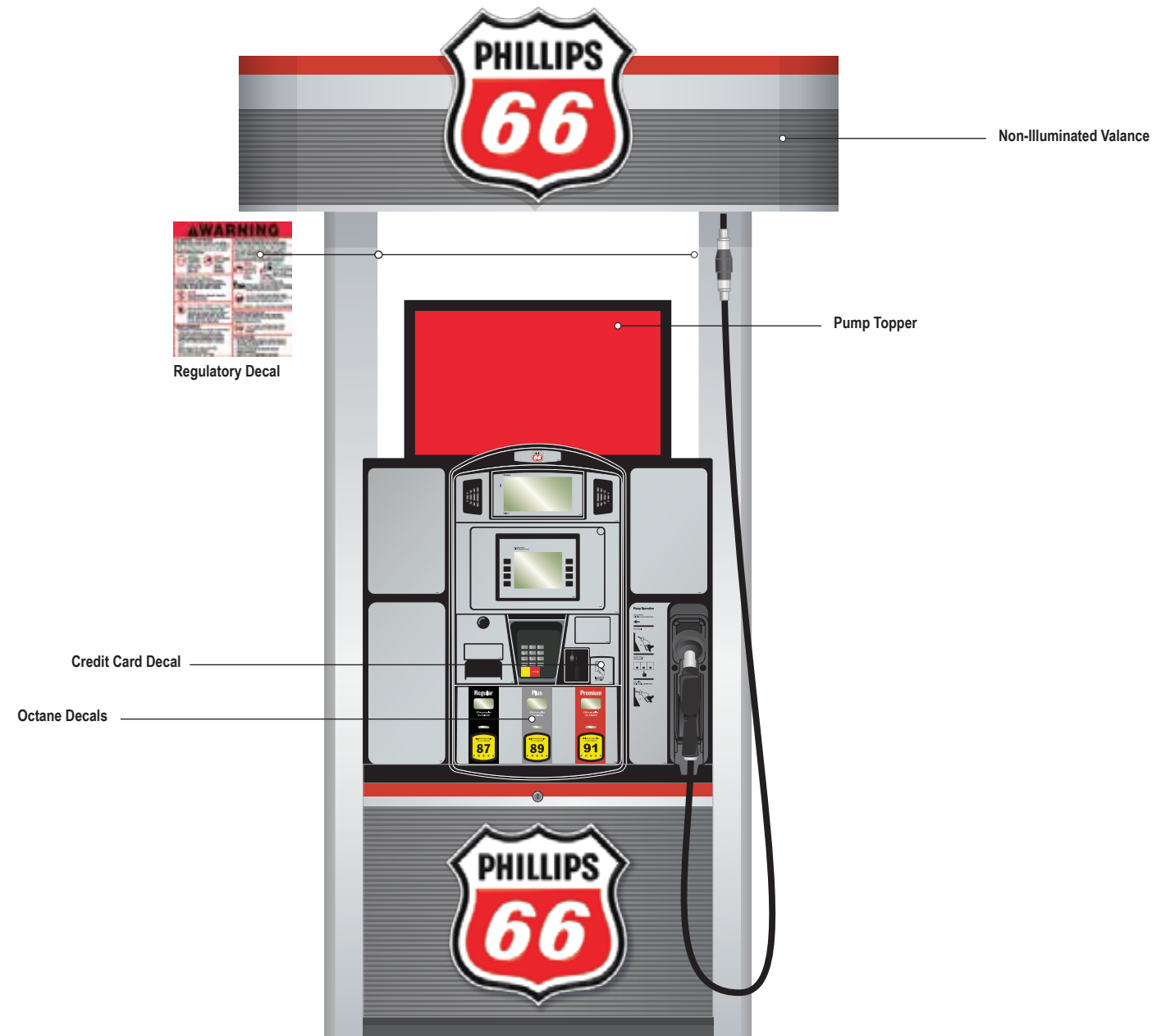
All dispensers must comply with the "minimum site requirements" as detailed on BizLink. For example this includes that pumps must have Card Reader in Dispenser (CRINDS) and remain clean and free of unprofessional discretionary signage. These requirements are regularly measured as part of the Mystery Shop program.

- 1 Valance**  
Aluminum decorated valance. All valances have rounded corners. No square corners are permitted on the valance. Follow visual graphics as defined in visual standards. Approved Phillips 66 supplier has complete art work for all valance sizes to fit all dispensers.
- 2 Pump Topper Frame**  
Pump toppers are horizontally centered in between the pump's uprights.
- 3 Safety Decal**  
The Consolidated Safety Decal is a brand requirement. It contains the latest API and NFPA recommended safety notices. Mounted to both inside faces of risers.
- 4 Dispensers**  
See dispenser detail in the Phillips 66 Rivet Forecourt Image Standards section of this document. Gray poly-carb overlays are applied to the bezel area of dispenser. This is part of the new reimage program. Add pump numbers to the pump itself.
- 5 Pump Number Blade sign**  
Should be visible for both the consumer and convenience store. Flag signs are mounted on the canopy columns. Decals are installed on dispenser bezels.
- 6 Amenity Units**  
Use approved amenity units. Should be located near each dispenser. May be charcoal, gray, or dark gray. There is an approved Column mounted windshield bucket available. New amenity units are not part of the Phillips 66 Rivet reimage package.
- 7 Canopy columns**  
Should have a clean and uncluttered appearance. Columns should be cleaned, repaired if needed, primed, and painted with approved color. May not be used to post prices or advertising. Columns that are unpainted brick or natural stone will be excused from the Phillips 66 Rivet column color and does not need a required exception. All other canopy column materials will be imaged to Titanium Gray or must be approved through the exception process.  
Painting instructions:  
Paint column Titanium Gray from bottom of column to roof deck of canopy.
- 8 Curbs, Island Forms & Bollards**  
All bollards in the fueling area will be painted Phillips 66 Red or leave if stainless steel. Island forms are painted Dark Gun Metal Gray. Natural concrete and stainless steel are acceptable substitutes to painting. Horizontal surface of the island must be natural concrete (preferred) or paint Dark Gun Metal Gray or can be tiled (natural stone). Bollards outside the fueling area should be painted a consistent color. Color may match Phillips 66 Rivet fuel image or building image, as desired. No stripes. For curbs outside the fueling area natural concrete is preferred to paint. If painted, it should be Dark Gun Metal Gray.

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Revision #	Date	Scale	Page #	
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\*\*\*WARNING\*\*\*: The following example is for visual purposes only.

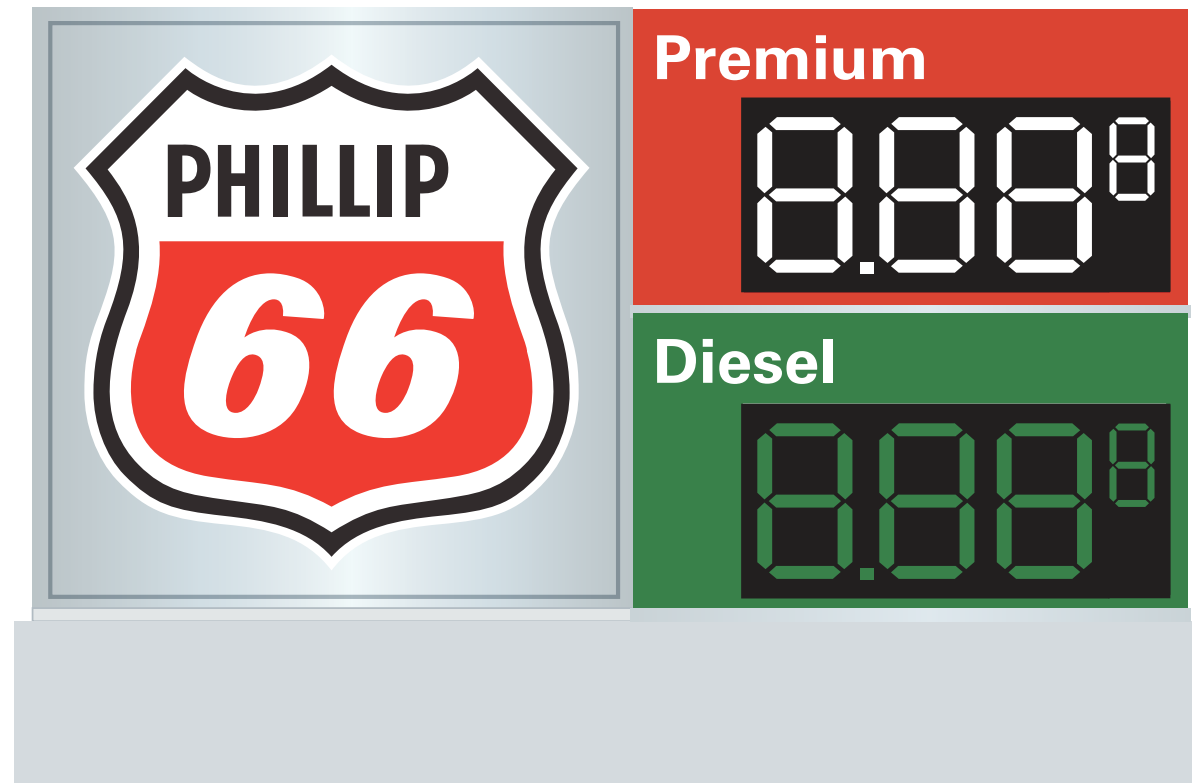


Dispenser Type: Gilbarco Encore 500/700S

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Proposed

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REV.	DATE	BY	DESCRIPTION



DAVID E. SCHATTE, PE  
10609 99TH STREET  
OVERLAND PARK, KS 66214  
LICENSE # E-27047

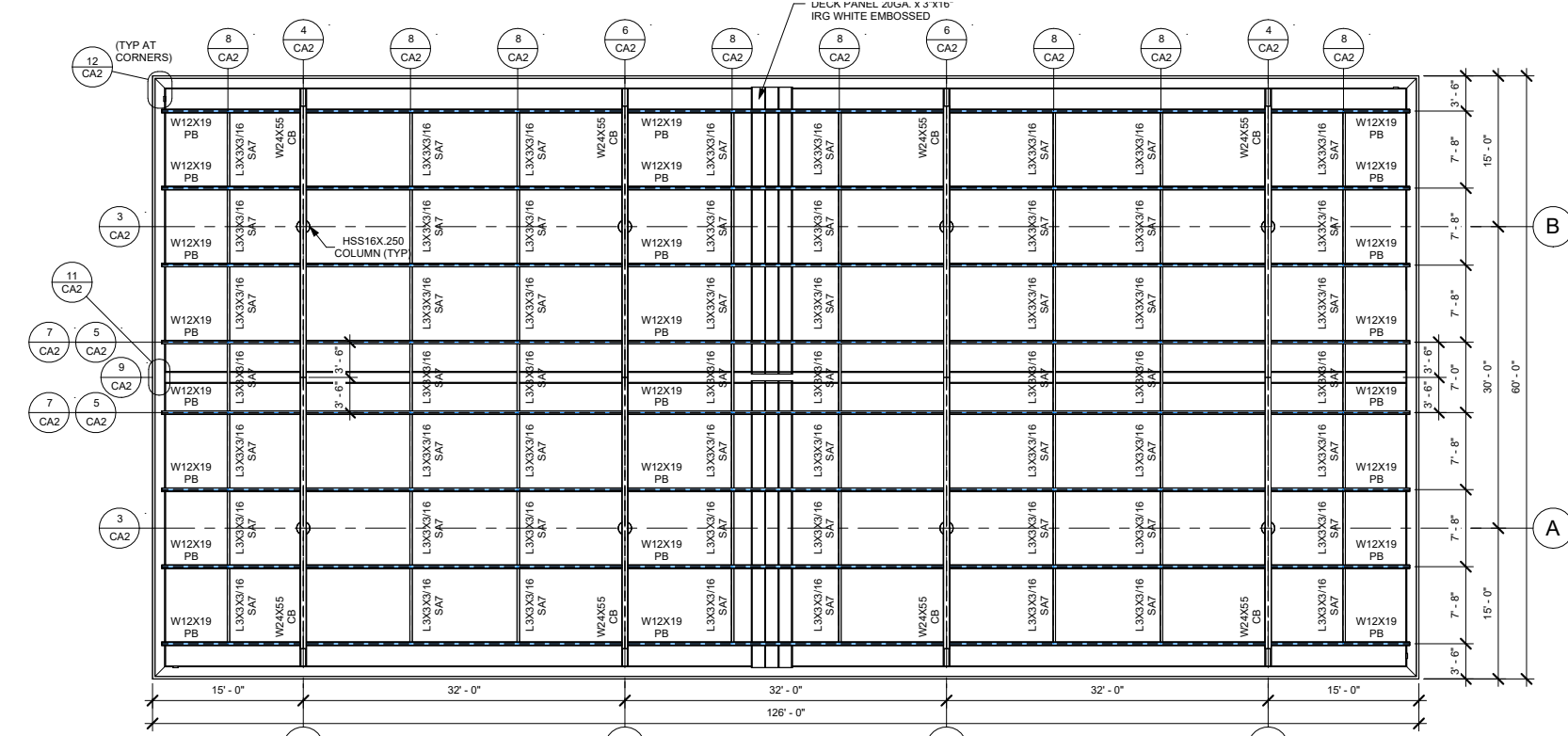


1019 E. North Street  
Ottawa, Kansas 66067  
Phone: 785.242.8111

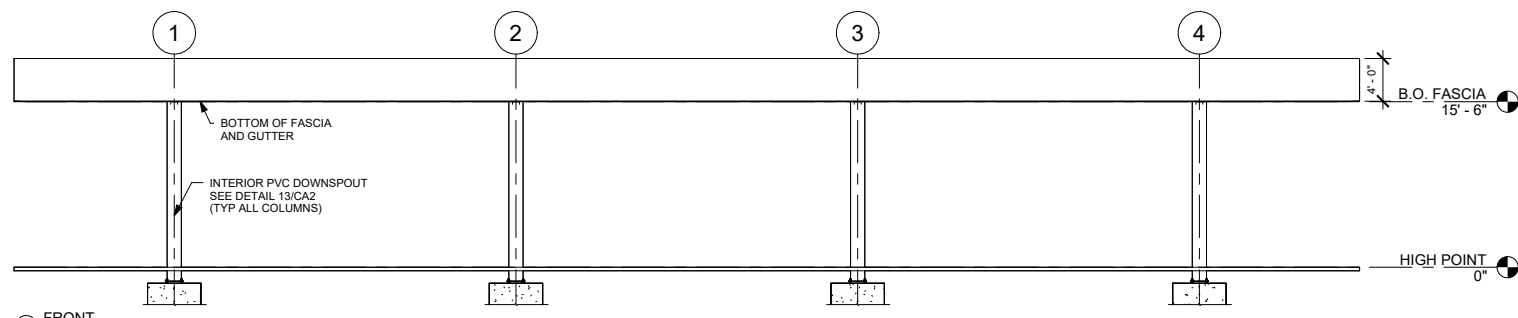
THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS  
ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF FASHION INC. IS PROHIBITED

PHILLIPS AUTO CANOPY  
CHESTERFIELD, MO

DATE:	3/14/25	DRAWN BY:	TJH	CHECKED BY:	DES
SHEET NUMBER:	466290				
SHEET TITLE:	FRAMING PLAN				



1 FRAMING PLAN  
1/8" = 1'-0"



2 FRONT  
1/8" = 1'-0"

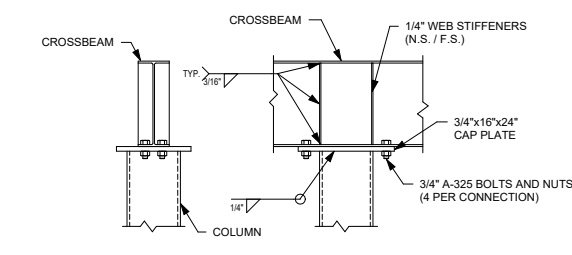
**STEEL NOTES**  
1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. DESIGN, FABRICATION AND ERECTION OF COLD FORMED STEEL SECTIONS SHALL CONFORM TO THE LATEST AISI SPECIFICATIONS.  
2. STRUCTURAL MATERIALS:  
WIDE FLANGE SECTIONS - ASTM A992 OR A572 GRADE 50 (Fy = 50 KSI)  
ANGLES / CHANNELS - ASTM A36 (Fy = 36 KSI)  
HOLLOW STRUCTURAL SECTIONS (TUBE) - ASTM A500 GRADE B (Fy = 46 KSI)  
PIPE SECTIONS - ASTM A53, GRADE B (Fy = 35 KSI)  
PLATE - ASTM A36 (Fy = 36 KSI)  
ROOF DECK - ASTM A653, GRADE 50 (Fy = 50 KSI), GALVANIZED (G60) WITH FULL COAT OF POLYESTER PAINT BAKED ON OVER AN EPOXY PRIMER.  
STEEL OUTRIGGERS - ASTM A653 GR. CS (Fy = 25 KSI), GALVANIZED (G90) PER ASTM 924  
STRUCTURAL BOLTS - ASTM F3125 GR A325  
ANCHOR BOLTS - ASTM F1554 GR. 55 (Fy = 55 KSI)  
3. WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH LATEST ANSI / AWS D1.1  
4. FIELD CONNECTIONS SHALL BE BOLTED CONNECTIONS UNLESS SPECIFIED ON DRAWING.  
5. ALL STRUCTURAL BOLTED CONNECTIONS SHALL USE ASTM F3125 GR A325 BOLTS. BOLTED JOINTS SHALL BE TIGHTENED TO SNUG TIGHT PER LATEST RCSC SPECIFICATION.  
6. STRUCTURAL STEEL SHALL BE SHOP COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER. FIELD TOUCH-UP, FINISH PAINTING, AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER (UNLESS OTHERWISE SPECIFIED).  
7. DESIGN LOADS PER ASCE 7-16 AND 2018 IBC.

RISK CATEGORY II  
ROOF LIVE LOAD = 20 PSF (ERECTION & MAINTENANCE ONLY - NO PUBLIC ACCESS)  
FLAT ROOF SNOW LOAD = 25 PSF  
BASED ON GROUND SNOW LOAD = 25 PSF  
Is = 1.0, Ct = 1.2, Ce = 1.0

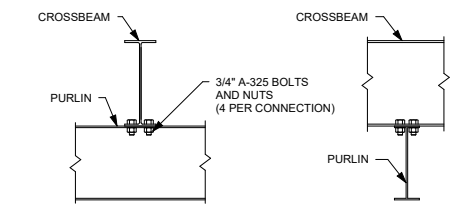
WIND LOADS:  
LATERAL = +/- 25 PSF (MWFRS) (USING 0.6 W FOR ASD)  
UPLIFT = +/- 20 PSF (MWFRS) (USING 0.6 W FOR ASD)  
BASED ON 120 MPH ULTIMATE WIND SPEED PER ASCE 7 EXPOSURE "B"  
IMPORTANCE FACTOR = 1.0, OPEN STRUCTURE, NO INTERNAL PRESSURE

SEISMIC LOADS:  
SEISMIC RISK CATEGORY II, SITE CLASS "D", SEISMIC DESIGN CATEGORY "D"  
Sds = 0.3750 (Ss = 0.3750, Fa = 1.0), Sd1 = 0.2250 (S1 = 0.1470, Fv = 2.3)  
SEISMIC FORCE RESISTING SYSTEM IS INVERTED PENDULUM CANTERLEVERED COLUMN, R = 2.0  
Cs = 0.188 DESIGN BASE SHEAR, Cs x W = 2.73K/COLUMN USING EQUIVALENT LATERAL FORCE PROCEDURE

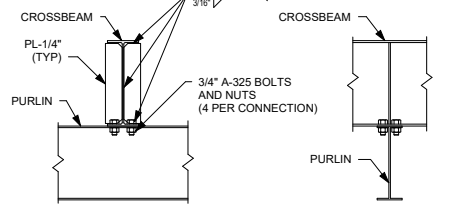
DEAD LOADS:  
DECK / GUTTER / LIGHTS - 5 PSF  
FASCIA - 10 PLF  
STRUCTURAL STEEL - SELF WT



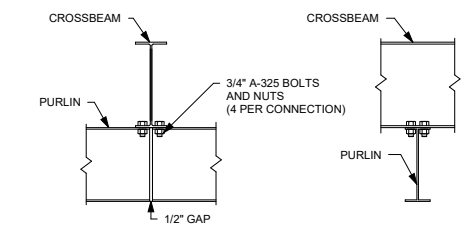
S01 - CROSSBEAM TO COLUMN  
3/4" = 1'-0"



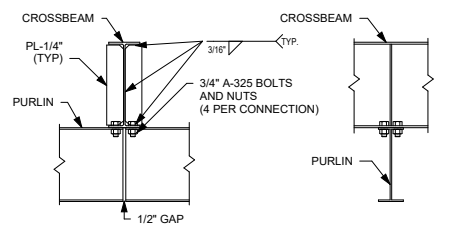
S20 CB TO PB  
3/4" = 1'-0"



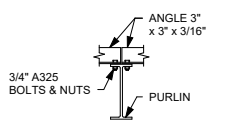
S21 CB TO PB  
3/4" = 1'-0"



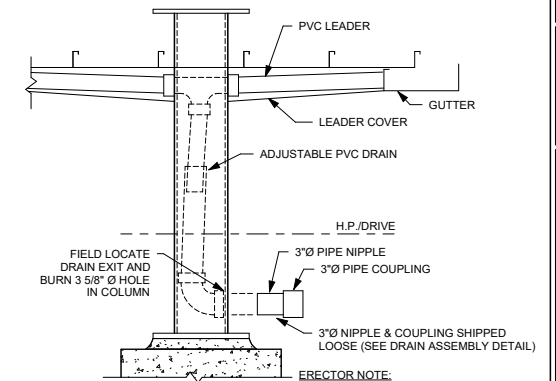
S02 - CROSSBEAM TO PURLIN  
3/4" = 1'-0"



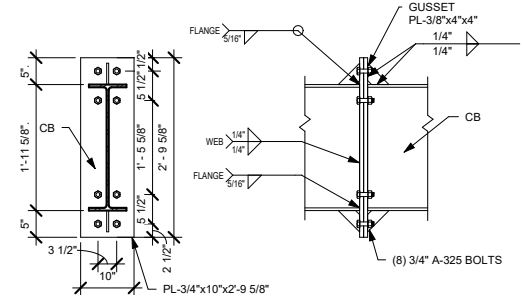
S22 CB TO PURLIN  
3/4" = 1'-0"



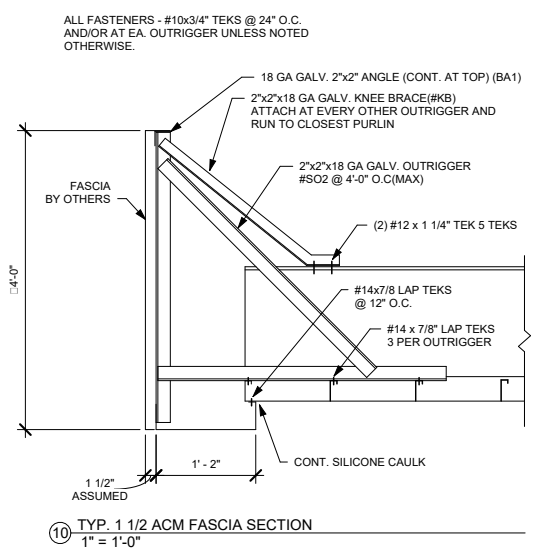
G1 CENTER GUTTER DETAIL  
3/4" = 1'-0"



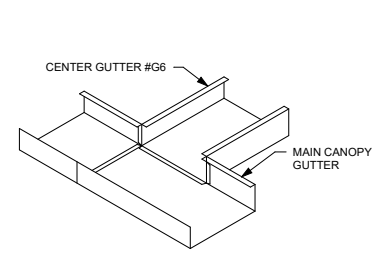
G2 SECONDARY OVERFLOW DETAIL  
3/4" = 1'-0"



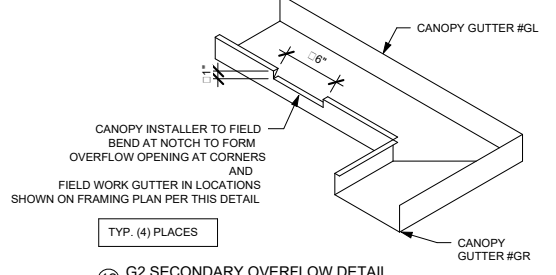
G9 DRAIN DETAIL (BELOW GRADE)  
3/4" = 1'-0"



TYP. 1/2 ACM FASCIA SECTION  
1" = 1'-0"



G1 CENTER GUTTER DETAIL  
3/4" = 1'-0"

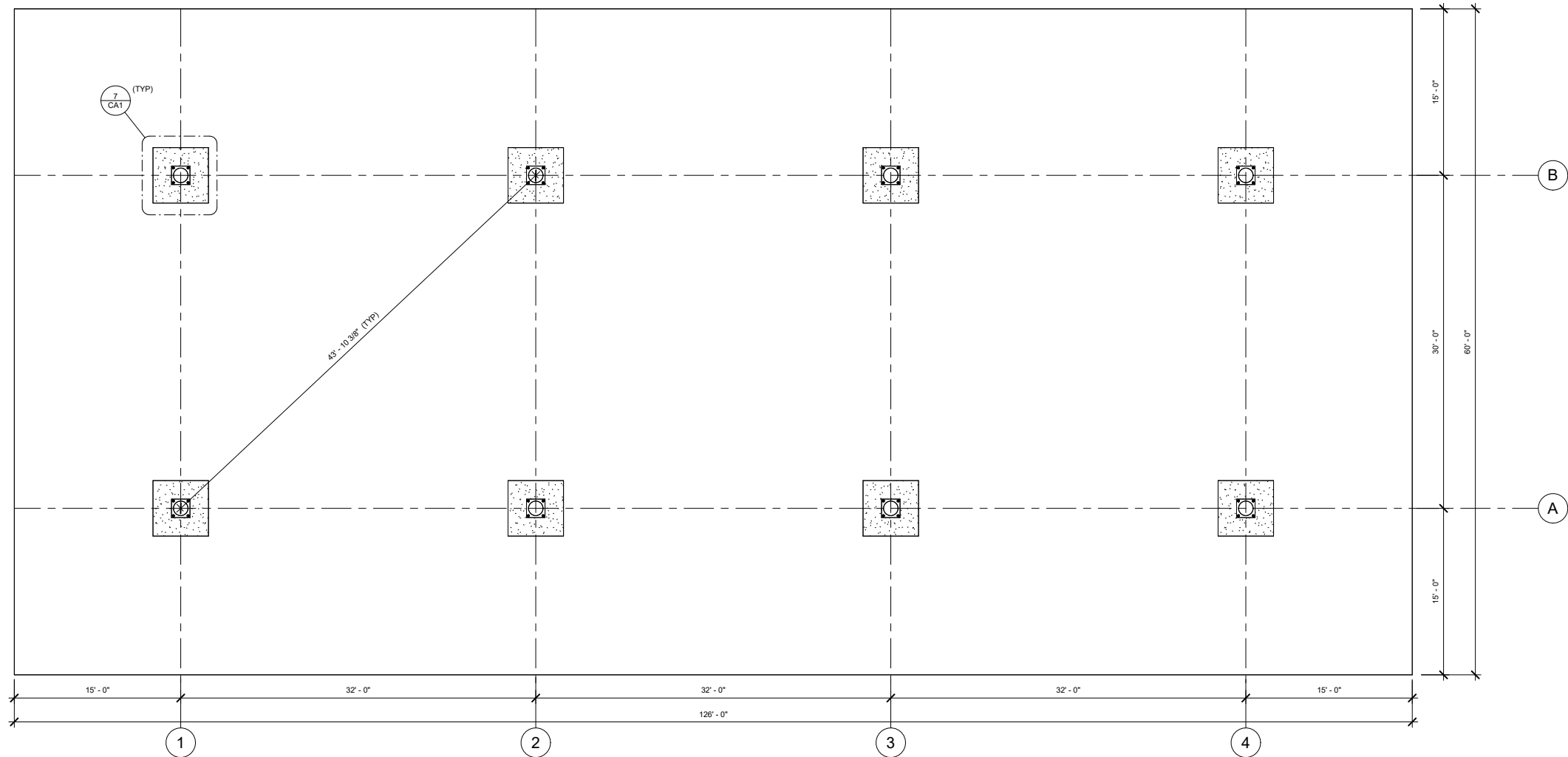


G2 SECONDARY OVERFLOW DETAIL  
3/4" = 1'-0"

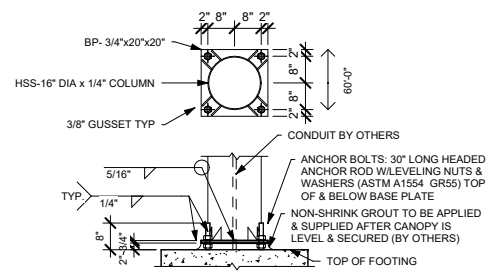
ALL FASTENERS - #10x3/4" TEKS @ 24" O.C.  
AND/OR AT EA. OUTRIGGER UNLESS NOTED OTHERWISE.

18 GA GALV. 2"x2" ANGLE (CONT. AT TOP) (BA1)  
2"x2"x18 GA GALV. KNEE BRACE(#B)  
ATTACH AT EVERY OTHER OUTRIGGER AND RUN TO CLOSEST PURLIN  
FASCIA BY OTHERS  
7"x2"x18 GA GALV. OUTRIGGER  
#S02 @ 4'-0" O.C.(MAX)  
(2) #12 x 1 1/4" TEK 5 TEKS  
#14x7/8 LAP TEKS @ 12" O.C.  
#14 x 7/8" LAP TEKS 3 PER OUTRIGGER  
CONT. SILICONE CAULK  
1 1/2" ASSUMED  
1'-2"

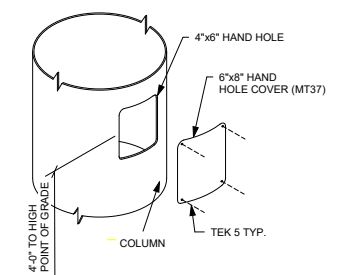
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1 FOUNDATION PLAN  
3/16" = 1'-0"

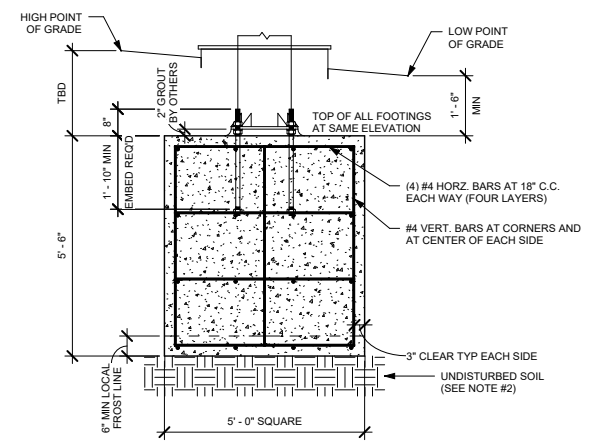
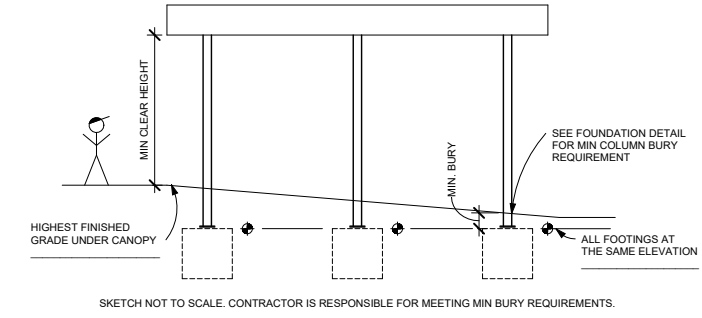


4 BASEPLATE DETAIL  
1/2" = 1'-0"

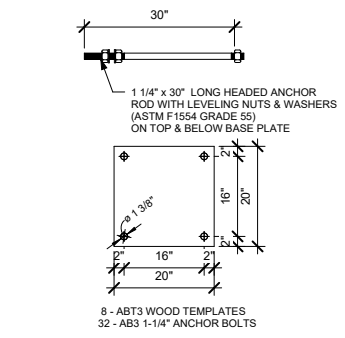


5 D2 HAND HOLE & COVER RD  
3/4" = 1'-0"

**NOTE:**  
CANOPY DELIVERY WILL BE TENTATIVELY SCHEDULED 8 WEEKS AFTER RECEIPT OF ALL REQUIRED INFORMATION.  
**REQUIRED INFORMATION**  
HIGHEST GRADE UNDER CANOPY  
TOP OF FOOTING ELEVATION  
CONDUIT LOCATION AND DIRECTION  
VENT LOCATION AND DIRECTION  
DIRECTION OF FIELD LOCATED DOWNSPOUTS  
BUILDING, STREET OR DIRECTION REFERENCE  
**SCOPE OF WORK INCLUDES:**  
(4) 1" CONDUITS (2) 2" VENTS  
ALL INFO MUST BE KNOWN BEFORE FABRICATION BEGINS  
PLEASE SUBMIT TO: drafting@fashioninc.com



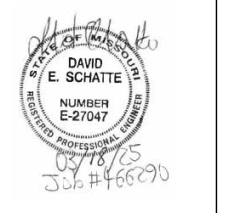
7 SQUARE FOUNDATION DETAIL  
1/2" = 1'-0"



8 BOLT TEMPLATE  
3/4" = 1'-0"

- FOOTING NOTES**
- OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTING AND ANCHOR BOLT INSTALLATION.
  - ALL FOOTINGS SHALL BE CAST ON LEVEL UNDISTURBED SOIL, ROCK OR PROPERLY COMPACTED STRUCTURAL FILL. BOTTOM OF FOOTING TO BE ABOVE WATER TABLE. FOOTING SIZE BASED ON MINIMUM 1500 PSF SOIL BEARING CAPACITY AT BASE AND 150 PSF PER FOOT OF DEPTH LATERAL BEARING CAPACITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SOIL PARAMETERS.
  - ALLOWABLE SOIL BEARING INDICATED IN NOTE 2 ABOVE BASED ON FOUNDATIONS BEARING IN UNDISTURBED SOIL OR PROPERLY PREPARED / COMPACTED STRUCTURAL FILL.
  - FOOTING CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
  - TOPS OF ALL FOOTINGS ARE ASSUMED TO BE AT SAME ELEVATION. OWNER / GENERAL CONTRACTOR SHALL PROVIDE BURIAL DEPTH FROM HIGH GRADE UNDER CANOPY. WHERE TOPS OF FOOTINGS ARE AT DIFFERENT ELEVATIONS, THE OWNER / GENERAL CONTRACTOR SHALL PROVIDE THE CANOPY MANUFACTURER WITH ALL FOOTING AND GRADE ELEVATIONS PRIOR TO CANOPY FABRICATION. VARIATIONS FROM DESIGN ELEVATIONS MAY RESULT IN INADEQUATE CLEARANCE AND UNDER SIZED FOOTINGS.
  - OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING NON-SHRINK GROUT UNDER ALL COLUMN BASES AFTER CANOPY IS LEVELED AND SECURED.
  - FOOTING REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 DEFORMED BILLET STEEL BARS WITH SPACING AS SHOWN ON DRAWING.
  - FOOTINGS ARE ASSUMED TO BE CONSTRAINED BY DRIVE MAT CONCRETE. WHERE THIS CONDITION DOES NOT EXIST, THE OWNER SHALL NOTIFY CANOPY MANUFACTURER.
  - ANCHOR RODS SHALL BE PLACED IN ACCORDANCE WITH THIS DRAWING. TEMPLATES SHALL BE USED TO ENSURE PROPER PLACEMENT OF ANCHOR RODS. ANCHOR RODS ARE TO BE INSTALLED SUCH THAT A MINIMUM OF 7" OF THREAD IS EXPOSED ABOVE TOP OF FOOTING. BOTTOM OF THREADS SHALL NOT END MORE THAN 3/4" ABOVE TOP OF FOOTER.

REV.	DATE	BY	DESCRIPTION



DAVID E. SCHATTE, PE  
10609 99TH STREET  
OVERLAND PARK, KS 66214  
LICENSE # E-27047



1019 E. North Street  
Ottawa, Kansas 66067  
Phone: 785.242.8111

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PHILLIPS AUTO CANOPY  
CHESTERFIELD, MO

60" x 126" (8) COLUMN CANOPY  
ISSUE DATE: 3/14/25  
DRAWN BY: TJH  
CHECKED BY: DES  
JOB NUMBER: 466290

SHEET TITLE: FOUNDATION PLAN  
SHEET NUMBER: CA1

V:\Design\Jobs (FILE)\60000466290 Chesterfield, MO - auto\60290 E\_Drawings Rev\_0.rvt



Provide all information requested on this page for proper design layout.  
**NOTE\*\*\* FASHION will not release canopy into active schedule until we receive this completed sheet.**  
**Our standard lead time is 6-8 weeks (excluding custom materials) upon receipt\*\*\***  
**Send to DRAFTING@FASHIONINC.COM**

**Canopy Site Detail Sheet**

Thank you for your canopy order:

Date: 3/18/2025  
 Submitted by: TJH  
 Job No. 466290

Your order includes the following items, please provide the items requested below and return back to our attention to activate your canopy into the active schedule. Please review very carefully and provide all requested information: This dictates the exact specifications of your order final built canopy.

Scope Includes: 4 -1" CONDUIT 2 -2" VENT PIPE 0

All Footings at same elevations  
 Burial depth; \*Top of footing to finished grade\*: \_\_\_\_\_  
 If measurement differs please mark on dwg "A"

Drains (EA): Quantity \_\_\_\_\_

\* Indicate drain direction & elevation from top of column baseplate to center line of drain exit.

Conduit type: \_\_\_\_\_ Quantity (IF INCLUDED ON QUOTE)  
 1" with seal off \_\_\_\_\_

\* Indicate conduit direction & elevation from top column base on Site dwg

Vent Lines: \_\_\_\_\_ Quantity (IF INCLUDED ON QUOTE)  
 2" black steel: \_\_\_\_\_

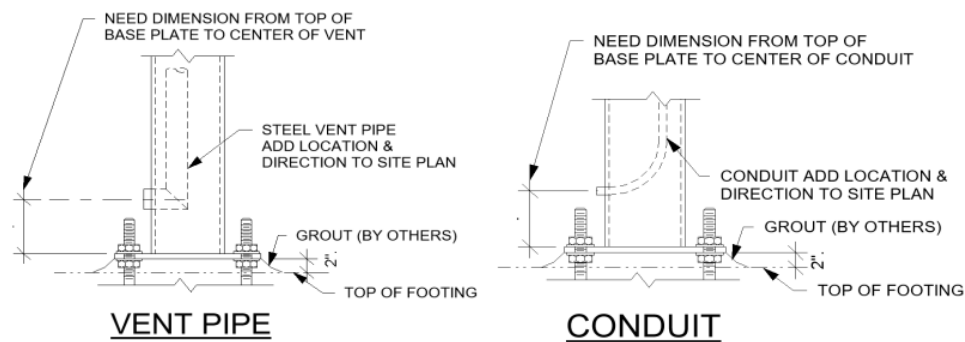
\* Indicate vent line direction & elevation from top of column base on site dwg

Lighting type: \_\_\_\_\_ Quantity (IF INCLUDED ON QUOTE)  
 LED: \_\_\_\_\_

\*please mark canopy light location on site dwg if installer is to hang lights

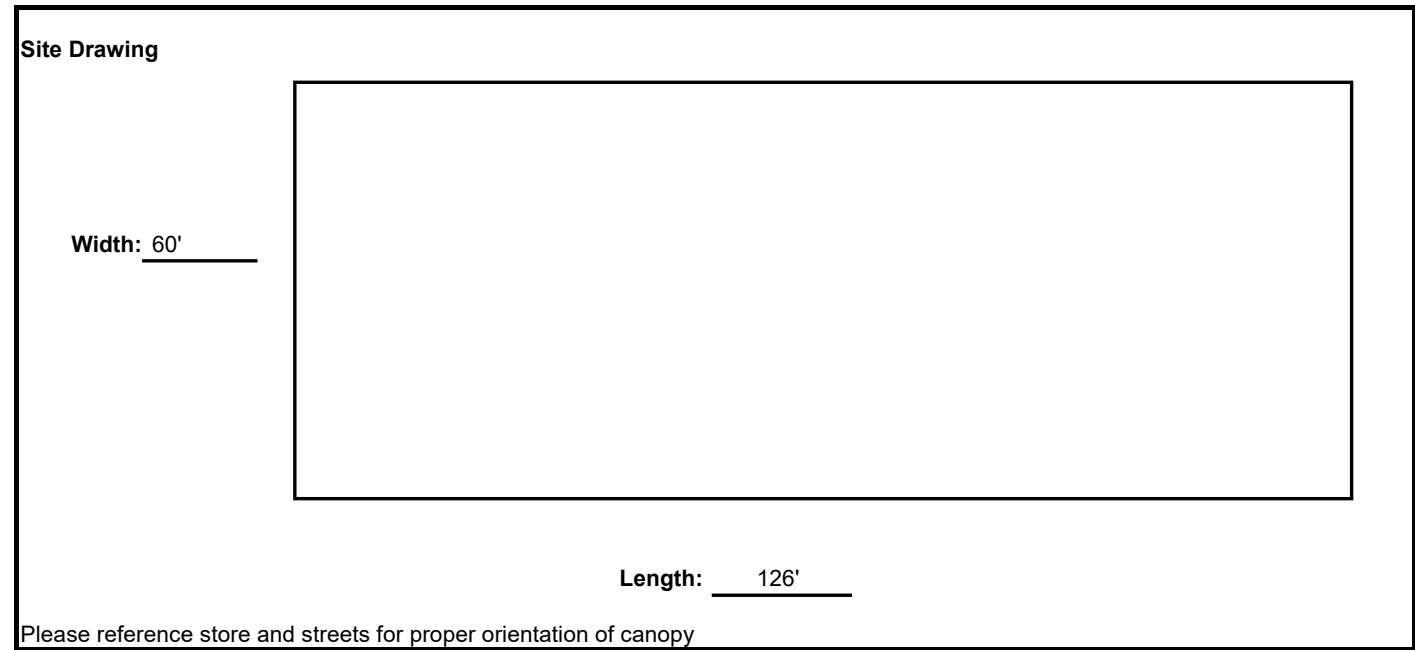
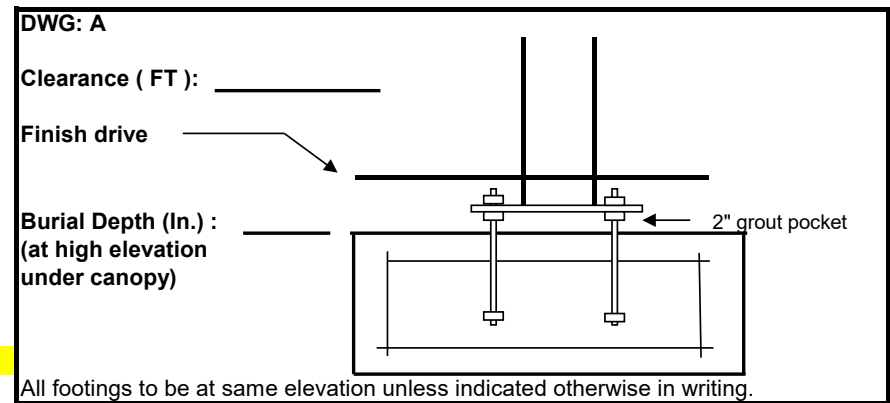
Sign: \_\_\_\_\_  
 \*please indicate sign locations on site DWG. If installer is to hang signs.

**NOTE: ALL TANK VENTS WILL BE CONCEALED IN THE CANOPY COLUMNS AND SCREENED FROM VIEW BY THE CANOPY FASCIA.**



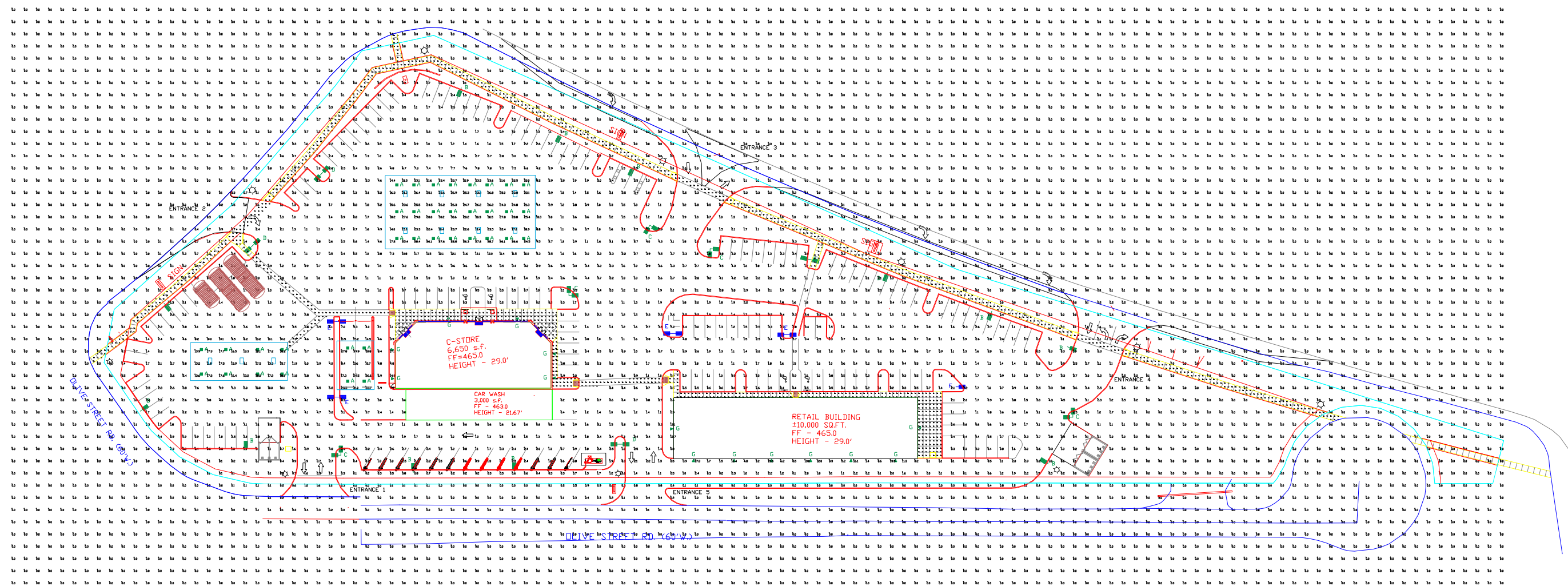
**Job site information:**  
 Desired Delivery Week of \_\_\_\_\_  
 Job Name: PHILLIPS AUTO  
 Site Address: CHESTERFIELD, MO  
 On Site Contact: \_\_\_\_\_

\*\*FASHION will design canopy assuming site grade is level & footings are at the same elevation unless notification is received in writing at time of this confirmation with a min. 18" bury\*\*



Signature: \_\_\_\_\_

Date: \_\_\_\_\_



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
ALL CALC POINTS	Illuminance	Fc	1.00	50.8	0.0	N.A.	N.A.	2
EXTERIOR WALKWAY	Illuminance	Fc	0.49	2.6	0.0	N.A.	N.A.	2
INTERIOR WALKWAY	Illuminance	Fc	2.19	18.6	0.0	N.A.	N.A.	2
DIESEL CANDPY	Illuminance	Fc	15.69	18.2	8.1	1.94	2.25	
ENTRANCE 1	Illuminance	Fc	2.86	5.2	1.2	2.38	4.33	
ENTRANCE 2	Illuminance	Fc	1.46	2.5	0.3	4.87	8.33	
ENTRANCE 3	Illuminance	Fc	0.45	2.6	0.0	N.A.	N.A.	
ENTRANCE 4	Illuminance	Fc	1.83	3.6	0.3	6.10	12.00	
ENTRANCE 5	Illuminance	Fc	1.31	2.5	0.3	4.37	8.33	
GAS CANDPY	Illuminance	Fc	22.85	30.6	8.2	2.79	3.73	
PARKING AREA	Illuminance	Fc	2.20	17.3	0.0	N.A.	N.A.	
PAY CANDPY	Illuminance	Fc	25.65	50.8	8.4	3.05	6.05	



Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
[Symbol]	36	A	SINGLE	CRUS-SC-VLW-50	10' PAY, 15' GAS, 18' DIESEL	1.000	9364	60	B3-U0-G1
[Symbol]	12	B	SINGLE	MRM-LED-07L-SIL-FT-50-70CRI-IL-SINGLE	18' POLE+2' BASE	1.000	4852	48	B0-U0-G2
[Symbol]	5	C	2 @ 90 DEGREES	MRM-LED-07L-SIL-FT-50-70CRI-IL-D90	18' POLE+2' BASE	1.000	9704	96	B0-U0-G2
[Symbol]	4	D		MRM-LED-07L-SIL-FT-50-70CRI-IL-D180	18' POLE+2' BASE	1.000	9704	96	B0-U0-G2
[Symbol]	4	E		MRM-LED-07L-SIL-FT-50-70CRI-D180	18' POLE+2' BASE	1.000	15124	96	B2-U0-G2
[Symbol]	1	F	SINGLE	MRM-LED-07L-SIL-SW-50-70CRI-SINGLE	18' POLE+2' BASE	1.000	7292	48	B3-U0-G1
[Symbol]	14	G	SINGLE	XPWS3-WW-LED-28-350-CW-UE	10'	1.000	3161	34	B2-U0-G0

PHOTOMETRIC EVALUATION  
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

The IES no longer uses the Cutoff Classification System for LED fixtures. The IES classifies LED fixtures with the BUG rating which refers to the Backlight-Uplight-Glare system. An Uplight of 'U0' most closely matches the old Full Cutoff rating.

Dimensions of drawings that have been scaled or converted from PDF files or scanned /submitted images are approximate.

Total Project Watts  
Total Watts = 4508

1000 ALLIANCE RD. CHESTERFIELD, OHIO 45304 USA  
CSD 770-500 • FAX 513-755-0055

LIGHTING PROPOSAL LO-126601-11

ENERGY EXPRESS  
CHESTERFIELD AIRPORT RD  
CHESTERFIELD, OH

DATE: 03-24-15 REV: 01-25 SHEET 1 OF 1

SCALE: 1"=40'



Jerald Saunders - Landscape Architect  
MO License # LA-007

Consultants:

Revisions:

Date	Description	No.
9/22/15	Plan Revision	
2/10/16	Plan Revision	
4/15/16	City Comments	
4/26/16	Plan Changes	
8/24/16	Plan Changes	
12/6/16	City Comments	
9/19/18	Plan Changes	
2/14/25	Plan Changes	
4/21/25	City Comments	

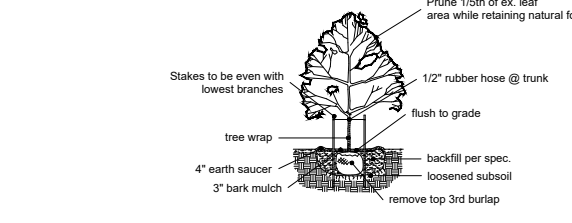
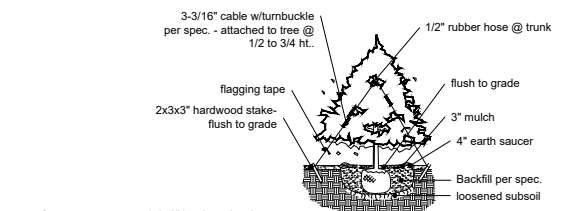
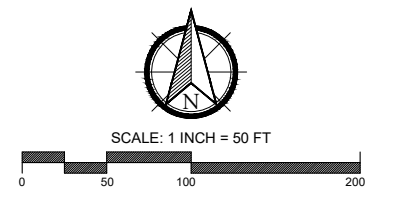
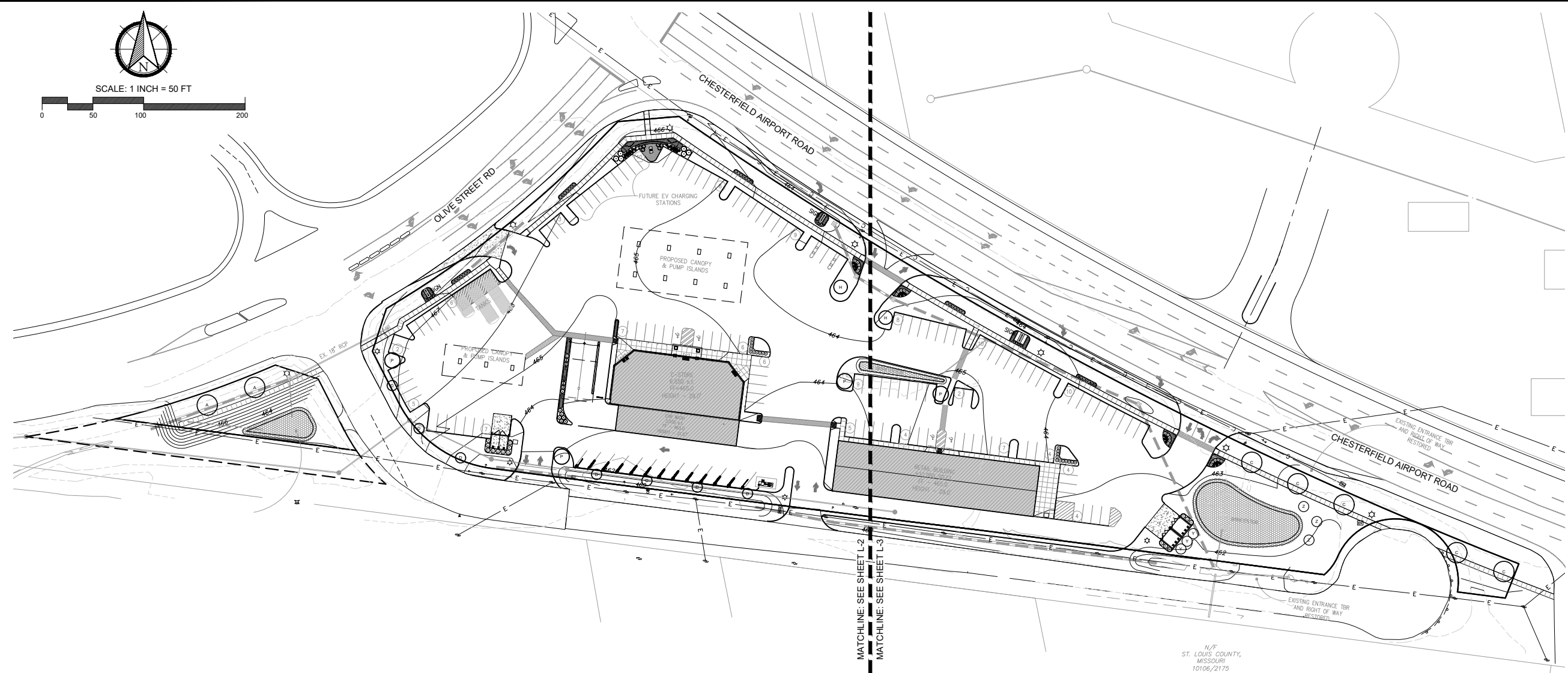
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Checked: JAS

**LOOMIS ASSOCIATES**  
landscape architects + planners  
789 Spinnaker Drive, Chesterfield, Missouri 63015  
t. 636.939.6666  
www.loomis-associates.com

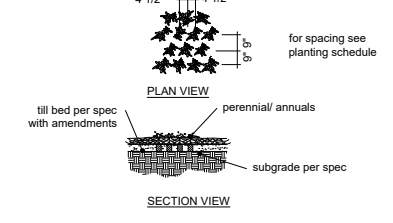
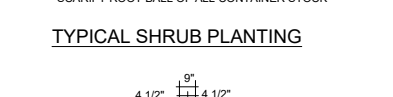
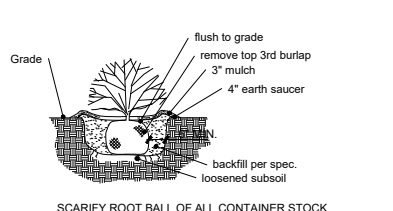
Loomis Associates Inc.  
Missouri State Certificate of Authority #: LAC #000019

Sheet Title:	OVERALL LANDSCAPE PLAN
Sheet No.:	L-1
Date:	04/15/16
Job #:	957.001

PREPARED FOR:  
STEVE MADRAS  
ENERGY MARKETING  
2130 KIENLEN AVE.  
ST. LOUIS MO 63121  
(314) 383-3700



- LANDSCAPE NOTES:**
1. LAWN AREAS SHALL BE TURF-TYPE TALL FESCUE GRASS OR APPROVED EQUAL.
  2. TOPSOIL IN ALL DISTURBED LAWN AREAS AT 6" DEPTH.
  3. SOIL MIX IN ALL SHRUB BEDS AT 8" DEPTH.
  4. MULCH TO BE 1.5" TRAP ROCK (EXCLUDES BIORETENTIONS).
  5. MULCH BEDS TO RECEIVE WOVEN GEOTEXTILE POLYPROPYLENE LANDSCAPE FABRIC WEED BARRIER BELOW ROCK MULCH.
  6. BED EDGES TO BE SPADE CUT. SEE DETAIL.
  7. ALL LANDSCAPED AREAS, INCLUDING ISLANDS, SHALL BE PROVIDED WITH MECHANICAL, IN-GROUND IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE DESIGN-BUILD DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT.

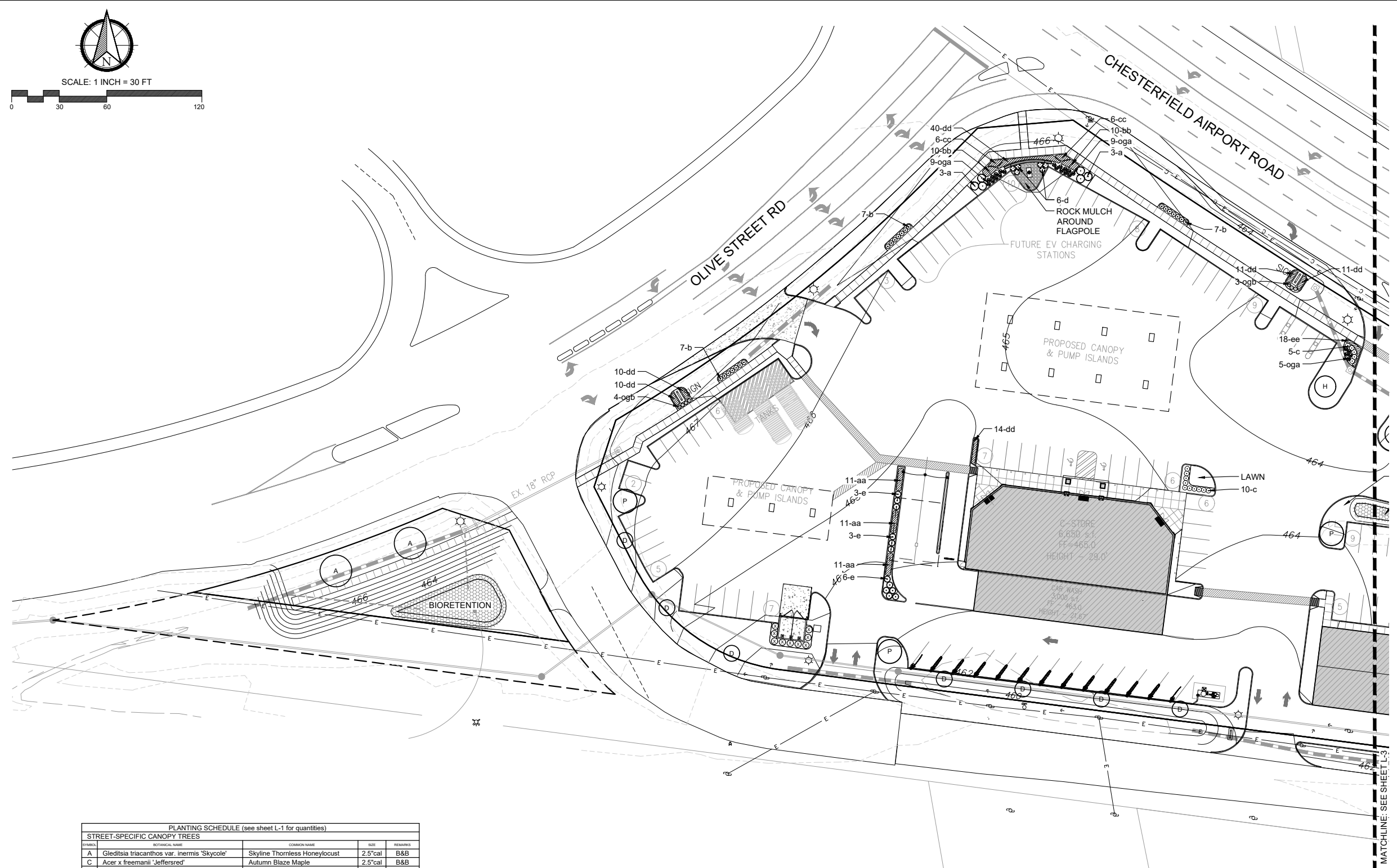
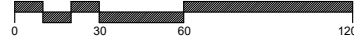


PLANTING SCHEDULE											
STREET-SPECIFIC CANOPY TREES											
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	MATURE HEIGHT	SIZE CLASS	GROWTH RATE	GROWTH RATE %		
A	2	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Thornless Honeylocust	2.5' cal	B&B	35-45'	Large	Fast			
C	5	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5' cal	B&B	40-50'	Large	Fast			
D	7	Quercus robur x bicolor 'Nadler' (columnar)	Kindred Spirit Oak	2.5' cal	B&B	45'+	Large	Medium	17%		
CANOPY TREES											
H	2	Acer rubrum 'Armstrong' (columnar)	Armstrong Maple	2.5' cal	B&B	50-60'	Large	Fast			
UNDERSTORY TREES											
P	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5' cal	B&B	15-20'	Small	Medium	9.8%		
EVERGREEN TREES											
X	15	Juniperus virginiana 'Taylor'	Taylor Upright Juniper	6' ht	B&B	15-20'	Small	Medium	36.6%		
Y	3	Picea glauca	White Spruce	6' ht	B&B	35-40'	Medium	Medium	7.3%		
Z	3	Picea pungens	Colorado Blue Spruce	6' ht	B&B	35-40'	Medium	Medium	7.3%		
SHRUBS											
a	6	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	24"	Cont.						
b	35	Spiraea japonica 'Tracy'	Double Play Big Bang Spirea	15"	Cont.						
c	41	Buxus 'Green Velvet'	Green Velvet Boxwood	18"	Cont.						
d	6	Cornus sericea 'Farrow'	Arctic Fire Redtwig Dogwood	18"	Cont.						
e	12	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	18"	Cont.						
ORNAMENTAL GRASSES											
oga	38	Panicum virgatum 'Cheyenne Sky'	Cheyenne Sky Switchgrass	3 gal	Cont.						
ogb	11	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal	Cont.						
PERENNIALS											
aa	33	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal	24" o.c.						
bb	20	Rudbeckia fulgida var. sullivantii 'Goldsturm'	Goldsturm Black-eyed Susan	1 gal	24" o.c.						
cc	12	Salvia x sylvestris 'Mainsch'	May Night Salvia	1 gal	24" o.c.						
dd	126	Liriope muscari 'Variegata'	Variegated Liriope	1 qt	18" o.c.						
ee	84	Chrysanthemum x superbum 'Snowcap'	Snowcap Shasta Daisy	1 qt	18" o.c.						

- GENERAL NOTES & CALCULATIONS (PER CITY OF CHESTERFIELD LANDSCAPE REQUIREMENTS):**
1. STREET TREES SHALL BE LOCATED WITHIN A STREET RIGHT-OF-WAY UNLESS SO APPROVED BY VARIANCE.
  2. STREET TREES SHALL NOT BE PLANTED CLOSER THAN THREE (3) FEET TO ANY CURB.
  3. STREET TREES SHALL NOT BE PLACED WITHIN TWENTY-FIVE (25) FEET OF STREET LIGHTS, STREET SIGNS, AND INTERSECTIONS.
  4. NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET OF STREET INLETS OR MANHOLES.
  5. A MINIMUM OF THIRTY PERCENT (30%) OF THE TREES MUST BE OF A SPECIES WITH A SLOW OR MEDIUM GROWTH RATE.
  6. ALL LANDSCAPED AREAS, INCLUDING ISLANDS, SHALL BE PROVIDED WITH MECHANICAL, IN-GROUND IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE DESIGN-BUILD DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT.
- 32 PROPOSED TREES WITH SLOW/MEDIUM GROWTH RATE  
+ 41 TOTAL PROPOSED TREES  
78% SLOW/MEDIUM GROWTH RATE

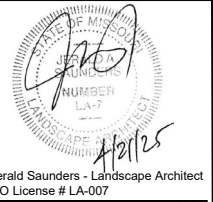


SCALE: 1 INCH = 30 FT



PLANTING SCHEDULE (see sheet L-1 for quantities)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>STREET-SPECIFIC CANOPY TREES</b>				
A	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skycole'	Skyline Thornless Honeylocust	2.5'cal	B&B
C	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2.5'cal	B&B
D	<i>Quercus robur</i> x <i>bicolor</i> 'Nadler' (columnar)	Kindred Spirit Oak	2.5'cal	B&B
<b>CANOPY TREES</b>				
H	<i>Acer rubrum</i> 'Armstrong' (columnar)	Armstrong Maple	2.5'cal	B&B
<b>UNDERSTORY TREES</b>				
P	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5'cal	B&B
<b>EVERGREEN TREES</b>				
X	<i>Juniperus virginiana</i> 'Taylor'	Taylor Upright Juniper	6' ht	B&B
Y	<i>Picea glauca</i>	White Spruce	6' ht	B&B
Z	<i>Picea pungens</i>	Colorado Blue Spruce	6' ht	B&B
<b>SHRUBS</b>				
a	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Juniper	24"	Cont.
b	<i>Spiraea japonica</i> 'Tracy'	Double Play Big Bang Spirea	15"	Cont.
c	<i>Buxus 'Green Velvet'</i>	Green Velvet Boxwood	18"	Cont.
d	<i>Cornus sericea</i> 'Farrow'	Arctic Fire Redtwig Dogwood	18"	Cont.
e	<i>Juniperus x pfitzeriana</i> 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	18"	Cont.
<b>ORNAMENTAL GRASSES</b>				
oga	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switchgrass	3 gal	Cont.
ogb	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal	Cont.
<b>PERENNIALS</b>				
aa	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	1 gal	24" o.c.
bb	<i>Rudbeckia fulgida</i> var. <i>sullivantii</i> 'Goldsturm'	Goldsturm Black-eyed Susan	1 gal	24" o.c.
cc	<i>Salvia x sylvestris</i> 'Mainacht'	May Night Salvia	1 gal	24" o.c.
dd	<i>Liriope muscari</i> 'Variegata'	Variegated Liriope	1 qt	18" o.c.
ee	<i>Chrysanthemum x superbum</i> 'Snowcap'	Snowcap Shasta Daisy	1 qt	18" o.c.



Consultants:

# THE WEDGE

CHESTERFIELD, MISSOURI

Revisions:

Date	Description	No.
9/22/15	Plan Revision	
2/10/16	Plan Revision	
4/15/16	City Comments	
4/26/16	Plan Changes	
8/24/16	Plan Changes	
12/6/16	City Comments	
9/19/18	Plan Changes	
2/14/25	Plan Changes	
4/21/25	City Comments	

Drawn: LWH  
Checked: JAS

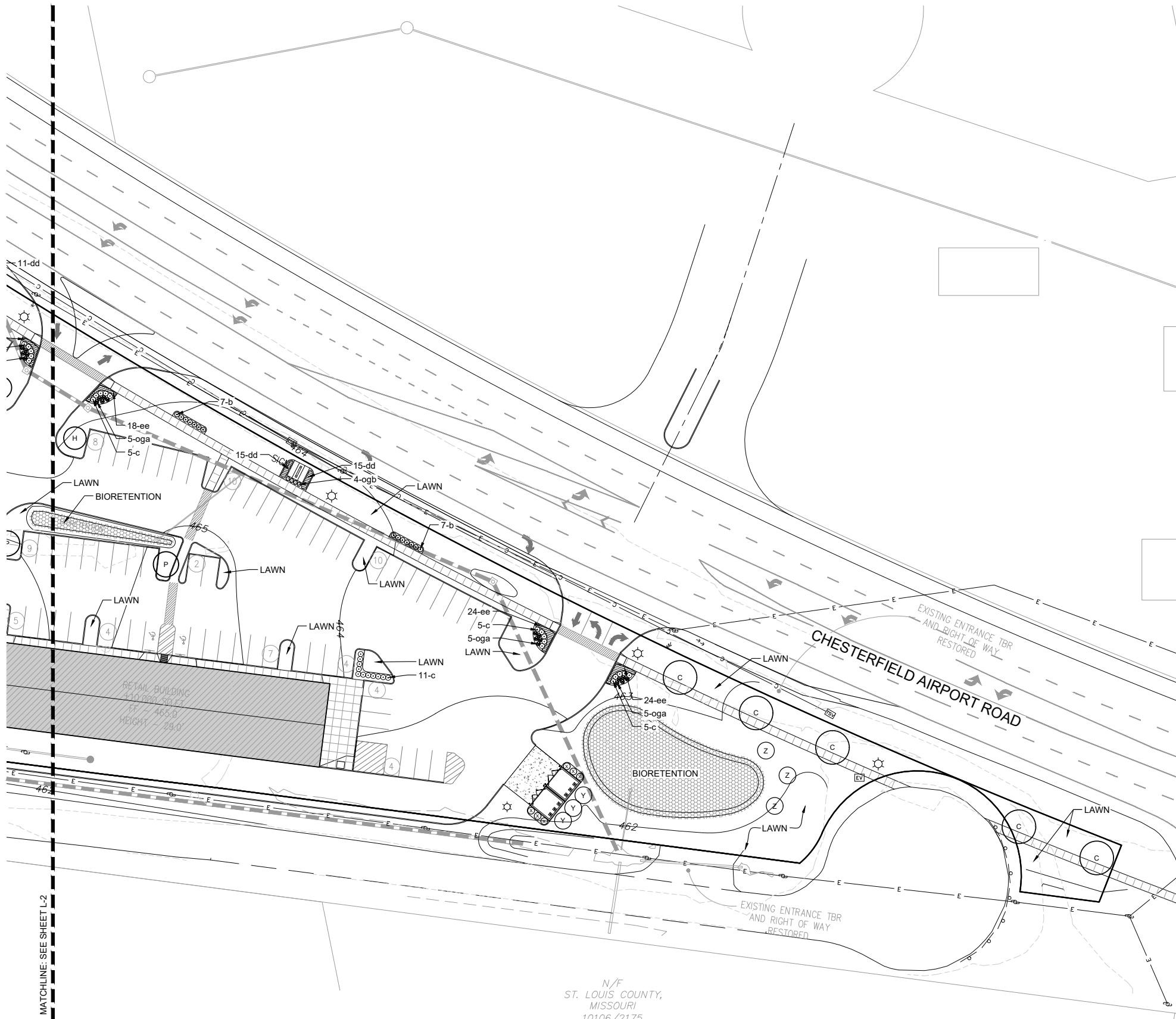
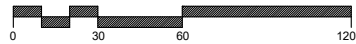
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1909 park drive, chesterfield, missouri 63005  
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Missouri State Certificate of Authority # LAC #000019

Sheet Title:	LANDSCAPE PLAN - WEST
Sheet No.:	L-2
Date:	04/15/16
Job #:	957.001



SCALE: 1 INCH = 30 FT



Jerald Saunders - Landscape Architect
   
 MO License # LA-007

Consultants:

# THE WEDGE

CHESTERFIELD, MISSOURI

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Drawn: LWH  
 Checked: JAS

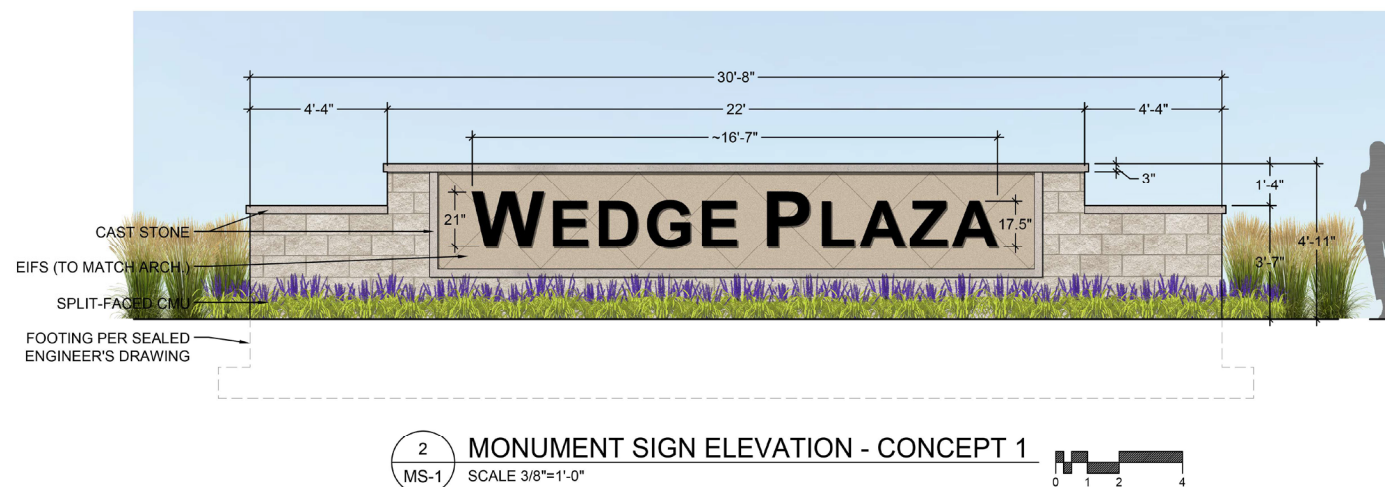
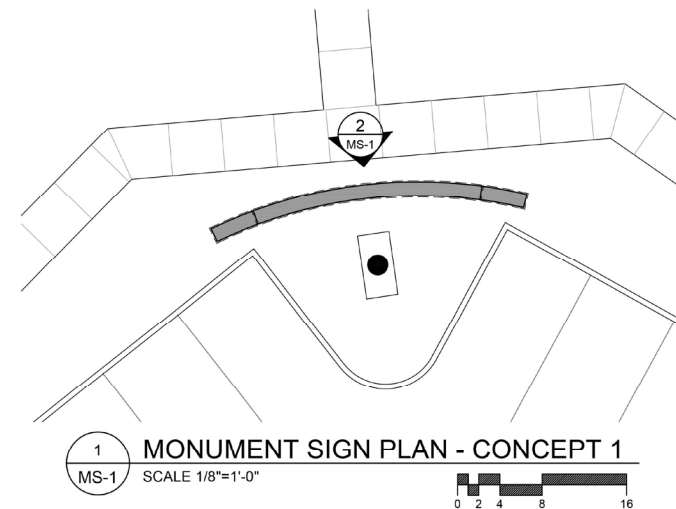
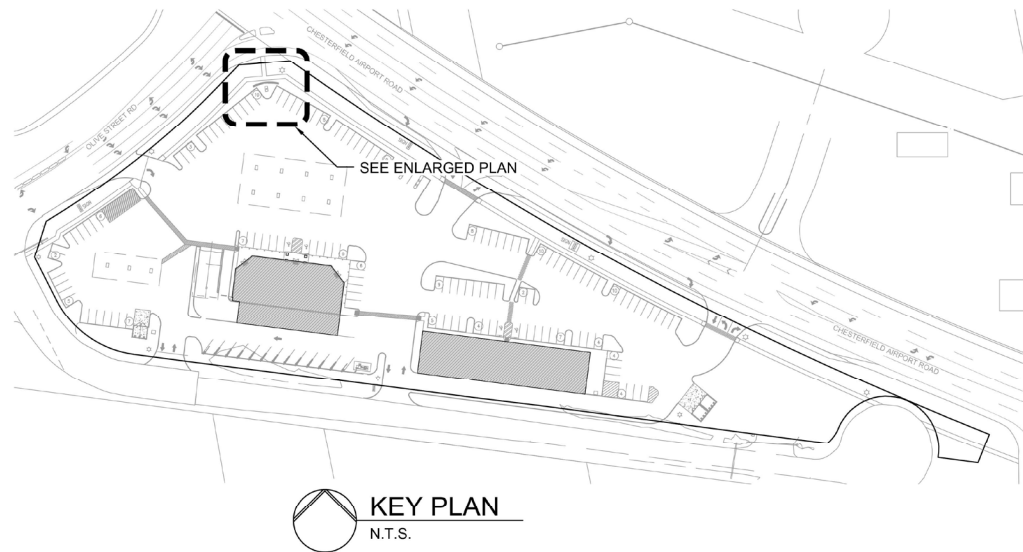
**LOOMIS ASSOCIATES**
  
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 Missouri State Certificate of Authority #: LAC #0000193

Sheet Title:	LANDSCAPE PLAN - EAST
Sheet No.:	L-3
Date:	04/15/16
Job #:	957.001

PLANTING SCHEDULE (see sheet L-1 for quantities)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
A	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Thornless Honeylocust	2.5" cal	B&B
C	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5" cal	B&B
D	Quercus robur x bicolor 'Nadler' (columnar)	Kindred Spirit Oak	2.5" cal	B&B
CANOPY TREES				
H	Acer rubrum 'Armstrong' (columnar)	Armstrong Maple	2.5" cal	B&B
UNDERSTORY TREES				
P	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" cal	B&B
EVERGREEN TREES				
X	Juniperus virginiana 'Taylor'	Taylor Upright Juniper	6' ht	B&B
Y	Picea glauca	White Spruce	6' ht	B&B
Z	Picea pungens	Colorado Blue Spruce	6' ht	B&B
SHRUBS				
a	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	24"	Cont.
b	Spiraea japonica 'Tracy'	Double Play Big Bang Spirea	15"	Cont.
c	Buxus 'Green Velvet'	Green Velvet Boxwood	18"	Cont.
d	Cornus sericea 'Farrow'	Arctic Fire Redtwig Dogwood	18"	Cont.
e	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	18"	Cont.
ORNAMENTAL GRASSES				
oga	Panicum virgatum 'Cheyenne Sky'	Cheyenne Sky Switchgrass	3 gal	Cont.
ogb	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal	Cont.
PERENNIALS				
aa	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal	24" o.c.
bb	Rudbeckia fulgida var. sullivantii 'Goldsturm'	Goldsturm Black-eyed Susan	1 gal	24" o.c.
cc	Salvia x sylvestris 'Mainacht'	May Night Salvia	1 gal	24" o.c.
dd	Liriope muscari 'Variegata'	Variegated Liriope	1 qt	18" o.c.
ee	Chrysanthemum x superbum 'Snowcap'	Snowcap Shasta Daisy	1 qt	18" o.c.



Professional Seal: JERALD SAUNDERS, LANDSCAPE ARCHITECT, MISSOURI, LICENSE # LA-007  
Date: 2/14/25  
Jerald Saunders - Landscape Architect  
MO License # LA-007

Consultants:

**THE WEDGE**  
CHESTERFIELD, MISSOURI

Revisions:

Date	Description	No.

Drawn: LWH  
Checked: JAS

**LOOMIS ASSOCIATES**  
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Missouri State Certificate of Authority # LAC #020019

Sheet Title:	MONUMENT SIGN
Sheet No:	MS-1
Date:	04/15/16
Job #:	957.001

PREPARED FOR:  
STEVE MADRAS  
ENERGY MARKETING  
2130 KIENLEN AVE.  
ST. LOUIS MO 63121  
(314) 383-3700

# Memorandum

## Department of Planning

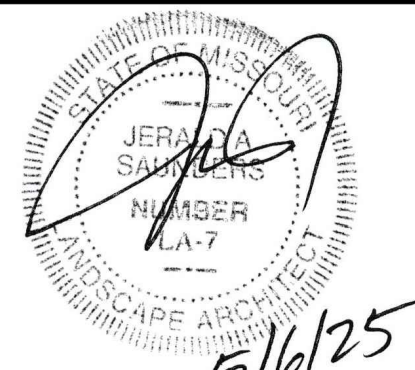
**To:** Architectural Review Board

**From:** Alyssa Ahner

**Date:** May 15<sup>th</sup>, 2025



The proposed landscape plan was revised just prior to packets being sent out for review. Please use the following revised landscape sheets in lieu of the ones provided in the bound packet.



Jerald Saunders - Landscape Architect  
MO License # LA-007

Consultants:

**THE WEDGE**  
CHESTERFIELD, MISSOURI

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Drawn: LWH  
Checked: JAS

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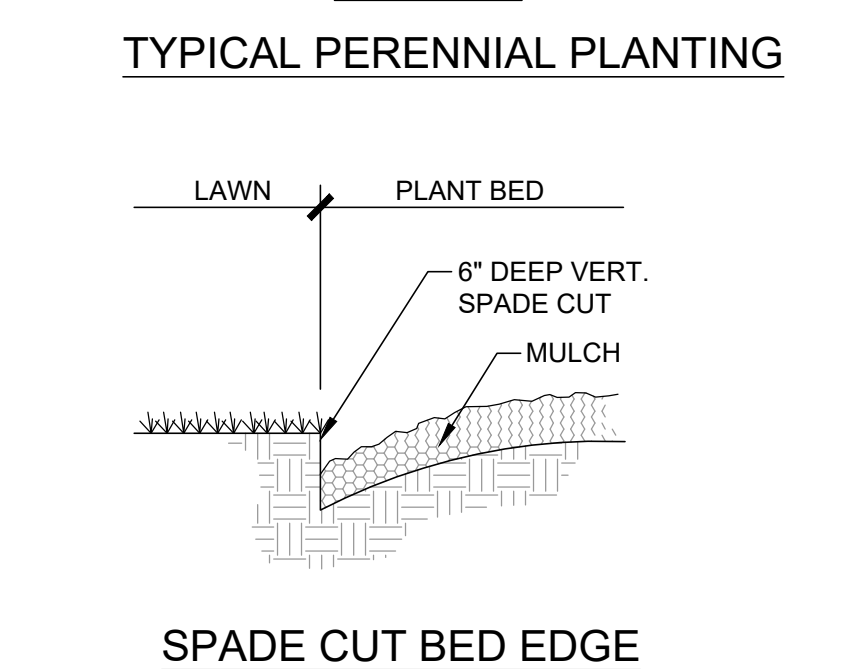
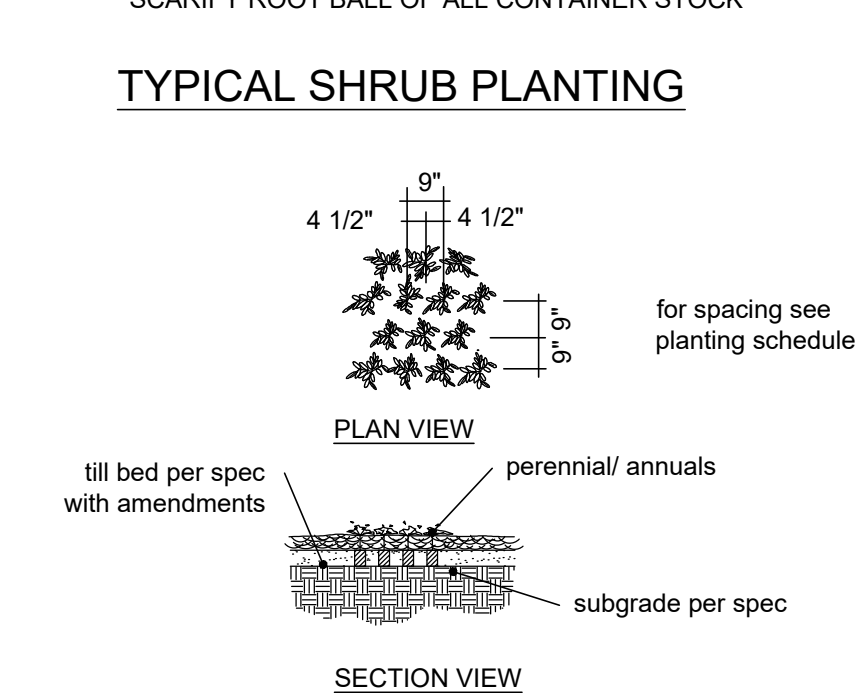
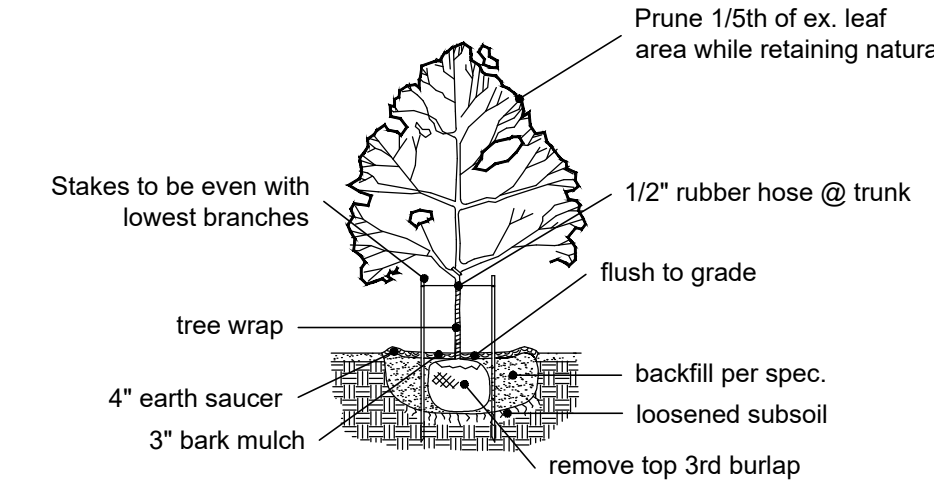
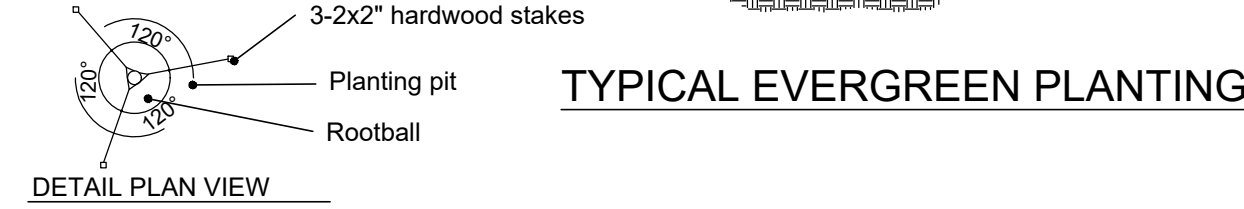
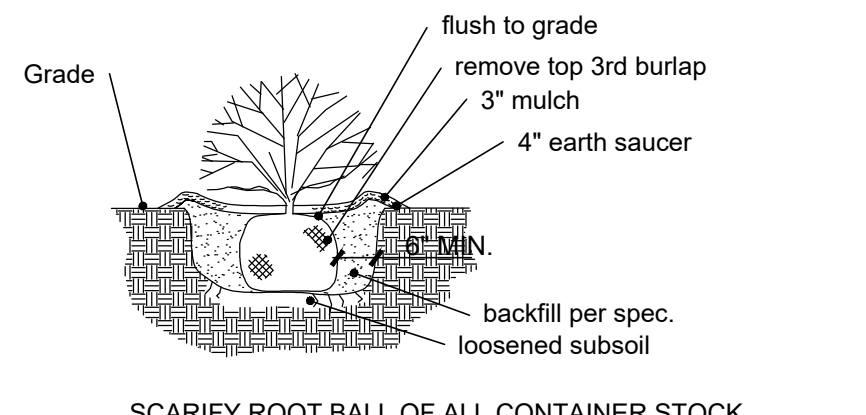
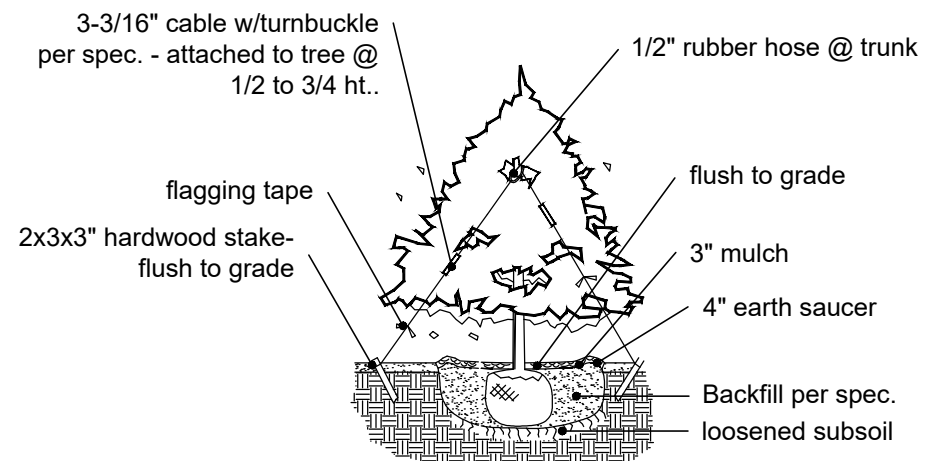
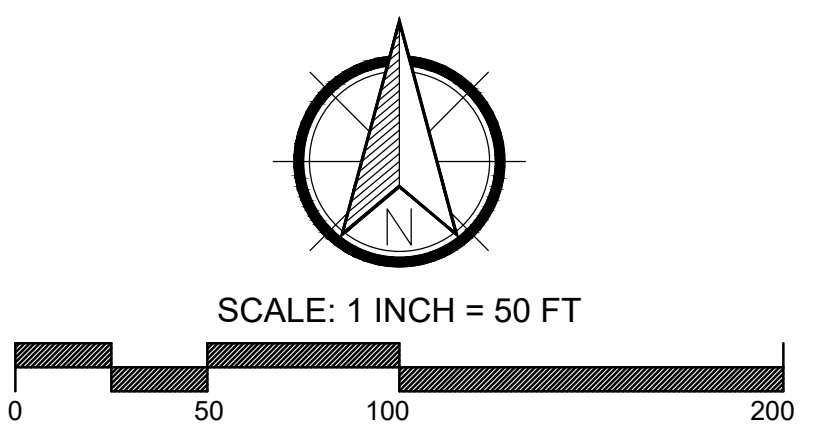
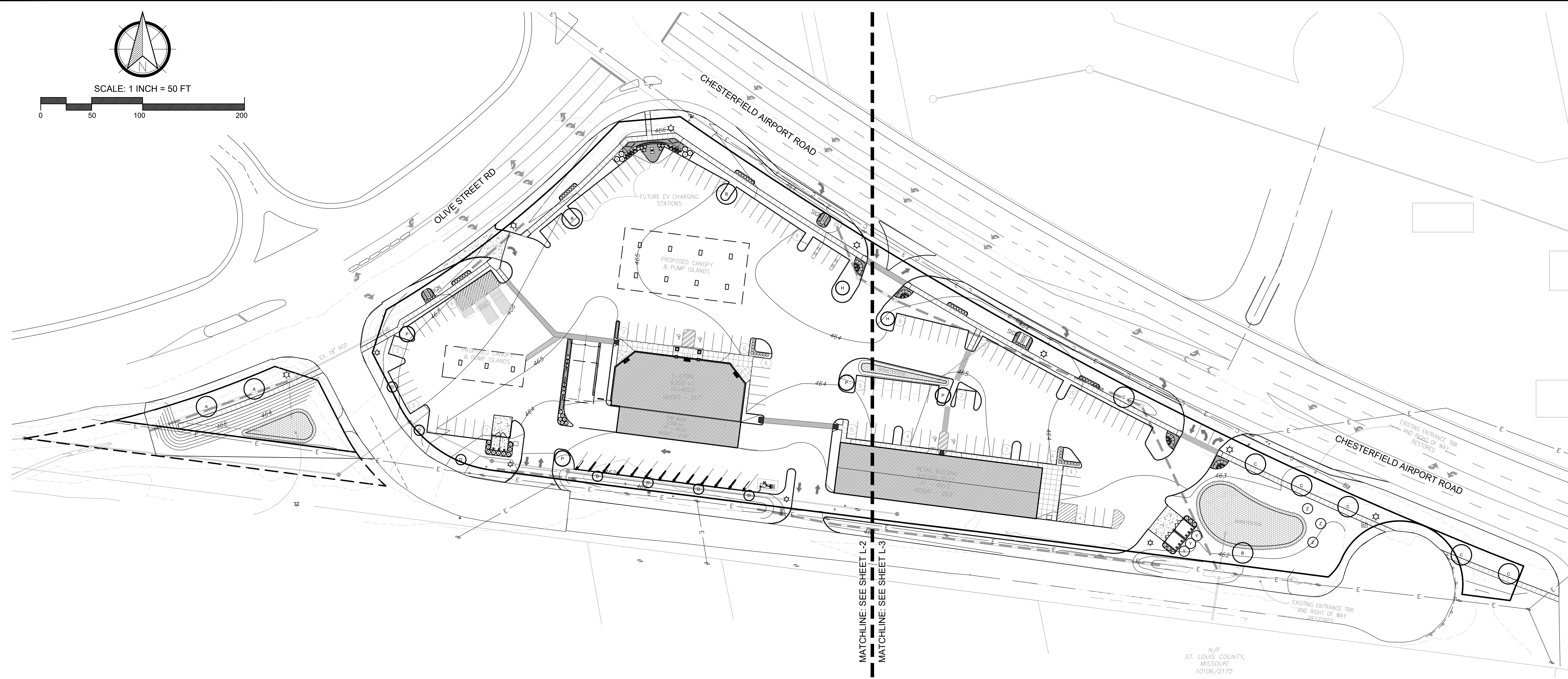
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Sheet Title: OVERALL LANDSCAPE PLAN

Sheet No: **L-1**

Date: 04/15/16  
Job #: 957.001

PREPARED FOR:  
STEVE MADRAS  
ENERGY MARKETING  
2130 KIENLEN AVE.  
ST. LOUIS MO 63121  
(314) 383-3700



PLANTING SCHEDULE									
STREET-SPECIFIC CANOPY TREES									
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	MATURE HEIGHT	SIZE CLASS	GROWTH RATE	GROWTH RATE %
A	2	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Thornless Honeylocust	2.5" cal	B&B	35-45'	Large	Fast	
B	3	Liliodendron tulipifera	Tulip Tree	2.5" cal	B&B	45'+	Large	Fast	
C	6	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5" cal	B&B	40-50'	Large	Fast	
D	7	Quercus robur x bicolor 'Nadler' (columnar)	Kindred Spirit Oak	2.5" cal	B&B	45'+	Large	Medium	15.6%
CANOPY TREES									
H	2	Acer rubrum 'Armstrong' (columnar)	Armstrong Maple	2.5" cal	B&B	50-60'	Large	Fast	
UNDERSTORY TREES									
P	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" cal	B&B	15-20'	Small	Medium	8.9%
EVERGREEN TREES									
X	15	Juniperus virginiana 'Taylor'	Taylor Upright Juniper	6" ht	B&B	15-20'	Small	Medium	33.3%
Y	3	Picea glauca	White Spruce	6" ht	B&B	35-40'	Medium	Medium	6.7%
Z	3	Picea pungens	Colorado Blue Spruce	6" ht	B&B	35-40'	Medium	Medium	6.7%
SHRUBS									
a	6	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	24"	Cont.				
b	35	Spiraea japonica 'Tracy'	Double Play Big Bang Spirea	15"	Cont.				
c	41	Buxus 'Green Velvet'	Green Velvet Boxwood	18"	Cont.				
d	6	Cornus sericea 'Farrow'	Arctic Fire Redtwig Dogwood	18"	Cont.				
e	12	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	18"	Cont.				
ORNAMENTAL GRASSES									
oga	38	Panicum virgatum 'Cheyenne Sky'	Cheyenne Sky Switchgrass	3 gal	Cont.				
ogb	11	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal	Cont.				
PERENNIALS									
aa	33	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal	24" o.c.				
bb	20	Rudbeckia fulgida var. sullivantii 'Goldsturm'	Goldsturm Black-eyed Susan	1 gal	24" o.c.				
cc	12	Salvia x sylvestris 'Mainacht'	May Night Salvia	1 gal	24" o.c.				
dd	126	Liriope muscari 'Variegata'	Variegated Liriope	1 qt	18" o.c.				
ee	84	Chrysanthemum x superbum 'Snowcap'	Snowcap Shasta Daisy	1 qt	18" o.c.				

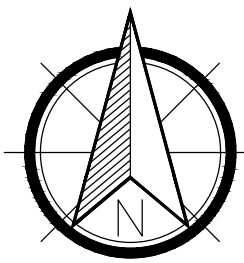
**GENERAL NOTES & CALCULATIONS (PER CITY OF CHESTERFIELD LANDSCAPE REQUIREMENTS):**

- STREET TREES SHALL BE LOCATED WITHIN A STREET RIGHT-OF-WAY UNLESS SO APPROVED BY VARIANCE.
- STREET TREES SHALL NOT BE PLANTED CLOSER THAN THREE (3) FEET TO ANY CURB.
- STREET TREES SHALL NOT BE PLACED WITHIN TWENTY-FIVE (25) FEET OF STREET LIGHTS, STREET SIGNS, AND INTERSECTIONS.
- NO TREES SHALL BE PLANTED WITHIN TEN (10) FEET OF STREET INLETS OR MANHOLES.
- A MINIMUM OF THIRTY PERCENT (30%) OF THE TREES MUST BE OF A SPECIES WITH A SLOW OR MEDIUM GROWTH RATE.

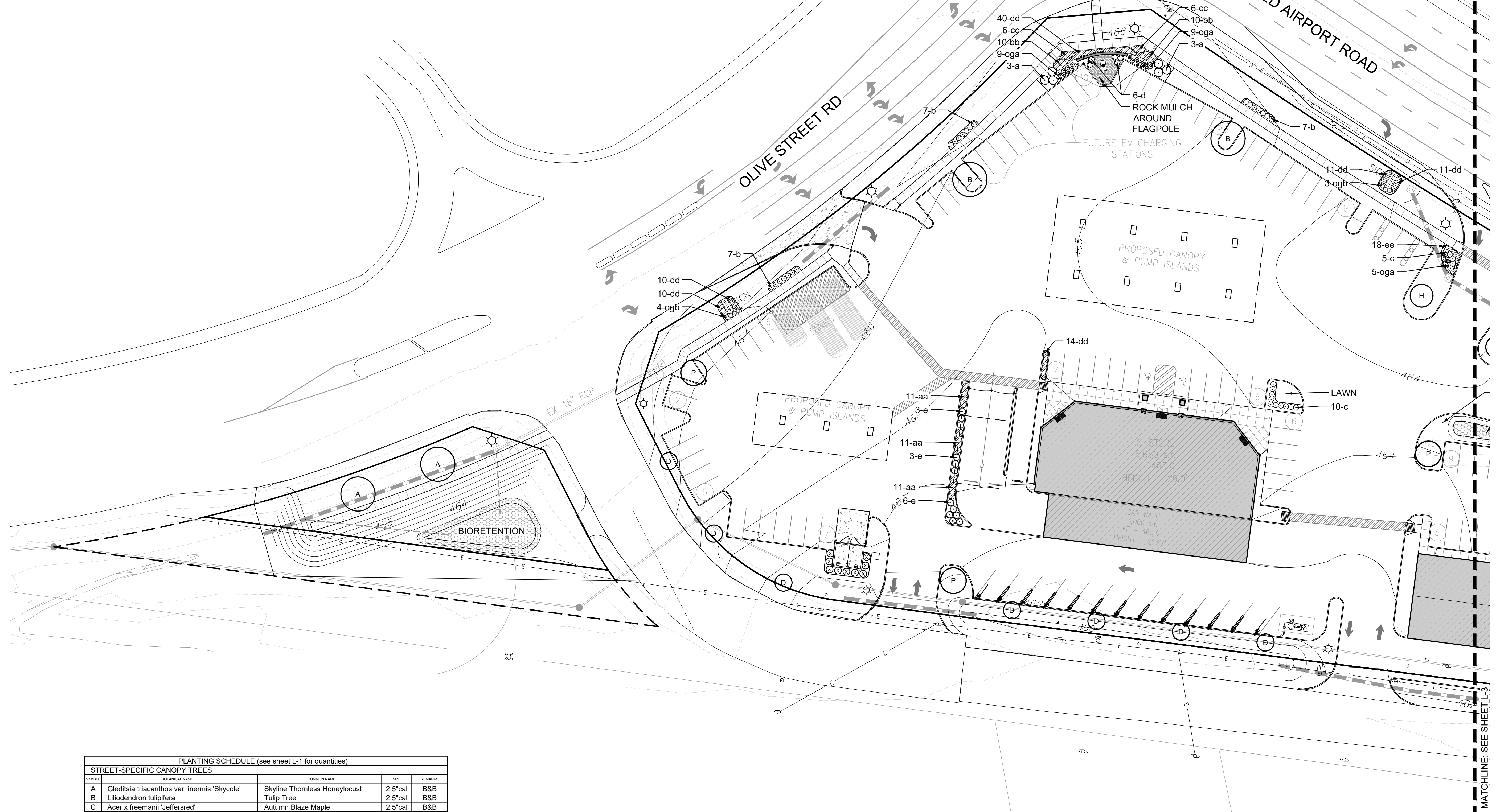
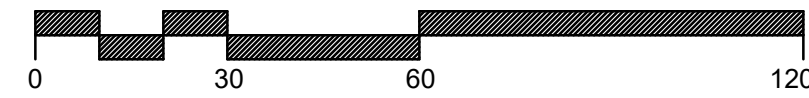
32 PROPOSED TREES WITH SLOW/MEDIUM GROWTH RATE  
+ 45 TOTAL PROPOSED TREES  
71% SLOW/MEDIUM GROWTH RATE

6. ALL LANDSCAPED AREAS, INCLUDING ISLANDS, SHALL BE PROVIDED WITH MECHANICAL, IN-GROUND IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE DESIGN-BUILD DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT.

- LANDSCAPE NOTES:**
- LAWN AREAS SHALL BE TURF-TYPE TALL FESCUE GRASS OR APPROVED EQUAL.
  - TOPSOIL IN ALL DISTURBED LAWN AREAS AT 6" DEPTH.
  - SOIL MIX IN ALL SHRUB BEDS AT 8" DEPTH.
  - MULCH TO BE 1.5" TRAP ROCK (EXCLUDES BIORETENTIONS).
  - MULCH BEDS TO RECEIVE WOVEN GEOTEXTILE POLYPROPYLENE LANDSCAPE FABRIC WEED BARRIER BELOW ROCK MULCH.
  - BED EDGES TO BE SPADE CUT. SEE DETAIL.
  - ALL LANDSCAPED AREAS, INCLUDING ISLANDS, SHALL BE PROVIDED WITH MECHANICAL, IN-GROUND IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE DESIGN-BUILD DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT.

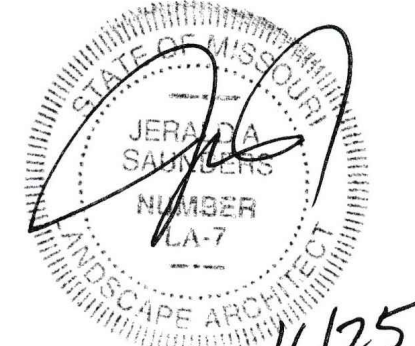


SCALE: 1 INCH = 30 FT



PLANTING SCHEDULE (see sheet L-1 for quantities)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>STREET-SPECIFIC CANOPY TREES</b>				
A	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skycole'	Skyline Thornless Honeylocust	2.5" cal	B&B
B	<i>Liliodendron tulipifera</i>	Tulip Tree	2.5" cal	B&B
C	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2.5" cal	B&B
D	<i>Quercus robur</i> x <i>bicolor</i> 'Nadler' (columnar)	Kindred Spirit Oak	2.5" cal	B&B
<b>CANOPY TREES</b>				
H	<i>Acer rubrum</i> 'Armstrong' (columnar)	Armstrong Maple	2.5" cal	B&B
<b>UNDERSTORY TREES</b>				
P	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" cal	B&B
<b>EVERGREEN TREES</b>				
X	<i>Juniperus virginiana</i> 'Taylor'	Taylor Upright Juniper	6' ht	B&B
Y	<i>Picea glauca</i>	White Spruce	6' ht	B&B
Z	<i>Picea pungens</i>	Colorado Blue Spruce	6' ht	B&B
<b>SHRUBS</b>				
a	<i>Juniperus x pfitzeriana</i> 'Sea Green'	Sea Green Juniper	24"	Cont.
b	<i>Spiraea japonica</i> 'Tracy'	Double Play Big Bang Spirea	15"	Cont.
c	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	18"	Cont.
d	<i>Cornus sericea</i> 'Farrow'	Arctic Fire Redtwig Dogwood	18"	Cont.
e	<i>Juniperus x pfitzeriana</i> 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	18"	Cont.
<b>ORNAMENTAL GRASSES</b>				
oga	<i>Panicum virgatum</i> 'Cheyenne Sky'	Cheyenne Sky Switchgrass	3 gal	Cont.
ogb	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal	Cont.
<b>PERENNIALS</b>				
aa	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	1 gal	24" o.c.
bb	<i>Rudbeckia fulgida</i> var. <i>sulivantii</i> 'Goldsturm'	Goldsturm Black-eyed Susan	1 gal	24" o.c.
cc	<i>Salvia x sylvestris</i> 'Mainacht'	May Night Salvia	1 gal	24" o.c.
dd	<i>Liriope muscari</i> 'Variegata'	Variegated Liriope	1 qt	18" o.c.
ee	<i>Chrysanthemum x superbum</i> 'Snowcap'	Snowcap Shasta Daisy	1 qt	18" o.c.



Jerald Saunders - Landscape Architect  
MO License # LA-007

Consultants:

# THE WEDGE

CHESTERFIELD, MISSOURI

Revisions:

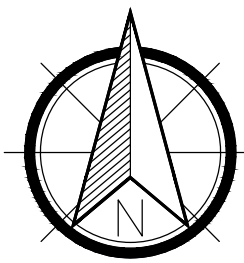
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5/6/25	City Comments	

Drawn: LWH  
Checked: JAS

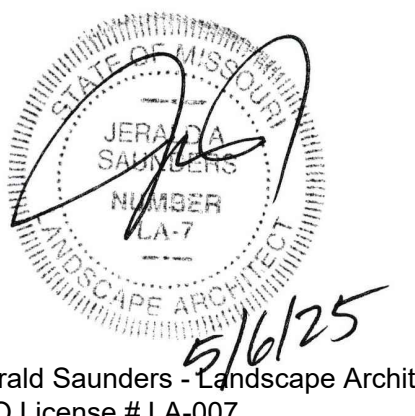
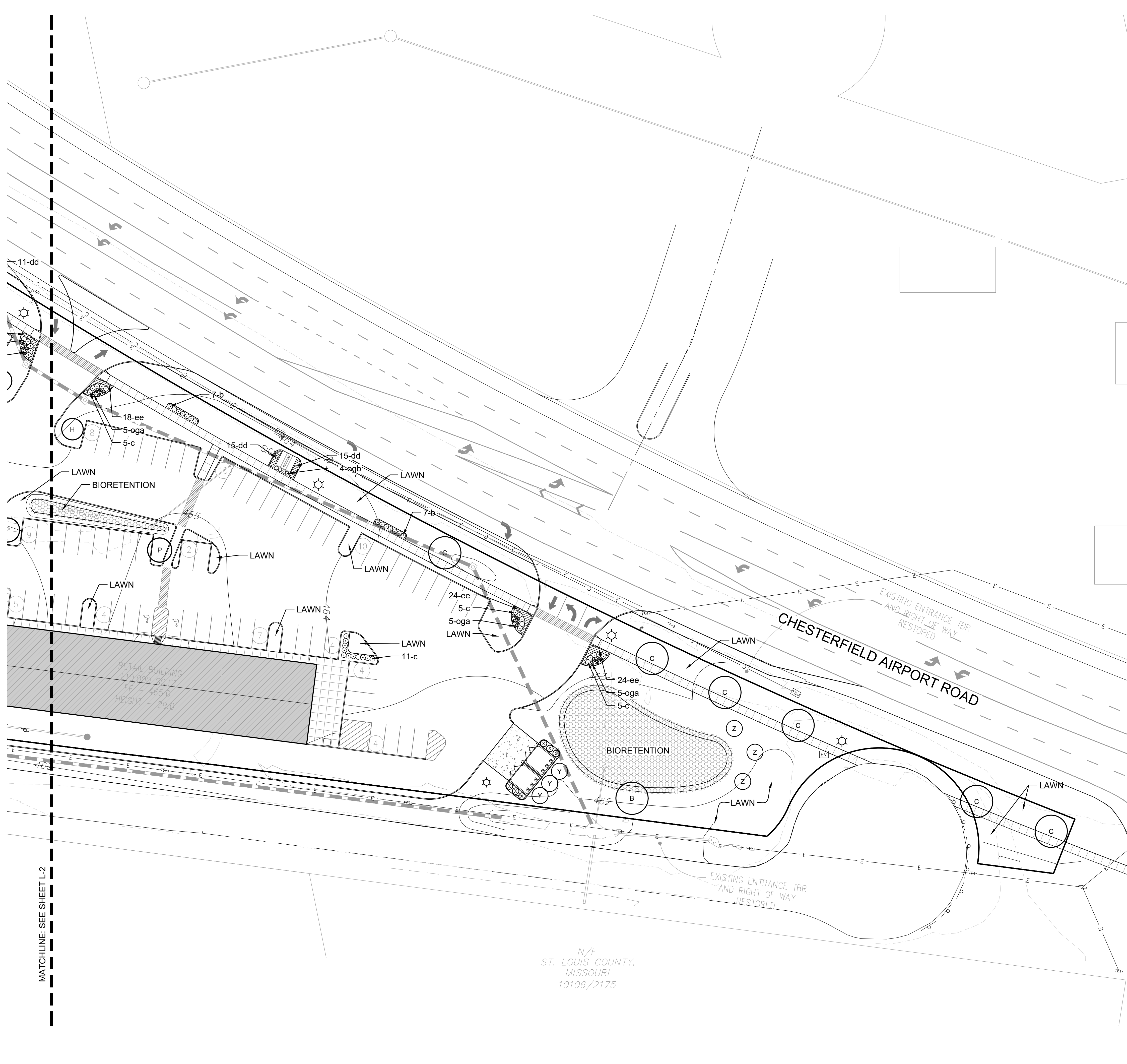
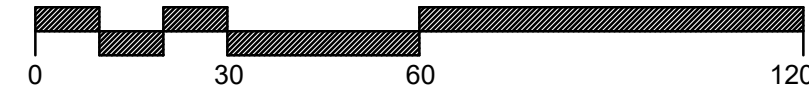
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750 spitt 40 park drive, chesterfield, missouri 63005  
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Loomis Associates Inc.  
Missouri State Certificate of Authority # LAC#0000191

Sheet Title:	LANDSCAPE PLAN - WEST
Sheet No:	L-2
Date:	04/15/16
Job #:	957.001



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Consultants:

# THE WEDGE

CHESTERFIELD, MISSOURI

Revisions:

Date	Description	No.
9/22/15	Plan Revision	
2/10/16	Plan Revision	
4/15/16	City Comments	
4/26/16	Plan Changes	
8/24/16	Plan Changes	
12/6/16	City Comments	
9/19/18	Plan Changes	
2/14/25	Plan Changes	
4/21/25	City Comments	
5/6/25	City Comments	

Drawn: LWH  
Checked: JAS

PLANTING SCHEDULE (see sheet L-1 for quantities)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>STREET-SPECIFIC CANOPY TREES</b>				
A	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Thornless Honeylocust	2.5' cal	B&B
B	Liliodendron tulipifera	Tulip Tree	2.5' cal	B&B
C	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2.5' cal	B&B
D	Quercus robur x bicolor 'Nadler' (columnar)	Kindred Spirit Oak	2.5' cal	B&B
<b>CANOPY TREES</b>				
H	Acer rubrum 'Armstrong' (columnar)	Armstrong Maple	2.5' cal	B&B
<b>UNDERSTORY TREES</b>				
P	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5' cal	B&B
<b>EVERGREEN TREES</b>				
X	Juniperus virginiana 'Taylor'	Taylor Upright Juniper	6' ht	B&B
Y	Picea glauca	White Spruce	6' ht	B&B
Z	Picea pungens	Colorado Blue Spruce	6' ht	B&B
<b>SHRUBS</b>				
a	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	24"	Cont.
b	Spiraea japonica 'Tracy'	Double Play Big Bang Spirea	15"	Cont.
c	Buxus 'Green Velvet'	Green Velvet Boxwood	18"	Cont.
d	Cornus sericea 'Farrow'	Arctic Fire Redtwig Dogwood	18"	Cont.
e	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	18"	Cont.
<b>ORNAMENTAL GRASSES</b>				
oga	Panicum virgatum 'Cheyenne Sky'	Cheyenne Sky Switchgrass	3 gal	Cont.
ogb	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	3 gal	Cont.
<b>PERENNIALS</b>				
aa	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal	24" o.c.
bb	Rudbeckia fulgida var. sullivantii 'Goldsturm'	Goldsturm Black-eyed Susan	1 gal	24" o.c.
cc	Salvia x sylvestris 'Mainacht'	May Night Salvia	1 gal	24" o.c.
dd	Liriope muscari 'Variegata'	Variegated Liriope	1 qt	18" o.c.
ee	Chrysanthemum x superbum 'Snowcap'	Snowcap Shasta Daisy	1 qt	18" o.c.

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Sheet Title: LANDSCAPE PLAN - EAST  
Sheet No: **L-3**  
Date: 04/15/16  
Job #: 957.001



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May 16, 2016

Energy Marketing  
c/o Steve Madras  
2130 Kienlen Ave.  
St. Louis, MO 63121

**RE: The Wedge (Energy Express)—2<sup>nd</sup> Amended Site Development Plan**

Mr. Madras:

The proposed Amended Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design for the above-referenced project were reviewed by the City of Chesterfield Architectural Review Board (ARB) on May 12, 2016. At that meeting, a motion to forward the project as presented to the Planning Commission with a recommendation for approval with the following conditions was passed by a vote of 6-0.

1. Consideration should be given to moving/screening the vacuums along Chesterfield Airport Road to make these features less visible.
2. More detail should be provided for the appearance of the ATM area and consideration be made to integrate its design with the proposed architecture of the buildings and/or use landscaping to screen.
3. Consider adding more shrubs near the two entrances on Chesterfield Airport Road.
4. Consideration should be given to using landscape islands or other similar features to provide a safer pedestrian path west of the gas station building and north of the large vehicle gas canopy.

Please feel welcome to contact me at 636-537-4741 if you have any questions or comments concerning this project. I will be more than happy to meet with you, at your convenience, regarding any comments City Staff has throughout the approval process. For your information, you may also visit the "Active Projects" section on the City's website [www.chesterfield.mo.us](http://www.chesterfield.mo.us) for up-to-date information about this and other projects under review by the Department.

Sincerely,

Jessica Henry, AICP  
Project Planner

Cc: Aimee Nassif, Planning and Development Services Director  
Doug Tiemann – Pickett, Ray & Silver (22 Richmond Center Ct., St. Peters, MO 63376)  
Brad Goss – SmithAmundsen, LLC (120 S. Central Ave., Suite 700, St. Louis, MO 63105-1794)