



**AGENDA REVIEW MEETING  
CHESTERFIELD CITY COUNCIL  
Monday, August 20, 2018  
6:30 PM**

**I. Planning and Public Works Committee – Chairperson Michelle Ohley-Ward IV**

- A. **Bill No. 3210** - P.Z. 05-2018 Edison Crossing (Buttry & Brown Development) **(Second Reading) Proposed Pink Sheet Amendments**
- B. **Bill No. 3212** - Falling Leaves Estates II - Replacement Construction and Maintenance Escrows **(First & Second Reading) Planning & Public Works Committee recommends approval.**
- C. **Bill No. 3213** - Public Street Acceptance – Harmony Meadow Court **(First Reading) Planning & Public Works Committee recommends approval.**
- D. **Proposed Resolution** – Friendship Village Bond Issuance from St. Louis County **(Voice Vote)**
- E. **Proposed Resolution** – Levee Trail Easement Transfer to Wildwood **(Roll Call Vote)**
- F. **150 N. Eatherton Road** (P.Z. 12-2016 Time Extension Request) **(Voice Vote)**
- G. **FSP 55-2018 ExteNet Systems, Inc.** (N. Spirit Drive) **(Voice Vote)**
- H. **Summit – Topgolf Lot A – SDSP, Landscape, Lighting & Architectural Elevations** (Residence Inn) **(Voice Vote) Petitioner requests to postpone**
- I. **Next Meeting – August 23, 2018 (5:45pm)**

**II. Finance and Administration Committee – Chairperson Barbara McGuinness-Ward I**

**III. Parks, Recreation and Arts Committee – Chairperson Dan Hurt-Ward III**

**IV. Public Health and Safety Committee – Chairperson Ben Keathley-Ward II**

**V. Report from the City Administrator – Mike Geisel**

- A. Bill No. 3211 – Annual Renewal, Conflict of Interest (Second Reading)**
- B. Bid Recommendation – Metro St. Louis Cooperative Salt Deicing Salt Program (Roll Call Vote)**
- C. Contract renewal, Gamble & Schlemeier, Ltd. and associated budget amendment (Roll Call Vote)**

**VI. Unfinished Business – President Pro Tem Barbara McGuinness**

**VII. New Business – President Pro Tem Barbara McGuinness**

**VIII. Adjourn –**

**NOTE:** *City Council will consider and act upon the matters listed above and such other matters as may be presented at the meeting and determined to be appropriate for discussion at that time.*

**Notice** is hereby given that the City Council may also hold a closed meeting for the purpose of dealing with matters relating to one or more of the following: legal actions, causes of action, litigation or privileged communications between the City's representatives and its attorneys (RSMo 610.021(1) 1994; lease, purchase or sale of real estate (RSMo 610.021(2) 1994; hiring, firing, disciplining or promoting employees with employee groups (RSMo 610.021(3) 1994; Preparation, including any discussions or work product, on behalf of a public governmental body or its representatives for negotiations with employee groups (RSMo 610.021(9) 1994; and/or bidding specification (RSMo 610.021(11) 1994.



**AGENDA**  
**CHESTERFIELD CITY COUNCIL MEETING**  
**Chesterfield City Hall**  
**690 Chesterfield Parkway West**  
**Monday, August 20, 2018**  
**7:00PM**

- I. CALL TO ORDER** – President Pro Tem Barbara McGuinness
- II. PLEDGE OF ALLEGIANCE** – President Pro Tem Barbara McGuinness
- III. MOMENT OF SILENT PRAYER** – President Pro Tem Barbara McGuinness
- IV. ROLL CALL** – City Clerk Vickie Hass
- V. APPROVAL OF MINUTES** – President Pro Tem Barbara McGuinness
  - A. Executive Session Minutes** – August 6, 2018
  - B. City Council Meeting Minutes** – August 6, 2018
- VI. COMMUNICATIONS AND PETITIONS** – President Pro Tem Barbara McGuinness
- VII. INTRODUCTORY REMARKS** – President Pro Tem Barbara McGuinness
  - A. Thursday, August 23, 2018** – Planning and Public Works (5:45 pm)
  - B. Monday, August 27, 2018** – Planning Commission (7 pm)
  - C. Wednesday, September 5, 2018** – Next City Council Meeting (7 pm)
  - D. Monday, September 17, 2018** – F&A Committee of the Whole – Budget Workshop (5:00pm)

## **VIII. APPOINTMENTS** – President Pro Tem Barbara McGuinness

## **IX. COUNCIL COMMITTEE REPORTS**

### **A. Planning and Public Works Committee** – Chairperson Michelle Ohley, Ward IV

1. **Bill No. 3210** - P.Z. 05-2018 Edison Crossing (Buttry & Brown Development) **(Second Reading) Proposed Pink Sheet Amendments**
2. **Bill No. 3212** - Falling Leaves Estates II - Replacement Construction and Maintenance Escrows **(First & Second Reading) Planning & Public Works Committee recommends approval.**
3. **Bill No. 3213** - Public Street Acceptance – Harmony Meadow Court **(First Reading) Planning & Public Works Committee recommends approval.**
4. **Proposed Resolution** – Friendship Village Bond Issuance from St. Louis County **(Voice Vote)**
5. **Proposed Resolution** – Levee Trail Easement Transfer to Wildwood **(Roll Call Vote)**
6. **150 N. Eatherton Road** (P.Z. 12-2016 Time Extension Request) **(Voice Vote)**
7. **FSP 55-2018 ExteNet Systems, Inc.** (N. Spirit Drive) **(Voice Vote)**
8. **Summit – Topgolf Lot A – SDSP, Landscape, Lighting & Architectural Elevations** (Residence Inn) **(Voice Vote) Petitioner requests to postpone**
9. **Next Meeting – August 23, 2018 (5:45pm)**

### **B. Finance and Administration Committee** – Chairperson Barbara McGuinness, Ward I

### **C. Parks, Recreation and Arts Committee** – Chairperson Dan Hurt, Ward III

### **D. Public Health and Safety Committee** – Chairperson Ben Keathley, Ward II

## **X. REPORT FROM THE CITY ADMINISTRATOR** – Mike Geisel

### **A. Bill No. 3211** – Annual Renewal, Conflict of Interest **(Second Reading)**



**B. Bid Recommendation** – Metro St. Louis Cooperative Salt Deicing Salt Program **(Roll Call Vote)**

**C. Contract renewal, Gamble & Schlemeier, Ltd. and associated budget amendment (Roll Call Vote)**

**XI. UNFINISHED BUSINESS** – President Pro Tem Barbara McGuinness

**XII. NEW BUSINESS** – President Pro Tem Barbara McGuinness

### **XIII. LEGISLATION**

**A. Bill No. 3211** – An ordinance re-adopting the procedure established in Ordinance No. 605 of the City of Chesterfield as the procedure for disclosure of conflicts for certain municipal officials. **(Second Reading) City Administrator Recommends Approval.**

**B. Bill No. 3212** – An ordinance amending Ordinance 3010 to authorize replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Subdivision, a 17.4 acre tract of land zoned “LLR” Large Lot Residential District located west of Wilson Avenue and northwest of the intersection of Wilson Avenue and Clarkson Road. **(First & Second Reading) Planning & Public Works Committee recommends approval.**

**C. Bill No. 3213** – An ordinance pertaining to the acceptance of Harmony Meadow Court as a public street in the City of Chesterfield **(First Reading) Planning & Public Works Committee recommends approval.**

### **XIV. LEGISLATION – PLANNING COMMISSION**

**A. Bill No. 3210** – An ordinance amending City of Chesterfield Ordinance 2448 establishing new permitted uses in a “PC” Planned Commercial District for 11.1 acres located on the southeastern corner of the intersection of Edison Avenue and Long Road. (P.Z. 05-2018 Edison Crossing [Buttry & Brown Development] 17U120287, 17U120298). **(Second Reading) Planning Commission recommends approval. Motion to approve by the Planning & Public Works Committee, with the stipulation that the petitioner eliminate some of the permitted uses, failed by a vote of 1-3. Pink Sheet Amendments provided per City Council direction at 8/6/2018 Council meeting.**

**Notice** is hereby given that the City Council may also hold a closed meeting for the purpose of dealing with matters relating to one or more of the following: legal actions, causes of action, litigation or privileged communications between the City's representatives and its attorneys (RSMo 610.021(1) 1994; lease, purchase or sale of real estate (RSMo 610.021(2) 1994; hiring, firing, disciplining or promoting employees with employee groups (RSMo 610.021(3)1994; Preparation, including any discussions or work product, on behalf of a public governmental body or its representatives for negotiations with employee groups (RSMo 610.021(9) 1994; and/or bidding specification (RSMo 610.021(11) 1994.



## **RECORD OF PROCEEDING**

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### **MEETING OF THE CITY COUNCIL OF THE CITY OF CHESTERFIELD AT 690 CHESTERFIELD PARKWAY WEST**

**AUGUST 6, 2018**

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The meeting was called to order at 7 p.m.

Mayor Bob Nation led everyone in the Pledge of Allegiance and followed with a moment of silent prayer.

A roll call was taken with the following results:

#### **PRESENT**

#### **ABSENT**

Mayor Bob Nation  
Councilmember Barry Flachsbart  
Councilmember Barbara McGuinness  
Councilmember Ben Keathley  
Councilmember Mary Ann Mastorakos  
Councilmember Dan Hurt  
Councilmember Michael Moore  
Councilmember Tom DeCampi  
Councilmember Michelle Ohley

#### **APPROVAL OF MINUTES**

The minutes of the July 16, 2018 Executive Session were submitted for approval. Councilmember Keathley made a motion, seconded by Councilmember Moore, to approve the July 16, 2018 Executive Session minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

The minutes of the July 16, 2018 City Council meeting were submitted for approval. Councilmember Hurt made a motion, seconded by Councilmember Keathley, to approve the July 16, 2018 City Council minutes. Councilmember Ohley made a motion to correct spelling of names “Barmeier” on page 2 and “Rowan” on page 4. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

### **COMMUNICATIONS AND PETITIONS**

Mr. Brandon Harp, 10820 Sunset Office Park, St. Louis, spoke in support of Bill No. 3210 (P.Z. 05-2018 Edison Crossing [Buttry & Brown Development]).

Ms. Shawn White, 12400 Olive Blvd., St. Louis, stated that she was available to answer questions pertaining to the Chesterfield Hockey development.

Ms. Genevieve Steidtmann, 1701 Big Horn Basin Drive, Wildwood, introduced herself as a candidate for the Missouri House of Representatives, District 101.

Mr. George Stock, 257 Chesterfield Business Parkway, stated that he was present to answer questions pertaining to Bill No. 3208 (P.Z. 04-2018 West County Acres, Nardin Drive), Chesterfield Hockey Association, and Summit Topgolf Lot A.

Mr. Tom Cummings, 10407 Baur Blvd., St. Louis, stated that he was present to answer questions pertaining to Bill No. 3208 (P.Z. 04-2018 West County Acres, Nardin Drive).

Mr. Tom Baranowski, 16002 Park Forest Court, spoke in opposition to Bill No. 3207 (P.Z. 22-2017 Clarkson Center 2264 Clarkson Road).

Mr. Sam Adler, 4453 Pershing, St. Louis, stated that he was available to answer questions pertaining to the Chesterfield Hockey Association.

Mr. Tim Lowe, 121 Bellerosa Drive, stated he was available to answer questions pertaining to the Chesterfield Hockey Association.

Ms. Ashley Weber, 257 Chesterfield Business Parkway, stated that she was present to answer questions pertaining to the Chesterfield Hockey Association.

Ms. Kate Stock Gitto, 257 Chesterfield Business Parkway, stated that she was available to answer questions pertaining to Bill No. 3208 (P.Z. 04-2018 West County Acres, Nardin Drive) and Summit Topgolf Lot A (Residence Inn).

Ms. Debbie Rowan, 16030 Meadow Oak Drive, spoke in opposition to Bill No. 3207 (P.Z. 22-2017 Clarkson Center 2264 Clarkson Road).

Dr. Doug Pernikoff, 2264 Clarkson Road, requested postponement of Bill No. 3207 (P.Z. 22-2017 Clarkson Center 2264 Clarkson Road) until the September 17 City Council meeting.

Mr. Bradley Winters, 16 Spoede Lane, Creve Coeur, stated that he represents Dr. Pernikoff. He indicated that his comments were related to the second reading of Bill No. 3207 and as such, he would hold his comments until the postponement date of September 17.

Mr. Dennis Ganahl, 15979 Woodlet Way Court, spoke in opposition to Bill No. 3207 (P.Z. 22-2017 Clarkson Center 2264 Clarkson Road).

Mr. Stuart Lindley, 15979 Meadow Oak Drive, spoke in opposition to Bill No. 3207 (P.Z. 22-2017 Clarkson Center 2264 Clarkson Road).

Mr. Steve Diver, 15831 Barons Way Drive, expressed dissatisfaction with asphalt repairs in Stonebriar subdivision.

### **INTRODUCTORY REMARKS**

Mayor Nation announced that the next meeting of City Council has been scheduled for Monday, August 20, at 7 p.m.

### **APPOINTMENTS**

Mayor Nation nominated Ms. Jessica Stoll for appointment to the Architectural Review Board. Councilmember Hurt made a motion, seconded by Councilmember Ohley, to appoint Ms. Jessica Stoll to the Architectural Review Board for a term of two years. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Mayor Nation nominated Mr. John Nichols for re-appointment to the Police Personnel Board. Councilmember Flachsbart made a motion, seconded by Councilmember Moore, to re-appoint Mr. John Nichols to the Police Personnel Board for a term of three years. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Mayor Nation nominated Mr. Kenneth Voigt for re-appointment to the Police Personnel Board. Councilmember Flachsbart made a motion, seconded by Councilmember Hurt, to re-appoint Mr. Kenneth Voigt to the Police Personnel Board for a term of three years. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

## **COUNCIL COMMITTEE REPORTS**

### **Planning/Public Works Committee**

Councilmember Michelle Ohley, Chairperson of the Planning/Public Works Committee, stated that the petitioner has requested to postpone the second reading of Bill No. 3207 (P.Z. 22-2017 Clarkson Center 2264 Clarkson Road) until the September 17, 2018 City Council meeting. Councilmember Hurt made a motion, seconded by Councilmember Moore, to postpone the second reading of Bill No. 3207 until the September 17 City Council meeting. A voice vote was taken with an affirmative result (Councilmembers DeCampi and Ohley voted “No”) and the motion to postpone was declared passed.

Councilmember Ohley reported that Bill No. 3208 (P.Z. 04-2018 West County Acres, Nardin Drive) will be considered for adoption under the “Legislation – Planning Commission” portion of the agenda.

Councilmember Ohley reported that Bill No. 3210 (P.Z. 05-2018 Edison Crossing [Buttry & Brown Development]) will be read for the first time under the “Legislation – Planning Commission” portion of the agenda.

Councilmember Hurt made a motion, seconded by Councilmember Flachsbart, to approve the Site Development Concept Plan and Conceptual Landscape Plan for 18385 Chesterfield Airport Road (Chesterfield Hockey Association). A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember Hurt made a motion, seconded by Councilmember Flachsbart, to approve the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for 18385 Chesterfield Airport Road, Lot A (Chesterfield Hockey Association). A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember Ohley made a motion, seconded by Councilmember Mastorakos, to postpone the vote for Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect’s Statement of Design for Summit-Topgolf Lot A (Residence Inn) until the August 13 Committee of the Whole meeting. Councilmember McGuinness made a motion, seconded by Councilmember Keathley, to amend the motion to postpone until August 13 special meeting of Council. A voice vote was taken with a unanimous affirmative result and the motion to amend was declared passed. A second voice vote was taken with a unanimous affirmative result and the motion, as amended, was declared passed.

Councilmember Ohley announced that the next meeting of this Committee has been scheduled for Thursday, August 9, at 5:45 p.m.

## **Finance and Administration Committee**

Councilmember Barbara McGuinness, Chairperson of the Finance and Administration Committee, made a motion, seconded by Councilmember Moore, to approve the proposed 2019 City Council Meeting Schedule. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember McGuinness made a motion, seconded by Councilmember Flachsbart, to approve proposed revisions to City Council Policy No. 1 – Membership Non Statutory Committees. Councilmember Hurt made a motion, seconded by Councilmember Flachsbart, to amend the motion to allow not more than four additional members emeritus for each non-statutory committee. A voice vote was taken with a unanimous affirmative result and the motion to amend was declared passed. A second voice vote was taken on the motion, as amended, with a unanimous affirmative result and the motion was declared passed.

Councilmember Moore made a motion, seconded by Councilmember McGuinness, to receive and file the 2017 Audit Report. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember McGuinness made a motion, seconded by Councilmember Moore, to approve a proposed schedule consisting of three budget workshop dates (Monday, September 17; Monday, October 8; and Monday, October 22, 2018 at 5:30 p.m.). These will be conducted as Finance and Administration Committee of the Whole meetings. Councilmember Ohley made a motion, seconded by Councilmember Flachsbart, to amend the main motion to change the third date to a date to be determined. A voice vote was taken with a unanimous affirmative result and the motion to amend was declared passed. A second voice vote was taken on the motion, as amended, with a unanimous affirmative result and the motion, as amended, was declared passed.

Councilmember McGuinness made a motion, seconded by Councilmember Moore, to approve proposed revisions to City Council Policy No. 7 – First and Second Readings. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember McGuinness announced that the next meeting of this Committee has been scheduled for Monday, August 13, at 5:30 p.m. This meeting will be a Committee of the Whole for the purpose of Finance 102 training.

## **Parks, Recreation & Arts Committee**

Councilmember Dan Hurt, Chairperson of the Parks, Recreation & Arts Committee, indicated that there are no action items this evening.

## **Public Health & Safety Committee**

Councilmember Ben Keathley, Chairperson of the Public Health & Safety Committee, reported that Bill No. 3209 (MoDOT Work Zone Enforcement Program) will be considered for adoption under the “Legislation” portion of the agenda.

## **REPORT FROM THE CITY ADMINISTRATOR**

City Administrator Mike Geisel reported that Bill No. 3211 (Annual Renewal, Conflict of Interest) will be read for the first time under the “Legislation” portion of the agenda.

## **UNFINISHED BUSINESS**

There was no unfinished business.

## **NEW BUSINESS**

There was no new business.

## **LEGISLATION**

BILL NO. 3209      Authorizes the City Administrator to enter into an on call work zone enforcement agreement with the Missouri Department of Transportation (MoDOT) to allow cooperation between the Chesterfield Police Department and MoDOT for the on call work zone enforcement program **(Second Reading) Public Health and Safety Committee Recommends Approval**

Councilmember Keathley made a motion, seconded by Councilmember Flachsbart, for the second reading of Bill No. 3209. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3209 was read for the second time. A roll call vote was taken for the passage and approval of Bill No. 3209 with the following results: Ayes – McGuinness, Hurt, Ohley, DeCampi, Mastorakos, Flachsbart, Keathley and Moore. Nays – None. Whereupon Mayor Nation declared Bill No. 3209 approved, passed it and it became **ORDINANCE NO. 3014**.

BILL NO. 3211      Re-adopts the procedure established in Ordinance No. 605 of the City of Chesterfield as the procedure for disclosure of conflicts for certain municipal officials **(First Reading) City Administrator Recommends Approval**

Councilmember McGuinness made a motion, seconded by Councilmember Mastorakos, for the first reading of Bill No. 3211. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3211 was read for the first time.



## **LEGISLATION – PLANNING COMMISSION**

BILL NO. 3208 Amends the Unified Development Code of the City Of Chesterfield by changing the boundaries of the “R-2” Residence District and the “PC” Planned Commercial District to an “R-4” Residence District for a 20.7 acre tract of land located north and east of Swingley Ridge Road and east of its intersection with Chesterfield Ridge Center Drive. [P.Z. 04-2018 West County Acres, Nardin Drive (R-2, PC to R-4) 18S510142, 18S510131, 18S510119, 18S510098, 18S510229, 18S510021, 18S230158, 18S510010, 18S150043, 18S510087, 18S510108, 18S510120, 18S510153, 18S510175] **(Second Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval**

Councilmember Ohley made a motion, seconded by Councilmember Hurt, for the second reading of Bill No. 3208. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3208 was read for the second time. A roll call vote was taken for the passage and approval of Bill No. 3208 with the following results: Ayes – Hurt, Mastorakos, DeCampi, Moore, Flachsbart, McGuinness, Ohley and Keathley. Nays – None. Whereupon Mayor Nation declared Bill No. 3208 approved, passed it and it became **ORDINANCE NO. 3015**.

BILL NO. 3210 Amends City of Chesterfield Ordinance 2448 establishing new permitted uses in a “PC” Planned Commercial District for 11.1 acres located on the southeastern corner of the intersection of Edison Avenue and Long Road (P.Z. 05-2018 Edison Crossing [Buttry & Brown Development] 17U120287, 17U120298) **(First Reading) Planning Commission recommends approval. Motion to approve by the Planning & Public Works Committee, with the stipulation that the petitioner eliminate some of the permitted uses, failed by a vote of 1-3**

Councilmember Ohley made a motion, seconded by Councilmember Hurt, for the first reading of Bill No. 3210. A voice vote was taken with a unanimous affirmative result and the motion was declared passed. Bill No. 3210 was read for the first time.

Councilmember Flachsbart made a motion, seconded by Councilmember Ohley, to direct Staff to prepare an amendment to Bill No. 3210 for the next City Council meeting which would eliminate the 15 uses agreed to by the petitioner, as well as to include a provision that would restrict concurrent use of a drive through facility and a day care on the subject site. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

Councilmember DeCampi suggested that the previous motion to postpone Bill No. 3207 until September 17 may have been improper, as Robert's Rules of Order does not provide for postponing to a date certain beyond the next regularly scheduled meeting date.

Councilmember DeCampi made a motion, seconded by Councilmember Ohley, to reconsider the vote on the postponement of Bill No. 3207 until the next City Council meeting on August 20. After a lengthy discussion, it was decided that the proposed motion was improper because the motion to reconsider should not include the date for the next action. A voice vote was taken with a negative result (Councilmembers Ohley, DeCampi and Keathley voted "Yes") and the motion was declared failed.

Councilmember DeCampi made a motion, seconded by Councilmember Flachsbart, to reconsider the prior vote to postpone Bill No. 3207 until September 17, 2018. A voice vote was taken with a unanimous affirmative result and the motion to reconsider was declared passed.

Councilmember Flachsbart made a motion, seconded by Councilmember Hurt, to suspend the rules to allow postponement of Bill No. 3207 until September 17, 2018. A voice vote was taken with an affirmative result (Councilmembers DeCampi and Ohley voted "No") and the motion to suspend the rules was declared passed.

Councilmember Flachsbart made a motion, seconded by Councilmember Hurt, to postpone consideration of Bill No. 3207 until the September 17 City Council meeting. A voice vote was taken with an affirmative result (Councilmembers DeCampi and Ohley voted "No") and the motion to postpone consideration of Bill No. 3207 until September 17, 2018 was declared passed.

### **ADJOURNMENT**

There being no further business to discuss, Mayor Nation adjourned the meeting at 8:33 p.m.

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Mayor Bob Nation

ATTEST:

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Vickie J. Hass, City Clerk

APPROVED BY CITY COUNCIL: \_\_\_\_\_

**AGENDA REVIEW – Monday, 8/20/2018 – 6:30 PM**

An AGENDA REVIEW meeting has been scheduled to start at **6:30 pm, on Monday August 20, 2018.**

Please let me know, ASAP, if you will be unable to attend this meeting.

## **UPCOMING MEETINGS/EVENTS**

- A. Thursday, August 23, 2018** – Planning and Public Works (5:45 pm)
- B. Monday, August 27, 2018** – Planning Commission (7 pm)
- C. Wednesday, September 5, 2018** – Next City Council Meeting (7 pm)
- D. Monday, September 17, 2018** – F&A Committee of the Whole – Budget Workshop (5:00pm)

## **PLANNING AND PUBLIC WORKS COMMITTEE**

Chair – Councilmember Ohley

Vice Chair – Councilmember Hurt

## **PLANNING AND PUBLIC WORKS COMMITTEE**

The Planning and Public Works Committee has the following action items for the August 20, 2018 City Council meeting.

### **LEGISLATION**

#### **Bill No. 3212 - Falling Leaves Estates II - Replacement Construction and Maintenance Escrows**

An ordinance amending Ordinance 3010 to authorize replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Subdivision, a 17.4 acre tract of land zoned “LLR” Large Lot Residential District located west of Wilson Avenue and northwest of the intersection of Wilson Avenue and Clarkson Road. **(First & Second Reading) Planning & Public Works Committee recommends approval.**

#### **Bill No. 3213 - Public Street Acceptance – Harmony Meadow Court**

An ordinance pertaining to the acceptance of Harmony Meadow Court as a public street in the City of Chesterfield. **(First Reading) Planning & Public Works Committee recommends approval.**

### **LEGISLATION – PLANNING COMMISSION**

#### **Bill No. 3210 - P.Z. 05-2018 Edison Crossing (Buttry & Brown Development)**

An ordinance amending City of Chesterfield Ordinance 2448 establishing new permitted uses in a “PC” Planned Commercial District for 11.1 acres located on the southeastern corner of the intersection of Edison Avenue and Long Road. (P.Z. 05-2018 Edison Crossing [Buttry & Brown Development] 17U120287, 17U120298).

**(Second Reading) Planning Commission recommends approval.**

**Motion to approve by the Planning & Public Works Committee, with the stipulation that the petitioner eliminate some of the permitted uses, failed by a vote of 1-3.**

**City Council directed staff to prepare pink sheet amendments to eliminate specific uses and to incorporate a prohibition of concurrent day care use and a drive through facility. **Pink Sheet Amendments provided per City Council direction at 8/6/2018 Council meeting.****

### **RESOLUTIONS**

**Proposed Resolution - Friendship Village – St. Louis County Bond Issuance**

Resolution approving a project for Friendship Village of West County to be financed by the Industrial Development Authority of the County of St. Louis, Missouri. **(Voice Vote) Planning & Public Works Committee recommends approval.**

**Proposed Resolution - Levee Trail Easement - Transfer to Wildwood**

Resolution authorizing the City Administrator to execute a Quit Claim Deed assigning certain permanent hiking, biking, and walking trail easements for the Monarch Chesterfield Levee Trail located in the City of Wildwood to the City of Wildwood, MO. **(Voice Vote) Planning & Public Works Committee recommends approval.**

**RECOMMENDATIONS**

**150 N. Eatherton Road (P.Z. 12-2016 Time Extension Request)**

A request for an eighteen (18) month extension of time to submit a Site Development Concept Plan or Site Development Plan for a 10.786 acre tract of land zoned "PI" Planned Industrial District located on the east side of Eatherton Rd., south of the Landings at Spirit Dr. (18W140020). **(Voice Vote) Planning & Public Works Committee recommends approval.**

**FSP 55-2018 ExteNet Systems, Inc. (North Spirit Drive)**

A request for a new Facilities Siting Permit to install a new wireless telecommunications facility located along North Spirit Drive on property addressed as 17839 Chesterfield Airport Road. **(Voice Vote) Planning & Public Works Committee recommends approval.**

**Summit-Topgolf Lot A (Residence Inn)**

A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 3.7 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing (17T510063).

**(Voice Vote) Planning Commission recommends approval. Planning & Public Works Committee recommends approval. Petitioner requests to postpone until the September 5th City Council meeting.**

**NEXT MEETING**

The next meeting of the Planning & Public Works Committee is scheduled for Thursday, August 23, 2018 at 5:45 pm.

**If you have any questions, please contact me prior to Monday's meeting.**

# MEMORANDUM

TO: Mike Geisel, City Administrator

FROM: Justin Wyse, Director of Planning & Development Services  
James Eckrich, Director of Public Works/City Engineer

SUBJECT: Planning & Public Works Committee Meeting Summary  
Thursday, August 9, 2018



A meeting of the Planning and Public Works Committee of the Chesterfield City Council was held on Thursday, August 9, 2018 in the Council Chambers.

In attendance were: **Chair Michelle Ohley** (Ward IV), **Councilmember Barry Flachsbart** (Ward I), **Councilmember Mary Ann Mastorakos** (Ward II), and **Councilmember Dan Hurt** (Ward III).

Also in attendance were: Councilmember Michael Moore (Ward III); Planning Commission Chair Merrell Hansen; Jim Eckrich, Director of Public Works/City Engineer; Justin Wyse, Director of Planning & Development Services; Cassie Harashe, Planner; and Kathy Juergens, Recording Secretary.

The meeting was called to order at 5:45 p.m.

## I. APPROVAL OF MEETING SUMMARY

### A. Approval of the July 19, 2018 Committee Meeting Summary

Councilmember Hurt made a motion to approve the Meeting Summary of **July 19, 2018**. The motion was seconded by Councilmember Flachsbart and **passed** by a voice vote of 4-0.

## II. UNFINISHED BUSINESS

### A. Parking Stall Dimensions

### B. Mixed Use Parking

Since there were no updates on these two items, Chair Ohley stated the items will be placed on the August 23, 2018 agenda.

## III. NEW BUSINESS

### 150 N. Eatherton Road (P.Z. 12-2016 Time Extension Request) (Ward 4)

## STAFF REPORT

Justin Wyse, Director of Planning & Development Services, stated that this is a request for an 18-month time extension for the parcel at 150 N. Eatherton Road. The property was rezoned from “NU” Non-Urban District, to “PI” Planned Industrial District in February of 2017. The Ordinance for the site requires submission of plans within 18 months. They have not submitted plans at this point as the developer continues to market the property. Therefore, they are requesting another 18-month time extension for submission of plans.

**Councilmember Hurt made a motion to forward 150 N. Eatherton Road (P.Z. 12-2016 Time Extension Request) to City Council with a recommendation to approve.** The motion was seconded by Councilmember Ohley and **passed** by a voice vote of 4-0.

**[Please see the attached report prepared by Justin Wyse, Director of Planning and Development Services, for additional information on 150 N. Eatherton Road (P.Z. 12-2016 Time Extension Request.)]**

**B. Replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Record Plat (Ward 4)**

**STAFF REPORT**

Justin Wyse, Director of Planning & Development Services, stated that Falling Leaves Estates II is a 17.4 acre tract that has been divided into four lots. Currently the guarantees for the construction and maintenance agreements are in the form of a cash deposit with the City. The developer has since requested that the cash surety be refunded and replaced with a Letter of Credit. Staff has reviewed the request and recommends approval.

**Councilmember Flachsbart made a motion to forward Replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Record Plat to City Council with a recommendation to approve.** The motion was seconded by Councilmember Ohley and **passed** by a voice vote of 4-0.

**[Please see the attached report prepared by Justin Wyse, Director of Planning and Development Services, for additional information on Replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Record Plat.]**

**C. Friendship Village Bond Issuance from St. Louis County (Ward 1)**

**STAFF REPORT**

Justin Wyse, Director of Planning and Development Services, stated that Friendship Village has been working with St. Louis County for the issuance of Industrial Revenue Bonds for improvements to their location on Olive Boulevard. Due to statutory requirements, the City of Chesterfield must approve the project before the bonds can be issued, therefore, a Resolution has been prepared. Friendship Village has a project currently under construction which was approved by City Council in November of 2017. The resolution states that the City is approving the project and the issuance of bonds by St. Louis County. Such approval does not obligate the City in any manner with respect to the repayment of the bonds or impact the required planning or permitting approvals of the Council or Planning Commission related to construction.



**Councilmember Flachsbart** made a motion to forward the Friendship Village Bond Issuance Resolution to City Council with a recommendation to approve. The motion was seconded by Councilmember Hurt and **passed** by a voice vote of 4-0.

**Note:** One Resolution, as recommended by the Planning & Public Works Committee, will be needed for the August 20, 2018 City Council Meeting. See Resolution #

**[Please see the attached report prepared by Justin Wyse, Director of Planning and Development Services, for additional information on the Friendship Village Bond Issuance Resolution.]**

**D. FSP 55-2018 ExteNet Systems, Inc. (N. Spirit Drive) (Ward 4)**

**STAFF REPORT**

Justin Wyse, Director of Planning & Development Services, stated the request is for a Facilities Siting Permit (FSP) to install a new wireless telecommunications facility at 17839 Chesterfield Airport Road, which is currently an undeveloped parcel. The installation will be located within an existing utility easement. The proposed installation consists of a standard wood utility pole to be purchased from and installed by Ameren. Equipment and antennas will be mounted on the pole. The pole with the antenna mounted on top will total 32'6 inches in height.

**Councilmember Ohley** made a motion to forward FSP 55-2018 ExteNet Systems, Inc. (N. Spirit Drive) to City Council with a recommendation to approve. The motion was seconded by Councilmember Hurt and **passed** by a voice vote of 4-0.

**[Please see the attached report prepared by Justin Wyse, Director of Planning and Development Services, for additional information on FSP 55-2018 ExteNet Systems, Inc. (N. Spirit Drive).]**

At this time, **Councilmember Hurt** made a motion to discuss New Business Items F, G, and H before Item E. The motion was seconded by Chair Ohley and **passed** by a voice vote of 4-0.

**F. Levee Trail Easement Transfer to Wildwood**

**STAFF REPORT**

Jim Eckrich, Director of Public Works/City Engineer, stated that approximately 7,800 feet of the Levee Trail is located within the City of Wildwood. This portion of the trail has been maintained by Chesterfield. Staff recently met with Wildwood city officials to discuss transferring the easement and future trail maintenance of this portion of the trail to the City of Wildwood. Wildwood was agreeable to the transfer, therefore, a Resolution and Quit Claim Deed have been drafted to finalize this transfer.

**Councilmember Ohley** made a motion to forward a Resolution for the Levee Trail Easement Transfer to Wildwood to City Council with a recommendation to approve. The motion was seconded by Councilmember Mastorakos and **passed** by a voice vote of 4-0.

**Note: One Resolution, as recommended by the Planning & Public Works Committee, will be needed for the August 20, 2018 City Council Meeting. See Resolution #**

**[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on the Monarch Chesterfield Levee Trail transfer to Wildwood.]**

**G. Metro St. Louis Cooperative Deicing Salt Program**

**STAFF REPORT**

Jim Eckrich, Director of Public Works/City Engineer, stated that the City of Chesterfield administers the Salt Coop on behalf of 51 cities and 7 school districts within St. Louis County. The City's salt provider, Compass Minerals, has again agreed to extend their 2015 price of \$49.23 per ton for the 2018/2019 season. Beelman Logistics, however, was unwilling to extend its 2015 prices for delivery. Accordingly, the Department of Public Works publicly advertised for bids for salt hauling and unloading. The bid opening was held on July 11, 2018. Beelman Logistics submitted the one and only bid.

Staff recommends that the City approve the one year extension for the purchase of salt by Compass Minerals and the low bid for salt delivery by Beelman Logistics.

**Councilmember Hurt made a motion to forward to City Council a recommendation to accept the one year extension for salt by Compass Minerals and the low bid for salt delivery by Beelman Logistics. The motion was seconded by Councilmember Ohley and passed by a voice vote of 3-0 with Councilmember Flachsbart abstaining.**

**[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on the Metro St. Louis Cooperative Deicing Salt Program.]**

**H. Public Street Acceptance – Harmony Meadow Court**

**STAFF REPORT**

Jim Eckrich, Director of Public Works/City Engineer, stated that Staff recommends acceptance of Harmony Meadow Court as a public street. This street is part of the Harmony Seven subdivision. This street meets the City's design and construction standards.

**Councilmember Flachsbart made a motion to forward to City Council a recommendation to accept Harmony Meadow Court as a public street. The motion was seconded by Councilmember Hurt and passed by a voice vote of 4-0.**

**Note: One Bill, as recommended by the Planning & Public Works Committee, will be needed for the August 20, 2018 City Council Meeting. See Bill #**

**[Please see the attached report prepared by Jim Eckrich, Director of Public Works/City Engineer, for additional information on the Public Street Acceptance-Harmony Meadow Court.]**

- E. **Mobil Mart at Baxter and Clayton (Brite Worx)**: A Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 1.72 acre tract of land zoned "PC" Planned Commercial District located on the western corner of the intersection of Clayton Road and Baxter Road. (Ward 3)

### **STAFF REPORT**

Cassie Harashe, Planner, presented the Site Development Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a Brite Worx carwash facility located at the corner of Baxter Road and Clayton Road.

The Planning Commission reviewed the project at its July 9, 2018 meeting where additional information regarding colors of the accessory elements and revised section views were requested. This item was again reviewed at the July 23, 2018 Planning Commission meeting. After considerable discussion, the Planning Commission recommended approval by a vote of 6-1, with a six foot wall closest to the carwash and stainless steel accessory structures. Since the Planning Commission meeting, the applicant has submitted a letter requesting that the accessory structures remain blue.

### **DISCUSSION**

In response to Councilmember Hurt's question, Ms. Harashe stated that the canopy has been removed from the vacuum stations. The Petitioner has also removed the blue balls which are being replaced with an all-in-one vacuum station. While the vacuum station is depicted in yellow in the illustration, the Petitioner is requesting that the color be blue.

In response to the Petitioner's belief that they are not being treated fairly, Councilmember Hurt provided photos of the buildings on the surrounding three corners. The mortgage company building has earth tone brick from the bottom all the way up to the top, except for the sign. Walgreen's has earth tone brick from the ground all the way up to the top, with a sign of a different color. The gas station/convenience store is mostly earth tones from the bottom to the top with the color on the canopy. The nearby Gold's gym also has earth tone brick from the bottom to the top. Therefore, Councilmember Hurt stated it is not an unreasonable request to ask for earth tones with a small accent color to give the building some definition.

Councilmember Hurt further stated that the rendering provided does not depict stone from the bottom to the top. Based on previous discussions, he thought the Petitioner was going to incorporate the same style of building materials used on the nearby Mia Sorella restaurant; namely gray stone from the bottom to the roofline. The rendering presented does not reflect this. Councilmember Hurt also stated that the blue accent color that runs horizontally above the windows is appropriate, however, he does not feel it is necessary to have blue on the towers or the pay canopy. Planning Commission Chair Merrell Hanson stated that the Planning Commission understood that the stone would be at the bottom with brick extending to the top, and that the Planning Commission did request that earth tones be used to resemble the look of the Mia Sorella restaurant.

There was some discussion regarding the color differences of the actual stone sample provided and what was depicted in the rendering. To clarify the building materials, Kevin Kamp, Civil Environmental Consultants, stated that there is stone at the bottom with a limestone cap then brick veneer with a limestone cap. The parapets are constructed out of EFIS with an aluminum cap that matches the blue trim on the roof of the wash tunnel. There is also blue on the pay

station canopy. The stone color on the rendering is merely an artist's interpretation of stone and it does appear darker than the sample. The windows are also an artist's interpretation of windows. They appear slightly blue to depict that they are windows. They will not actually be blue.

After further discussion regarding the placement of the blue accent color and discrepancies in the rendering versus the actual sample materials and their relationship to Mia Sorella, Councilmember Hurt stated that there are too many inconsistencies to move the item forward. He suggested that a meeting take place between himself, Councilmember Moore, Staff and the Petitioner in an effort to resolve the inconsistencies.

In response to Councilmember Mastorakos' inquiry regarding the removal of vegetation, Mr. Kamp stated that a total of six trees will be removed. The City is requesting that four ash trees be removed. Another tree will be removed because of the stormwater detention basin and a hickory tree will be removed as grading will disturb the drip line and root mass. Ms. Harashe stated that City Code requires that all deciduous trees planted must have at least a 2.5 inch caliper and that all evergreen trees must be at least 6 feet tall to ensure that they grow successfully. In response to Chair Oley's questions regarding the overgrown honeysuckle, Mr. Kamp confirmed they would be removing it from the subject site.

**Councilmember Hurt made a motion to postpone Mobil Mart at Baxter and Clayton (Brite Worx) until the August 23, 2018 Planning & Public Works Committee meeting with the understanding that a meeting will be held between Councilmembers Hurt and Moore, Staff, and the Petitioner prior to that meeting.** The motion was seconded by Councilmember Ohley.

#### **Discussion after the Motion**

Mr. Kamp asked if there were any other concerns they should be made aware of other than the materials and color. Councilmember Hurt reiterated his concerns: use of stone similar to Mia Sorella extending from the ground up to the roofline and the blue color only on the roofline. The Planning Commission had expressed some concern with the height of the wall surrounding the structure. Ms. Hansen stated that the Planning Commission ultimately decided on a wall height of 6 feet, as an 8 foot wall would not provide additional screening of the towers.

The above motion was **passed by a voice vote of 4-0.**

**IV. OTHER** – None.

**V. ADJOURNMENT**

The meeting adjourned at 6:42 p.m.

# Memorandum

## Department of Planning & Development Services



**To:** Michael O. Geisel, City Administrator

**From:** Justin Wyse, Director of Planning and Development Services

**Date:** August 10, 2018 See Bill No.3210

**RE:** **P.Z. 05-2018 Edison Crossing (Buttry & Brown Development):** A request to amend Ordinance 2448 to establish new permitted uses for 11.1 acres of land within an existing “PC” Planned Commercial District located at the southeast corner of the intersection of Edison Road and Long Road. (17U120287, 17U120298).

### **Summary**

Buttry and Brown Development has submitted a request for an amendment to Ordinance 2448 to establish two new permitted uses in an existing “PC” Planned Commercial District. The request is for 11.1 acres located on the southeast corner of the intersection of Edison Road and Long Road.

A public hearing was held on May 30, 2018, at which time no issues were raised and Staff was waiting to receive outstanding agency comments. Once all agency comments were addressed, Staff prepared an Attachment “A” for the Planning Commission.

This petition was next discussed at the June 25, 2018 Planning Commission meeting. At the meeting, setbacks, hours of operation, and the number of uses permitted by the ordinance were discussed. The Petitioner stated that the hours of operation were carried over from the previously approved ordinance. The Commission made a motion to change the hours of operation to 6 am to 11 pm. As stated in the Attachment A, the hours of operation only pertain to retail uses. The changed hours of operation have been included in the Attachment “A”. After discussing the reduced setbacks and the history of how they were established at the time Ordinance 2448 was passed, the Commission did not make any motions to change the setback requirements. After considerable discussion regarding the uses currently permitted for the site, the Planning Commission made no changes to the uses.

The Planning Commission recommended approval of the request with the above mentioned amendment for hours of operation on June 25, 2018 by a vote of 7-1.

At the July 19, 2018 Planning and Public Works Committee meeting, there was considerable discussion regarding the number of uses being requested. The Committee wished to see the applicant remove some of the uses from the request. A motion to approve the ordinance amendment failed by a vote of 1-3.

Prior to the First Reading at City Council on August 6, the Petitioner submitted a revised list of uses. The Petitioner removed the following uses from the request:

- Auditorium
- Automobile dealership
- Automotive retail supply
- Club
- Community center
- Farmer's market
- Filling Station and convenience store with pump stations
- Film drop off and pick up station
- Library
- Reading room
- Tackle and bait shop
- Theater, indoor
- Theater, outdoor
- Vehicle Repair & Service Facility
- Vocational School

Additionally, they requested a condition be placed in Section I.A.2. stating "A restaurant, fast food or coffee shop with drive thru shall not be allowed concurrently with a day care center or kindergarten or nursery school."

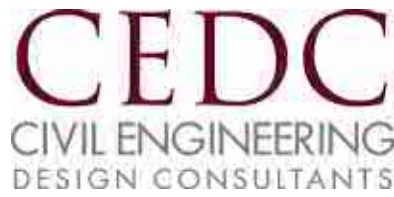
At the August 6, 2018 City Council meeting the Council approved the amendment by a vote of 8-0. As such a Pink Sheet Amendment has been prepared.

Attached to this report, please find a copy of the Petitioner's letter with the revised uses, Pink Sheet Amendment, Legislation, Attachment "A", and Preliminary Development Plan, labeled Attachment "B".

Attachments: Petitioner's Letter with Revised Uses  
Pink Sheet Amendment  
Legislation  
Attachment A  
Attachment B (Preliminary Plan)

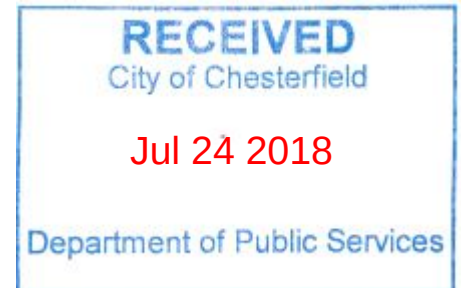


**Figure 1. Aerial Photograph**



July 24, 2018

Cassie Harashe, AICP  
Project Planner  
City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017



Request for Proposal: Edison Crossing  
Ordinance Amendment  
17634 & 17690 Edison Avenue  
Chesterfield, MO 63005

Dear Ms. Harashe:

Pursuant to the Planning & Public Works Committee meeting on July 19, 2018, the proposed allowable uses have been reduced to the following:

- a. Administrative offices for educational or religious institutions
- b. animal grooming services
- c. art gallery
- d. art studio
- e. ~~auditorium~~
- f. ~~automobile dealership~~
- g. ~~automotive retail supply~~
- h. bakery
- i. banquet facility
- j. barber or beauty shop
- k. churches and other places of worship
- l. ~~club~~
- m. coffer shop
- n. coffee shop with drive thru
- o. college/university
- p. commercial service facility
- q. ~~community center~~
- r. day care center
- s. dry cleaning establishment
- t. dry cleaning establishment with drive thru
- u. ~~farmers market~~
- v. ~~filling station and convenience store with pump stations~~
- w. ~~film drop-off and pick-up station~~
- x. financial institutions, no drive thru
- y. financial institutions, with a drive thru
- z. grocery community
- aa. grocery neighborhood



- bb. gymnasium
- cc. kennel boarding
- dd. kindergarten or nursery school
- ~~ee. library~~
- ff. newspaper stand
- gg. office – dental
- hh. office – general
- ii. office-medical
- jj. postal station
- kk. professional and technical service facilities
- ll. public building facilities owned or leased by the City of Chesterfield
- ~~mm. reading room~~
- nn. recreational facility, indoor facilities
- oo. research laboratory and facility
- pp. restaurant, fast food
- qq. restaurant, sit down
- rr. restaurant, take out
- ss. retail sales establishment – community
- tt. retail sales establishment - neighborhood
- uu. retail sales establishment – regional
- ~~vv. tackle and bait shop~~
- ~~ww. theater indoor~~
- ~~xx. theater outdoor~~
- ~~yy. vehicle repair & service facility~~
- zz. veterinary clinic
- ~~aaa. vocational school~~

In addition to reducing the above-mentioned uses, a safety concern was discussed at the Planning & Public Works Committee that a drive thru restaurant/coffee shop and a day care/kindergarten or nursery school might not be able to both operate on the property in a safe manner. Because of this concern, we propose to add the following language to Section I.A.2.

**A restaurant, fast food or coffee shop with drive thru shall not be allowed concurrently with a day care center or kindergarten or nursery school**

We believe the above amendments to the Attachment A addresses the concerns of the Committee

Should you have any questions, please do not hesitate to call.

Sincerely,  
Civil Engineering Design Consultants, Inc.



Brandon A. Harp, P.E.  
Principal



# City Council Memorandum

## Department of Planning & Development Services



**To:** Michael O. Geisel, City Administrator  
**From:** Justin Wyse, Director of Planning and Development Services **JW**  
**Date:** August 13, 2018 See Bill No. 3212  
**CC Date:** **August 20, 2018**  
**RE: REPLACEMENT CONSTRUCTION AND MAINTENANCE ESCROWS  
FOR FALLING LEAVES ESTATES II, RECORD PLAT**

### **Summary**

On June 4, 2018, the City of Chesterfield City Council approved Ordinance 3010 for the Falling Leaves Estates II subdivision Record Plat with the associated escrow agreements.

The development team is now requesting to replace the original construction and maintenance escrows and agreements. Currently the guarantees for the construction and maintenance agreements are in the form of a cash deposit with the City. The developer has since requested that the cash surety be refunded and replaced with Letters of Credit. The City's Unified Development Code (UDC) states that *"The land subdivision bond or escrow agreement or other required surety shall be prepared and executed on forms furnished by the Department and shall be submitted to the City Council for approval or disapproval."*

At the August 09, 2018 Planning and Public Works Committee meeting, a motion to forward the Replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Record Plat to City Council with a recommendation of approval passed by a voice vote of 4-0.

Attached, please find a copy of the legislation and Escrow Agreements.

# Memorandum

## Department of Public Works



**TO:** James A. Eckrich, P.E.  
Public Works Director/City Engineer

**cc:** Justin Wyse  
Director of Planning and Development Services

**FROM:** Zachary Wolff, P.E.  
Assistance City Engineer

See Bill No. 3213

**DATE:** July 20, 2018

**RE:** Public Street Acceptance – Harmony Seven

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Public Works recently conducted inspections of the Harmony Seven subdivision. As part of these inspections we have determined that the following street meets the City of Chesterfield's design and construction standards for acceptance as a public street:

- Harmony Meadow Ct.

Attached are a draft ordinance and a map showing the above referenced street. If you have questions or need additional information, please let me know.

### Action Recommended

This matter should be forwarded to the Planning and Public Works Committee for its consideration of the attached ordinance authorizing acceptance of the above described street. If the Planning and Public Works Committee recommends approval, the matter shall be forwarded to City Council.

Please forward to PPW for review and approval

7/23/2018

# Memorandum

## Department of Planning & Development Services



**To:** Michael O. Geisel, City Administrator

**From:** Justin Wyse, Director of Planning and Development Services

**Date:** August 13, 2018

**RE:** **Resolution for Friendship Village Bond Issuance from St. Louis County**

Friendship Village is a retirement community within the City of Chesterfield, located at 15201 Olive Boulevard. They are requesting St. Louis County's Industrial Development Authority (IDA) issue bonds on their behalf for facility expansion.

They have been expanding for the past several years and have additional plans for future growth. Friendship Village currently has a project under construction for an additional 52 independent living apartments, a new 60-bed assisted living and memory care building, and replacement of the skilled nursing facilities. This project was approved by the Planning Commission in November 2017. In September of 2017, City Council approved the IDA to issue \$70 million in bonds to refund bonds previously issued in 2007 and 2012 and finance approximately \$10 million in renovations to the existing campuses of Friendship Village. However, approximately only \$50 million of the bonds were actually issued by the IDA. Friendship Village chose not to utilize any portion to finance their expansion at that time.

Friendship Village is now ready to finance the expansion and is requesting the St. Louis County IDA to authorize up to \$250 million in bonds. This would be spread across Friendship Village's two campuses, one here in Chesterfield, the other in Sunset Hills.

Whenever a County IDA issues bonds for a project located within the boundaries of a city, state law requires that the city approve the project and issuance of bonds by the County IDA. A resolution similar to the resolution before the Council now was done last year for Friendship Village and in 2015 for St. Andrews - The Willows at Brooking Park. The resolution provides that the City is approving the project located within the City and the issuance of bonds by the County IDA solely as required by the specific state statute governing the issuance of bonds by the County IDA. *Such approval does not in any way obligate the City in any manner with respect to the repayment of the bonds or impact the required planning or permitting approvals of the City Council or Planning Commission related to construction.*

At their August 9, 2018 meeting, the Planning and Public Works Committee recommended approval by a vote of 4-0. Attached is a Resolution in support of the project in order to meet statutory requirements prior to the issuance of Industrial Revenue Bonds by St. Louis County's Industrial Development Authority (IDA). A municipal resolution is required in order for the issuance of the Industrial Revenue Bonds.

Attachment: Resolution

**RESOLUTION NO. \_\_\_\_\_**

**RESOLUTION APPROVING A PROJECT FOR FRIENDSHIP VILLAGE OF  
WEST COUNTY TO BE FINANCED BY THE INDUSTRIAL DEVELOPMENT  
AUTHORITY OF THE COUNTY OF ST. LOUIS, MISSOURI**

**WHEREAS**, The Industrial Development Authority of the County of St. Louis, Missouri (the “Authority”) is proposing a project involving the issuance of not to exceed \$250,000,000 aggregate principal amount of bonds of the Authority for the purpose of making a loan to Friendship Village of South County and Friendship Village of West County, Missouri nonprofit corporations (the “Borrowers”), to finance, refinance and reimburse the costs of acquiring, constructing, renovating, equipping and furnishing new and existing continuing care retirement facilities for the Borrowers’ continuing care retirement facilities (collectively, the “Project”); and

**WHEREAS**, Section 349.010 of the Revised Statutes of Missouri requires that projects of an industrial development authority of a county must be located wholly within an unincorporated area of such county, except that such projects may be located within the corporate limits of a municipality within such county when approved by the governing body of the city;

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Chesterfield, Missouri, that the Project is hereby approved and the City Council grants its permission to the Authority to proceed with the issuance of not to exceed \$250,000,000 aggregate principal amount of bonds for the purposes described above.

**PASSED** by the City Council of the City of Chesterfield, Missouri, this \_\_\_\_\_ day of August, 2018.

CITY OF CHESTERFIELD, MISSOURI

\_\_\_\_\_  
PRESIDING OFFICER

BY: \_\_\_\_\_  
Bob Nation, MAYOR

[SEAL]

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK



## Memorandum

### Department of Public Works

**TO:** James A. Eckrich, PE  
Public Works Dir./City Engineer

**FROM:** Zachary S. Wolff, PE  
Assistant City Engineer *ZSW*

**DATE:** July 26, 2018

**RE:** Monarch Chesterfield Levee Trail Transfer to Wildwood

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To facilitate construction of Phase III of the Monarch Chesterfield levee trail the City acquired multiple Permanent Hiking, Biking and Walking Trail Easements. The easements allow the City to construct, improve, maintain, and replace trail improvements. A portion of the Phase III trail, approximate 7,800 feet, is located in the City of Wildwood. To date this portion of the trail has been maintained by the City of Chesterfield. An exhibit is attached that depicts the limits of the trail within Wildwood.

As you are aware, we recently met with Mr. Joe Vujnich, City of Wildwood Director of Planning and Park, and Mr. Gary Crews, City of Wildwood Superintendent of Parks and Recreation to discuss transferring easements and future trail maintenance responsibility of the portion of the trail within the City of Wildwood to the City of Wildwood. Mr. Vujnich indicated Wildwood would accept the transfer.

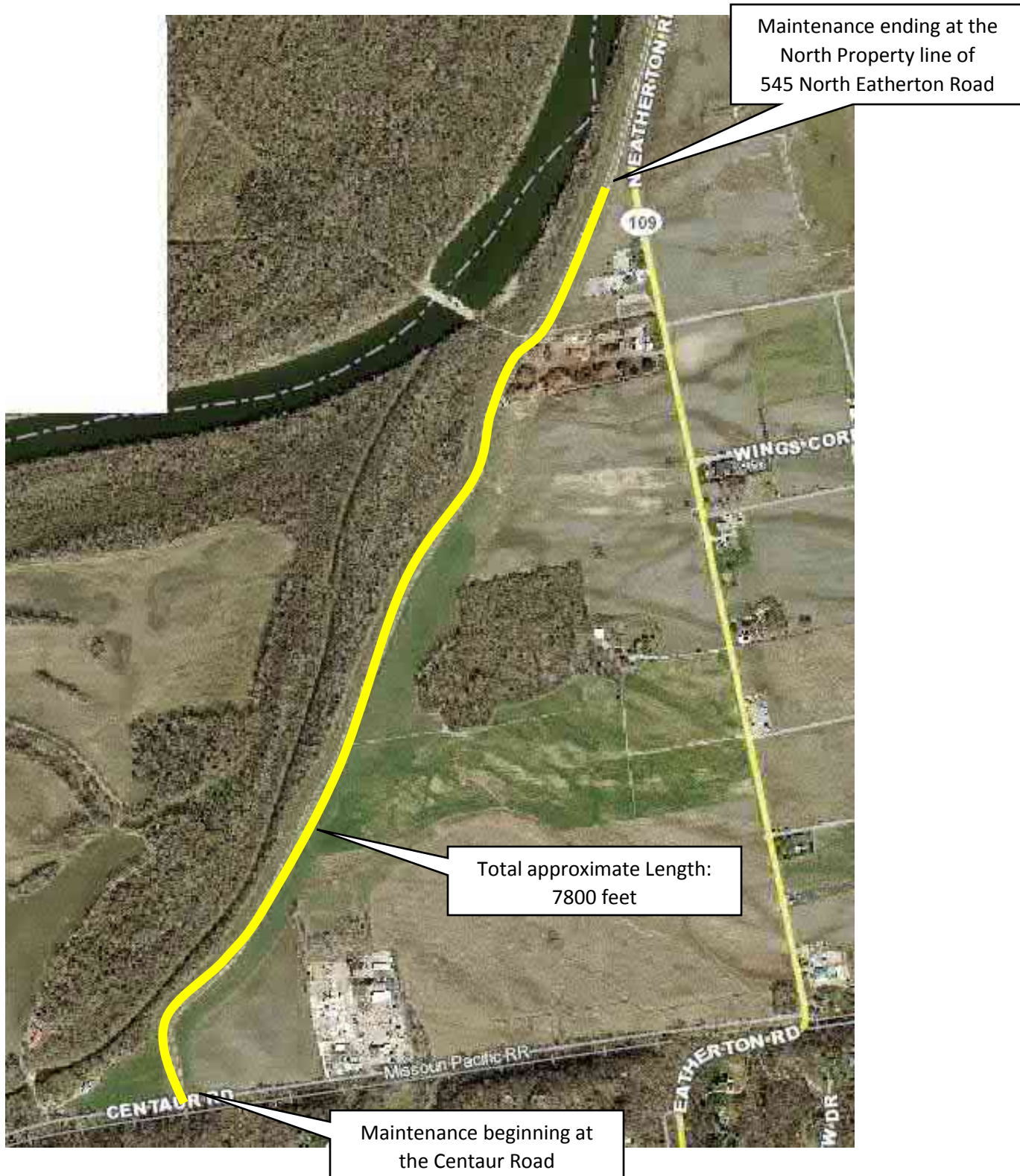
As requested, in order to finalize the easement transfer, a Council Resolution and Quit Claim Deed have been drafted and are included with this memo. Please let me know if you have any questions or need any additional information to proceed with the easement transfers.

**Please forward to PPW for review and recommendation**

7/27/2018

cc:





**RESOLUTION NO. \_\_\_\_**

**A RESOLUTION AUTHORIZING THE CITY ADMINISTRATOR TO EXECUTE A QUIT CLAIM DEED ASSIGNING CERTAIN PERMANENT HIKING, BIKING AND WALKING TRAIL EASEMENTS FOR THE MONARCH CHESTERFIELD LEVEE TRAIL LOCATED IN THE CITY OF WILDWOOD TO THE CITY OF WILDWOOD, MO.**

**WHEREAS**, for the purposes of constructing and maintaining Phase III of the Monarch Chesterfield Levee Trail the City of Chesterfield (City) obtained 13 Permanent Hiking, Biking and Walking Trail Easement Agreements (easements) on private properties located in the City of Wildwood (Wildwood).

**WHEREAS**, the easements allow the City to construct, improve, maintain, repair, and replace trail improvements within the easement area.

**WHEREAS**, Wildwood has agreed to accept responsibility for the portion of the Monarch Chesterfield Levee Trail located within its corporate limits.

**WHEREAS**, in accordance with the easements, the City may assign its rights and responsibilities.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, MISSOURI AS FOLLOWS:**

Section 1. City Council approves the assignment of easements associated with the portion of the Monarch Chesterfield Levee Trail located in Wildwood to the City of Wildwood; and authorizes the City Administrator to prepare and execute the documents necessary for assignment of the easements.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
PRESIDING OFFICER

\_\_\_\_\_  
Bob Nation, MAYOR

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK



## QUIT CLAIM DEED

**THIS DEED**, made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2018, by and between the City of Chesterfield, 690 Chesterfield Parkway West, Chesterfield, MO 63017-0760, Grantor, which has obtained Permanent Hiking, Biking and Walking Easements on certain properties located in the City of Wildwood, and the City of Wildwood, 16860 Main Street, Wildwood, MO 63040, Grantee.

**WITNESSETH:** that Grantor, for and in consideration of the sum of One Dollar and No/100 (\$1.00) and other valuable considerations paid to it by Grantee, the receipt of which is hereby acknowledged, does by these presents, remise, release, transfer, assign and forever quitclaim unto the Grantee the fourteen (14) Permanent Hiking, Biking and Walking Easements, including all rights, responsibilities and obligations, that Grantor has on the properties listed below. By conveyance of the subject easements to Grantee, Grantor is releasing all interests and responsibilities it has to Grantee.

| <u>Property Address</u> | <u>St. Louis County<br/>Locator No.</u> | <u>County Recorder of<br/>Deeds Book &amp; Page for<br/>Easement</u> |
|-------------------------|-----------------------------------------|----------------------------------------------------------------------|
| 545 N. Eatherton Road   | 17X-34-0121                             | Book 20217, Page 2144                                                |
| 539 N. Eatherton Road   | 17X-34-0112                             | Book 20217, Page 2144                                                |
| 527 N. Eatherton Road   | 17X-34-0086                             | Book 19016, Page 1544                                                |
| 515 N. Eatherton Road   | 17X-32-0077                             | Book 19016, Page 1554                                                |
| 513 N. Eatherton Road   | 17X-32-0055                             | Book 19016, Page 1542                                                |
| 501 N. Eatherton Road   | 17X-32-0088                             | Book 18569, Page 248                                                 |
| 495 N. Eatherton Road   | 18X-64-0013                             | Book 18099, Page 1749                                                |
| 365 N. Eatherton Road   | 18X-63-0014                             | Book 19317, Page 2435                                                |
| 18425 Centaur Road      | 18X-61-0016                             | Book 18310, Page 1807                                                |
| 18415 Centaur Road      | 18X-33-0033                             | Book 18310, Page 1816                                                |
| 18525 Centaur Road      | 18X-31-0101                             | Book 19091, Page 1589                                                |
| 18455 Centaur Road      | 18X-22-0011                             | Book 20951, Page 0043                                                |
| 18495 Centaur Road      | 19X-53-0025                             | Book 19385, Page 950                                                 |
| 18495 Centaur Road      | 19X-53-0025                             | Book 19317, Page 2445                                                |

**IN WITNESS WHEREOF**, the Grantor has executed these presents the day and year first above written.

CITY OF CHESTERFIELD

Attest: \_\_\_\_\_

(SEAL) Vickie Hass, City Clerk

\_\_\_\_\_  
Michael O. Geisel, City Administrator

~~~~~  
STATE OF MISSOURI )

)

COUNTY OF ST LOUIS) SS. On this \_\_\_\_\_ day of \_\_\_\_\_, 2018, before  
me personally appeared \_\_\_\_\_ to me known to be  
the person(s) described in and who executed the foregoing instrument, and acknowledged that \_\_\_\_\_  
executed the same as \_\_\_\_\_ free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the  
County and State aforesaid, the day and year first above written.

My term expires: \_\_\_\_\_

\_\_\_\_\_  
Notary Public



# City Council Memorandum

## Department of Planning and Development Services

**To:** Michael O. Geisel, City Administrator

**From:** Justin Wyse, Director of Planning and Development Services **JW**

**Date:** August 13, 2018

**CC Date:** August 20, 2018

**RE:** **150 N. Eatherton Road (P.Z. 12-2016 Time Extension Request):** A request for an eighteen (18) month extension of time to submit a Site Development Concept Plan or Site Development Plan for a 10.786 acre tract of land zoned "PI" Planned Industrial District located on the east side of Eatherton Rd., south of the Landings at Spirit Dr. (18W140020).

### **Proposal Summary**

Stock & Associates Consulting Engineers, Inc. on behalf of Casey D. Urkevich, has submitted a request for an eighteen (18) month period time extension for submittal of a Site Development Concept Plan or Site Development Plan listed in the governing ordinance for the site at 150 N. Eatherton Road. This is the first eighteen (18) month extension requested by the applicant.

As stated in the applicant's Project Extension Request, the developer's original tenant for the building did not go forward. As a result, the Developer continues to market the property and does not have a user for which to submit the Site Development Concept Plan or Site Development Plan.

### **Site History**

The subject site was rezoned from an "NU" Non-Urban District to a "PI" Planned Industrial District on February 22<sup>nd</sup>, 2017 to allow for development that would permit approximately 140,000 square feet of office / warehouse on the 10.786 acre area. It is currently governed by Ordinance 2939 which was a result of the rezoning process in 2017. Prior to this, the subject site was incorporated into the City of Chesterfield under an "NU" Non-Urban District in 1965. There are no structures or other improvements on the site.

### **Surrounding Land Use and Zoning**

The land use and zoning for the properties surrounding this parcel are shown in Table 1 and Figure 1.

| Direction | Land Use                | Zoning                            |
|-----------|-------------------------|-----------------------------------|
| North     | Single-family residence | "NU" Non-Urban District           |
| North     | Vacant                  | "M-3" Planned Industrial District |
| East      | Vacant                  | "M-3" Planned Industrial District |
| East      | Church                  | "NU" Non-Urban District           |
| South     | Church access driveway  | "NU" Non-Urban District           |
| West      | Vacant                  | City of Wildwood                  |

Table 1



Figure 1

**Request**

City of Chesterfield Ordinance 2939 requires that a Site Development Concept Plan or Site Development Plan be submitted to the City within eighteen (18) months of the date of approval of the change of zoning. However, where due cause is shown by the developer, the time interval may be extended by the City Council for eighteen (18) months. Failure to comply with the established time limits will result in a new Public Hearing to be held at the time of the plan submittal. The applicant has requested the maximum extension permitted by Ordinance 2939. As previously stated, this is the first eighteen (18) month extension.

A copy of the request letter from the applicant is attached to this report. Staff has reviewed the request and recommends approval of an eighteen (18) month time extension to accommodate the time needed to secure a buyer. If approved, this extension would expire on February 22, 2020.

**STOCK & ASSOCIATES**  
**Consulting Engineers, Inc.**

July 25, 2018

City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017-0760

Attention: Joseph M. Knight, Project Planner

Re: 150 N. Eatherton Road, Zoning Ordinance 2939

**PROJECT EXTENSION REQUEST**

Mike, in response to your July 20, 2018 email, we respectfully request an eighteen (18) month extension for the submission of the Site Development Concept Plan and Site Development Section Plan for 150 N. Eatherton Road, in accordance with Ordinance 2939. The Developer's original tenant for the building did not go forward. As a result, the Developer continues to market the property and do not have a user for which to submit the Site Development Concept Plan or Site Development Section Plan.

Sincerely,



George M. Stock, P.E., President

CC: Casey Urkevich – 150 N. Eatherton Road, LLC  
Tom Kaiman – 150 N. Eatherton Road, LLC

# City Council Memorandum

## Department of Planning & Development Services



**To:** Michael O. Geisel, City Administrator

**From:** Justin Wyse, Director of Planning and Development Services

**Date:** August 13, 2018

**CC Date:** August 20, 2018

**RE:** **FSP 55-2018 ExteNet Systems, Inc. (N. Spirit Drive):** A request for a new Facilities Siting Permit to install a new wireless telecommunications facility located along North Spirit Drive on property addressed as 17839 Chesterfield Airport Road. (Ward 4)

ExteNet Systems, Inc. has submitted a Facilities Siting Permit (FSP) application to install a new wireless telecommunications facility along North Spirit Drive on a parcel addressed as 17839 Chesterfield Airport Road, as shown in the aerial image below. The installation will be located within an existing utility easement as depicted on the property survey provided by the applicant.

The proposed installation consists of a standard wood utility pole to be purchased from and installed by Ameren. Equipment and antennas will be mounted on the pole. The pole with the antenna mounted on top will total 32'6" in height.

Article 6 of the Unified Development Code was amended in early 2018 to comply with a new State law that severely limited the ability of Missouri municipalities to regulate wireless communication facilities. The proposed installation is compliant with the requirements of Article 6 of the Unified Development Code and State Law.

This petition was reviewed by the Planning and Public Works Committee on August 9, 2018. The Committee approved a motion to forward this item to City Council with a recommendation for approval by a vote of 4-0.

Attached to this report, please find additional information regarding the proposed installation. In accordance with Article 6 of the Unified Development Code, final approval of the installation must be granted by the City Council.

Attachments: Informational Packet



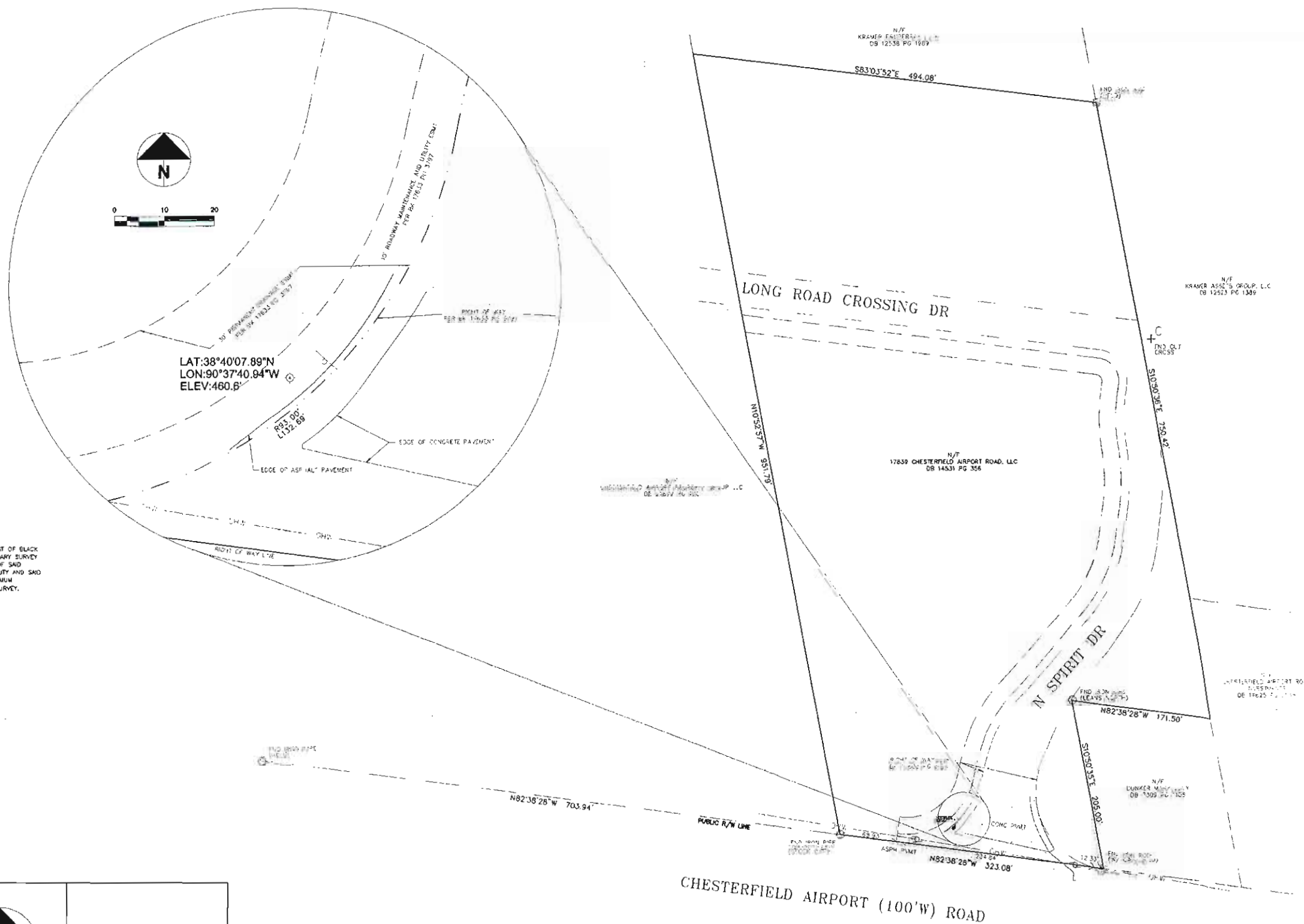
(C) COMMUNICATION UTILITY VAULT  
 (U) UTILITY POLE  
 (E) ELECTRIC UTILITY VAULT  
 (W) WATER METER  
 → GUY WIRE  
 (A) PROPOSED LOCATION

————— OVERHEAD WIRE  
 — [ ] — FENCE

A TRACT OF LAND BEING PART OF LOT 1 OF THE SUBDIVISION OF  
SPENCER TYLER ESTATES AS RECORDED IN DEED BOOK 7 PAGE  
25, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI



**PREMIER**  
ENGINEERING ARCHITECTURE SURVEYING  
308 TCW COURT, LAKE SAINT LOUIS, MO 63367



NOTES:

ADDRESS: 17039 CHESTERFIELD AIRPORT RD, CHESTERFIELD, MO

BEARINGS SHOWN HEREON ARE REFERENCED TO GRID NORTH OF THE MISSOURI STATE PLANE COORDINATE SYSTEM (MAD83), EAST ZONE

REMARK: ELEVATION WAS ESTABLISHED USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S VRS, RTK SYSTEM AND IS REFERENCED TO THE NAVD83 DATUM

THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE (EXISTING UTILITY MAPS, ADVERSE/NOBIL OBSERVATIONS AND /OR SURFACE MARKINGS PLACED ON THE GROUND BY THE UTILITY COMPANY OR A REPRESENTATIVE THEREOF). THIS COMPANY HAS MADE NO ATTEMPT TO EXCAVATE OR GO BELOW PLACED TO LOCATE UTILITIES AND DOES NOT EXTEND OR IMPLY A WARRANTY OR WARRANTY AS TO THE EXACT LOCATION OR COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO EXCAVATION OR DISTURBANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MISSOURI DEPARTMENT OF TRANSPORTATION AND THE MISSOURI DEPARTMENT OF REVENUE.

**SURVEYORS CERTIFICATION:**

THIS IS TO CERTIFY THAT PREMIER CIVIL ENGINEERING, AT THE REQUEST OF BLACK & VEATCH, DURING THE MONTH OF JULY, 2018, PERFORMED A BOUNDARY SURVEY OF THE ABOVE PLOTTED TRACT AND THE FACTS FOUND AT THE TIME OF SAID SURVEY ARE SHOWN HEREON TO THE BEST OF MY PROFESSIONAL ABILITY AND SAID SURVEY WAS EXECUTED IN ACCORDANCE WITH CURRENT MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS OF THE TYPE "URBAN" SURVEY.

DAVID MAXWELL P. 0072  
PREMIER CIVIL ENGINEERING  
DATE: 7-1-16



SCALE

0 60 120



This Survey has been prepared solely for the benefit of the parties aforesaid in this Surveyors Certification and may not be quoted or relied upon by, nor may copies be desired to any other party or used for any other purpose including, but not limited to, the preparation of zoning reports or any other kind of report, without the prior written consent of Premier Civil Engineering. Premier Civil Engineering expressly disclaims any duty or obligation towards any party that is not identified in this Surveyors Certification.

Please be advised that Premier Civil Engineering will not include the providers of any third party reports in the Summers Certification.

RECEIVED  
JUL 19 2018  
City of Chesterfield  
Department of Public Services

SPRINT D 10  
BLACK AND VEATCH  
CHESTERFIELD AIRPORT ROAD  
BLACK AND VEATCH CORPORATION  
0950 GRANDVIEW DRIVE  
OVERLAND PARK, KS 66210

DATE 07/18/2018

\_\_\_\_\_

221 |  HANSER DATE

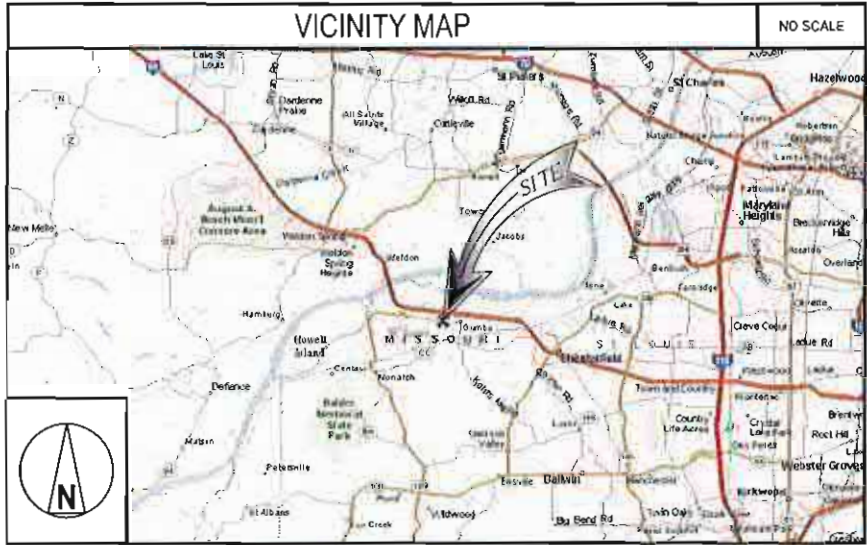
v1

|             |             |
|-------------|-------------|
| PROJECT NO. | 1805001     |
| DRAWN BY    | D. SHATTUCK |
| CHECKED BY  | D. MAXYEU   |

FINAL SURVEY

NC-MO-STLOUIS-00050-N  
ST90XS D10

(PROW)  
ADJACENT TO 17891 CHESTERFIELD  
AIRPORT RD. ON N SPIRIT DR.  
CHESTERFIELD, MO 63005



BENCHMARK LOCATION

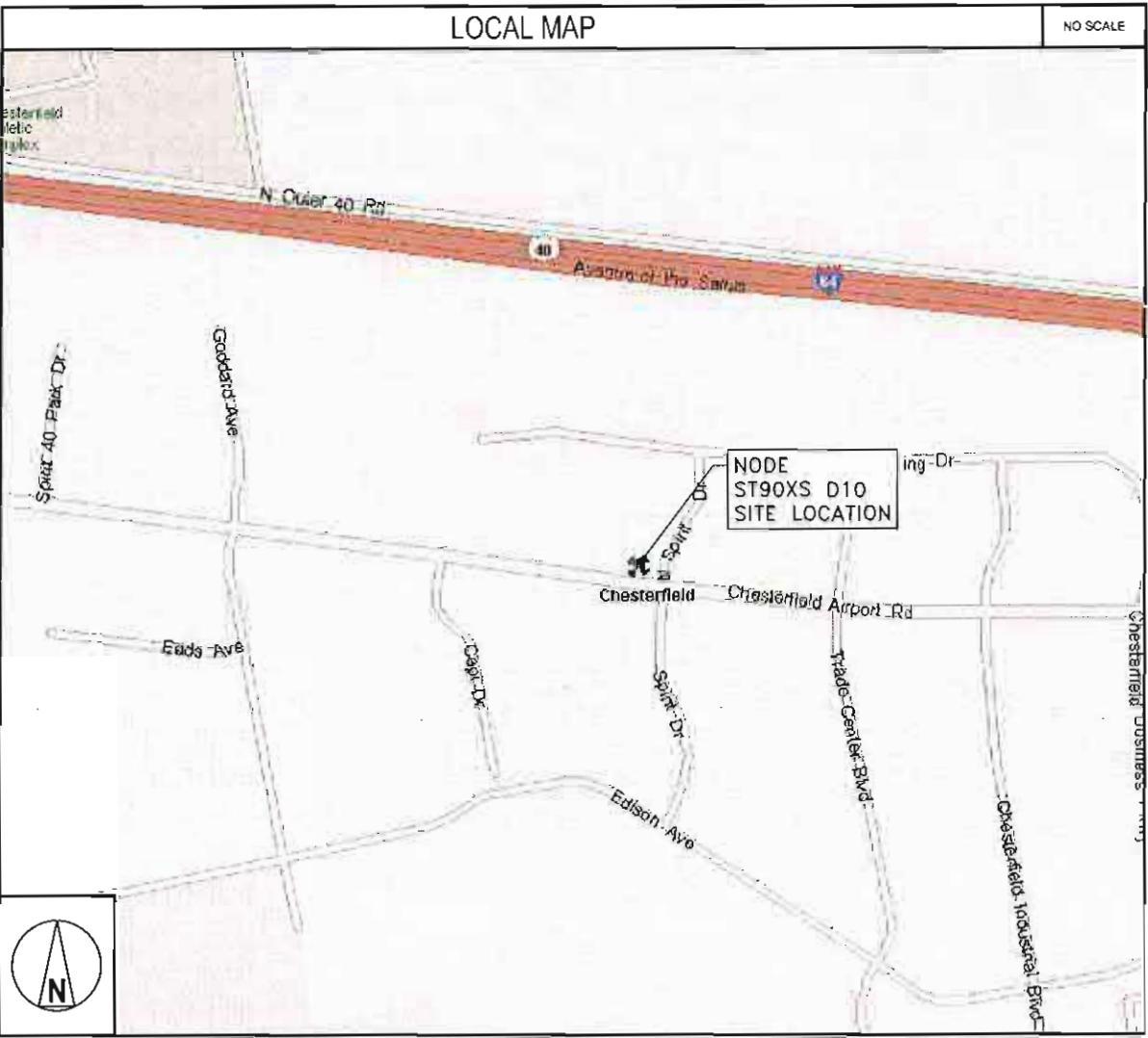
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SHEET INDEX

| SHEET NO: | SHEET TITLE                       |
|-----------|-----------------------------------|
| T-1       | TITLE SHEET                       |
| GN-1      | GENERAL NOTES AND TYPICAL DESIGN  |
| GN-2      | GENERAL NOTES                     |
| GN-3      | GENERAL NOTES                     |
| A-1       | OVERALL SITE PLAN                 |
| A-2       | POLE ELEVATIONS AND RISER DETAILS |
| O-1       | EQUIPMENT DETAILS                 |
| O-2       | EQUIPMENT DETAILS                 |
| E-1       | ELECTRICAL AND GROUNDING DETAILS  |
| OSP-1     | OSP                               |

IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



PROJECT INFORMATION

| POLE OWNER                                                                                                                                | APPLICANT                                                                                                                                 | CONSTRUCTION                         | TELCO / BACKHAUL                     |
|-------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|--------------------------------------|
| COMPANY: EXTENET SYSTEMS, INC.<br>ADDRESS: 3030 WARRENVILLE RD. SUITE 340 Lisle, IL 60532<br>PHONE: (630) 505-3800<br>FAX: (630) 577-1332 | COMPANY: EXTENET SYSTEMS, INC.<br>ADDRESS: 3030 WARRENVILLE RD. SUITE 340 Lisle, IL 60532<br>PHONE: (630) 505-3800<br>FAX: (630) 577-1332 | COMPANY: -<br>CONTACT: -<br>PHONE: - | COMPANY: -<br>CONTACT: -<br>PHONE: - |

| PROJECT MANAGER                                                                                                         | REGIONAL DIRECTOR                                                                              | PROJECT DATA                                                                                                                                                                                                                                                                                                                                                              |
|-------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| COMPANY: EXTENET SYSTEMS, INC.<br>CONTACT: DALE DISHMAN<br>PHONE: (316) 640-8801<br>E-MAIL: DDISHMAN@EXTENETSYSTEMS.COM | COMPANY: EXTENET SYSTEMS, INC.<br>CONTACT: KENNETH KORTE<br>PHONE: (630) 245-2108<br>E-MAIL: - | LATITUDE: 38.66889<br>LONGITUDE: -90.62805<br>POLE #: N/A<br>ELEVATION: -<br>ZONING JURISDICTION: CITY OF CHESTERFIELD<br>ZONING DISTRICT: PUBLIC RIGHT-OF-WAY (ROW)<br>A.P.N.: -<br>OCCUPANCY: U, UNMANNED<br>CONSTRUCTION TYPE: ATTACHMENTS TO A WOOD UTILITY POLE<br>TITLE 24 REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. THIS PROJECT IS EXEMPT. |

| DESIGNER                                                                                                    | ENGINEER                                                                                                 |
|-------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------|
| COMPANY: BLACK & VEATCH CORP.<br>CONTACT: LAUREN WALKER<br>PHONE: (952) 896-0855<br>E-MAIL: WALKERL2@BV.COM | COMPANY: BLACK & VEATCH CORP.<br>CONTACT: AARON EVANS<br>PHONE: (952) 896-0751<br>E-MAIL: EVANSRA@BV.COM |

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- IBC-2012
- MISSOURI ADMINISTRATIVE REGULATIONS
- ANSI-EIA-222-G LIFE SAFETY CODE NFPA
- BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA)
- MISSOURI ELECTRICAL CODE NEC-2014
- INTERNATIONAL MECHANICAL CODE (IMC) 2009
- INTERNATIONAL PLUMBING CODE (IMC) 2012
- CITY AND/OR COUNTY ORDINANCES
- 2012 INTERNATIONAL FIRE CODE

PROJECT DESCRIPTION

THESE DRAWINGS DEPICT A PORTION OF A DISTRIBUTED ANTENNA SYSTEM (DAS) TELECOMMUNICATIONS NETWORK, TO BE CONSTRUCTED, OWNED AND OPERATED BY EXTENET SYSTEMS, IN THE PUBLIC RIGHT-OF-WAY/PUBLIC UTILITY EASEMENT PURSUANT TO AUTHORITY GRANTED BY THE MISSOURI PUBLIC UTILITIES COMMISSION.

THE MAIN COMPONENTS OF THIS INSTALLATION ARE:

- (1) OMNI ANTENNA
- (1) RF FILTER
- (1) UE RELAY (WHERE REQUIRED)
- (1) MICROWAVE ANTENNA (WHERE REQUIRED)
- (1) RADIO UNIT
- (1) A/C POWER UNIT
- ASSOCIATED ELECTRICAL COMPONENTS AND MOUNTING BRACKETS AS REQUIRED, LOCATED ON A WOOD POLE.

GENERAL PROJECT NOTES

- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
- CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL FIELD MODIFICATIONS BEFORE, DURING OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A EXTENET WIRELESS REPRESENTATIVE.
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS INDICATED OTHERWISE.
- NOTIFY EXTENET WIRELESS, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A EXTENET WIRELESS REPRESENTATIVE, AND ADJUSTING THE BID ACCORDINGLY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A EXTENET WIRELESS REPRESENTATIVE.
- CONTRACTOR PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY EXTENET WIRELESS, THE CONTRACTOR SHALL PROVIDE EXTENET WIRELESS WITH ONE COPY OF ALL RED-LINED DRAWINGS.
- VERIFY ALL FINAL EQUIPMENT WITH A EXTENET WIRELESS REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY EXTENET WIRELESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

MISSOURI ONE CALL SYSTEM ALWAYS CALL BEFORE YOU DIG

UNDERGROUND SERVICE ALERT 811 or 1-800-344-7483 48 HOURS BEFORE YOU DIG

811 Know what's below. Call before you dig.

extenet<sup>®</sup> mConnectivity SYSTEMS Everywhere

**BLACK & VEATCH**

BLACK & VEATCH CORPORATION  
7760 FRANCE AVENUE SOUTH  
SUITE 1200  
BLOOMINGTON, MN 55435

THESE DRAWINGS ARE COPYRIGHTED AND ARE THE PROPERTY OF BLACK & VEATCH. PRODUCED SOLELY FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DRAWINGS IS PROHIBITED WITHOUT WRITTEN CONSENT BY BLACK & VEATCH.

| PROJECT NO. | DRAWN BY | CHECKED BY |
|-------------|----------|------------|
| 196954.2113 | YJC      | LW         |

Murphy, Taylor

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 0   | 06/25/18 | ISSUED FOR CONSTRUCTION |

STATE OF MISSOURI  
TAYLOR MURPHY  
NUMBER PE-2015000582  
06/28/2018  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N  
SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
TITLE SHEET

SHEET NUMBER  
**T-1**



EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY, COUNTY AND STATE "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCP).
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURE, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURE AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IN ANY, ENGINEER OF WORK, OWNER/DEVELOPER, THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURE AND OTHER RELATED CONSTRUCTION ACTIVITIES.

SPECIAL NOTES

INDEMNIFICATION CLAUSE

- THE CONTRACTOR AGREES AND SHALL:
1. ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THAT THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNIFY AND HOLD EXTENET, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
  2. PRIOR TO THE BEGINNING OF ANY CONSTRUCTION AND THROUGHOUT THE COURSE OF CONSTRUCTION WORK, THE CONTRACTOR SHALL FULLY COMPLY WITH "MISSOURI OCCUPATIONAL SAFETY AND HEALTH" ACT OF 1973 INCLUDING ALL REVISIONS AND AMENDMENTS THERETO.
  3. ALL WORK SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS ADOPTED BY THE CITY, COUNTY OR STATE AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.
  4. THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER AGENCY'S FACILITIES AS SHOWN HEREON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. THE CONTRACTOR SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION AND SHALL USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY OR AGENCY FACILITIES WITHIN THE LIMITS OF WORK, WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
  5. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT, AT LEAST TWO DAYS BEFORE START OF ANY WORK REQUIRING THEIR INVOLVEMENT.
  6. THE CITY, COUNTY OR STATE SHALL SPECIFY THE EXPIRATION PERIOD OF THE PERMIT FOR THIS CONSTRUCTION PROJECT.
  7. THE MINIMUM COVER FOR ALL CONDUITS PLACED UNDERGROUND SHALL BE 36 INCHES TO THE FINISHED GRADE AT ALL TIMES.
  8. THE CONTRACTOR SHALL TUNNEL ALL CURB AND GUTTER AND BORE ALL CONCRETE DRIVEWAY AND ALWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER.
  9. ALL A.C. AND/OR CONCRETE PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEERS.
  10. ALL SHRUBS, PLANTS OR TREES THAT HAVE BEEN DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, SHALL BE REPLACED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
  11. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROCESSING OF ALL APPLICANT PERMIT FORMS ALONG WITH THE REQUIRED LIABILITY INSURANCE FORMS. CLEARLY DEMONSTRATING THAT EXTENET, THE CITY, COUNTY OR STATE IS ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE FOR THIS CONSTRUCTION PROJECT.
  12. VAULTS, PEDESTALS, CONDUITS AND OTHER TYPES OF SUBSTRUCTURE ARE EITHER SPECIFIED ON THIS PLAN OR WILL BE SPECIFIED BY THE CONSTRUCTION ENGINEER, IN WRITING, BEFORE INSTALLATION THEREOF.
  13. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES INCLUDING SEWER LATERALS AND WATER SERVICES TO INDIVIDUAL LOTS BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENT OPERATIONS.

14. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATION AND LOCATE EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISION TO PLANS IF REVISION IS NECESSARY BECAUSE OF LOCATION OF EXISTING UTILITIES.
15. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE, WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTALLY AND VERTICALLY. PRIOR TO CONSTRUCTION, IF EXISTING LOCATIONS VARY SUBSTANTIALLY FROM THE PLANS, THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT.
2. IMPORTANT NOTICE: CALL MISSOURI ONE CALL SYSTEM 811/1-800-DIG-RITE, AT LEAST THREE DAY BEFORE YOU DIG.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POT HOLE AND LOCATING FOR ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN A 1' MINIMUM VERTICAL CLEARANCE.
4. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
5. MANHOLES OR COVERS SHALL BE LABELED EXTENET.

R.O.W. GROUND CONSTRUCTION NOTES

1. 120/240 POWER REQUIRED FOR 3-WIRE SERVICE.
2. GC TO REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES, OR NON-USED VERTICALS OFF THE POLE.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
4. CALL 811, 72 HOURS PRIOR TO EXCAVATING AT (800) 344-7483.
5. ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
6. ALL EQUIPMENT TO BE BONDED.
7. METERING CABINET REQUIRES 3' CLEARANCE AT DOOR OPENING.
8. CAULK CABINET BASE AT PAD.

STANDARD GROUNDING NOTES

1. GROUND TESTED AT 5 OHMS OR LESS.
2. 5/8"x8' ROD. CAD WELD BELOW GRADE.
3. #6 GROUND AND BOND WIRE.
4. WOOD MOLDING, STAPLED EVERY 3' AND AT EACH END.
5. GROUNDS 3' FROM POLE.
6. PLACE 3 #10GA WIRES FROM BREAKER TO METER BOX.

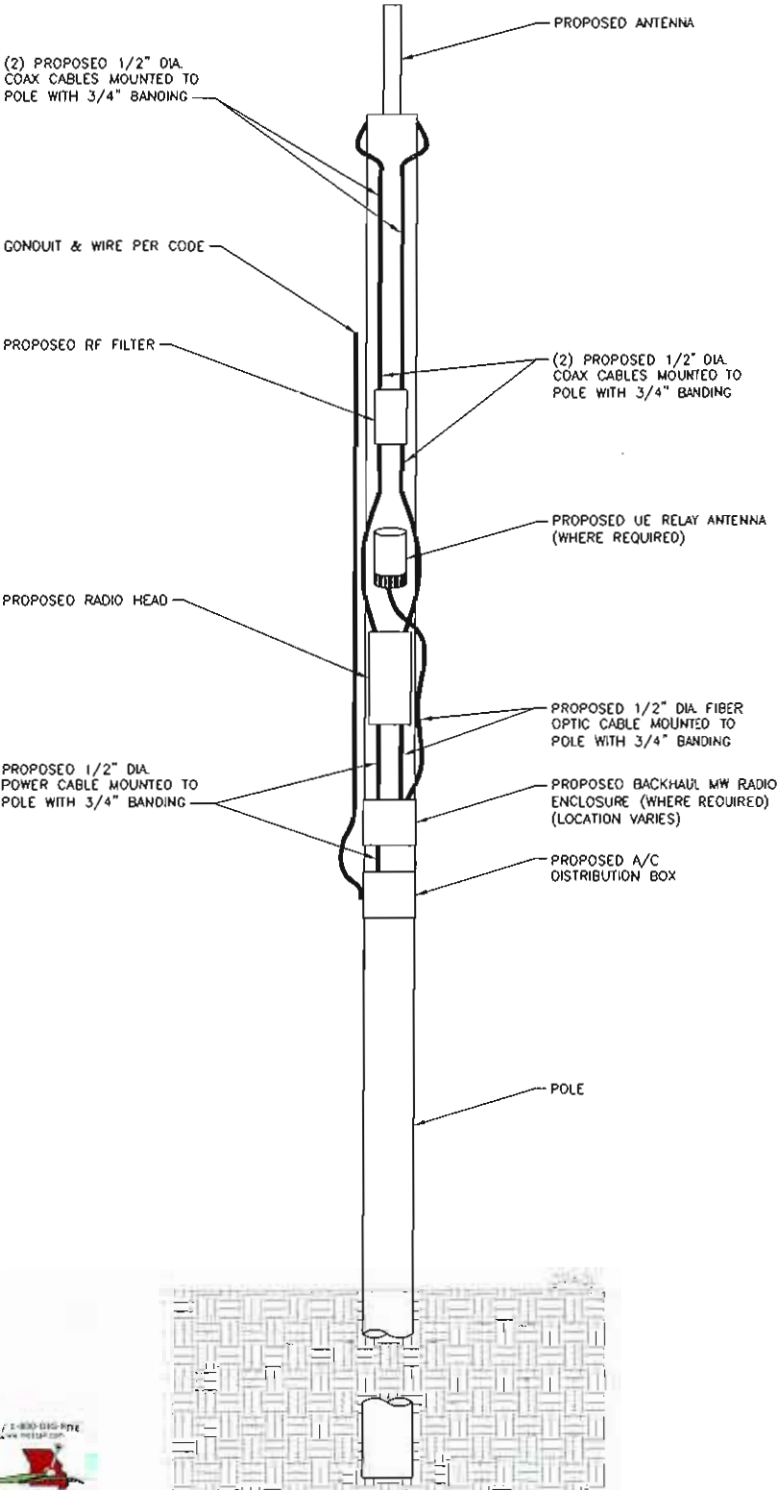
STANDARD CONDUIT NOTES

1. FOR UNDERGROUND USE SCHEDULE 40.
2. FOR RISERS USE SCHEDULE 80.
3. PLACE 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3". STUB UP 10' THEN CONVERT TO SCHEDULE 80.
4. CONVERT 4" CARRIER CONDUIT TO 3" AT BASE OF POLE.
5. GC TO STUB UP POLE 10" W/3" POWER CONDUIT. POWER CO. TO CONVERT FROM 3" SCH. 80 TO 2" SCH. 80 FROM TOP OF STUB UP.
6. ALL CONDUIT WILL BE MAN DRILLED AND EQUIPPED WITH 3/8" PULL ROPE.

STANDARD TRENCHING NOTES

1. MAINTAIN 40" MINIMUM COVER FOR ELECTRICAL CONDUIT.
2. MAINTAIN 30" MINIMUM COVER FOR COMMUNICATIONS CONDUIT.
3. SAND SHADING MINIMUM 1" UNDER CONDUITS, AND 6" COVERING ON TOP REQUIRED.
4. ALL ELECTRICAL SERVICE CONDUITS FROM POWER COMPANY, WHETHER FROM POLES, TRANSFORMERS, OR OTHER LOCATIONS, WILL BE SLURRY BACKFILLED.
5. IN STREET SLURRY TO GRADE AND MILL DOWN 1-1/2" FOR AC CAP.
6. IN DIRT SLURRY 18" FROM GRADE, AND FILL WITH 95% COMPACTION NATIVE SOIL FOR BALANCE.
7. PLACE WARNING TAPE IN TRENCH 12" ABOVE ALL CONDUITS AND #18 WARNING TAPE ABOVE GROUND RING.

NOTE  
CABLEING DIAGRAM IS FOR CLARITY OF  
CABLE ROUTE AND TERMINATION ONLY.  
CONTRACTOR SHALL INSTALL CABLES  
AND EQUIPMENT WITH MINIMAL VISUAL  
IMPACT ON PROPOSED STRUCTURE. SEE  
ELEVATION DRAWING ON SHEET C-2 FOR  
EQUIPMENT AND ANTENNA LOCATIONS.



**BLACK & VEATCH**

BLACK & VEATCH CORPORATION  
7760 FRANCE AVENUE SOUTH  
SUITE 1200  
BLOOMINGTON, MN 55435

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| 196954.2113 | YJG      | LW         |

| REV | DATE     | DESCRIPTION             |
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| 0   | 06/25/18 | ISSUED FOR CONSTRUCTION |



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N  
  
SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
GENERAL NOTES  
AND TYPICAL DESIGN

SHEET NUMBER  
**GN-1**



1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
  - A. CONTRACTOR: (CONSTRUCTION)
  - B. OWNER - SPRINT
2. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND SPRINT PROJECT SPECIFICATIONS.
3. GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
4. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.
5. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.
6. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
7. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
11. GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.
12. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAD PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
13. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED MATERIALS APPROVED BY LOCAL JURISDICTION. CONTRACTOR SHALL KEEP AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS.
14. WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
15. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
16. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
17. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
18. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
20. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
21. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
22. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.
23. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
24. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.
25. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.

26. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GRADING. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
27. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
28. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
29. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
30. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
31. CONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.
32. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS REQUIRED).
33. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY TECHNICIANS.
34. NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.
35. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION OF SPRINT SPECIFICATIONS. IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.
36. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
37. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
38. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
39. NO WHITE STROBE LIGHTS ARE PERMITTED. LIGHTING IF REQUIRED, WILL MEET FAA STANDARDS AND REQUIREMENTS.
40. ALL CABLE INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

1. DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/TIA-222 OR APPLICABLE LOCAL CODES.
2. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS NOTED OTHERWISE.
3. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS NOTED OTHERWISE.
4. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
5. ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.
6. CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING.
7. PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWNTILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE PLUMB. ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- 5% AS DEFINED BY THE RFOS. ANTENNA DOWNTILTS SHALL BE WITHIN +/- 0.5% AS DEFINED BY THE RFOS.

1. ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH.
2. ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
  - A. RF CONNECTION BOTH SIDES OF THE CONNECTOR.
  - B. GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.
3. ALL 8M ANTENNA HARDWARE SHALL BE TIGHTENED TO 9 LB-FT (12 NM).
4. ALL 12M ANTENNA HARDWARE SHALL BE TIGHTENED TO 43 LB-FT (58 NM).
5. ALL GROUNDING HARDWARE SHALL BE TIGHTENED UNTIL THE LOCK WASHER COLLAPSES AND THE GROUNDING HARDWARE IS NO LONGER LOOSE.
6. ALL DIN TYPE CONNECTIONS SHALL BE TIGHTENED TO 18-22 LB-FT (24.4 - 29.8 NM).
7. ALL N TYPE CONNECTIONS SHALL BE TIGHTENED TO 15-20 LB-IN (1.7 - 2.3 NM).

1. THE FIBER OPTIC TRUNK CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY, WHEN INSTALLING FIBER OPTIC TRUNK CABLES INTO A CABLE TRAY SYSTEM, THEY SHALL BE INSTALLED

2. THE TYPE TC-ER CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY AND SHALL BE SECURED AT INTERVALS NOT EXCEEDING (6) SIX FEET. AN EXCEPTION: WHERE TYPE TC-ER CABLES ARE NOT SUBJECT TO PHYSICAL DAMAGE, CABLES SHALL BE PERMITTED TO MAKE A TRANSITION BETWEEN CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY WHICH ARE SERVING UTILIZATION EQUIPMENT OR DEVICES, A DISTANCE (6) SIX FEET SHALL NOT BE EXCEEDED WITHOUT CONTINUOUS SUPPORTING. NFPA 70 (NEC) ARTICLES 336 AND 392 RULES SHALL APPLY.

3. WHEN INSTALLING OPTIC FIBER TRUNK CABLES OR TYPE TC-ER CABLES INTO CONDUITS, NFPA 70 (NEC) ARTICLE 300 RULES SHALL APPLY.

1. TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.

2. CONTRACTOR SHALL VERIFY THE DOWN-TILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
3. CONTRACTOR SHALL CONFIRM COAX COLOR CODING PRIOR TO CONSTRUCTION.
4. TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.
5. CONTRACTOR SHALL VERIFY THE DOWN-TILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
6. CONTRACTOR SHALL CONFIRM COAX COLOR CODING PRIOR TO CONSTRUCTION. REFER TO "ANTENNA SYSTEM LABELING STANDARD" ND-00D27 LATEST VERSION.
7. ALL COAXIAL CABLE SHALL BE SECURED TO THE DESIGNED SUPPORT STRUCTURE, IN AN APPROVED MANNER, AT DISTANCES NOT TO EXCEED 4'-0" OC.
8. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS REGARDING BOTH THE INSTALLATION AND GROUNDING OF ALL COAXIAL CABLES, CONNECTORS, ANTENNAS, AND ALL OTHER EQUIPMENT.
9. CONTRACTOR SHALL WEATHERPROOF ALL ANTENNA CONNECTORS WITH SELF AMALGAMATING TAPE. WEATHERPROOFING SHALL BE COMPLETED IN STRICT ACCORDANCE WITH SPRINT STANDARDS.

1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ANTENNA, TMAS, DPLEXERS, AND COAX CONFIGURATION, MAKE AND MODELS PRIOR TO INSTALLATION.
2. ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
3. CONTRACTOR SHALL REFERENCE THE STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.
4. ALL OUTDOOR RF CONNECTORS/CONNECTIONS SHALL BE WEATHERPROOFED, EXCEPT THE RET CONNECTORS, USING BUTYL TAPE AFTER INSTALLATION AND FINAL CONNECTIONS ARE MADE. BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN AND EACH LAYER SHALL BE WRAPPED THREE TIMES. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING. BUTYL BLEEDING IS NOT ALLOWED.
5. IF REQUIRED TO PAINT ANTENNAS AND/OR COAX:
  - A. TEMPERATURE SHALL BE ABOVE 50° F.
  - B. PAINT COLOR MUST BE APPROVED BY BUILDING OWNER/LANDLORD.
  - C. FOR REGULATED TOWERS, FAA/FCC APPROVED PAINT IS REQUIRED.
  - D. DO NOT PAINT OVER COLOR CODING OR ON EQUIPMENT MODEL NUMBERS.
6. ALL PROPOSED GROUND BAR DOWNLEADS ARE TO BE TERMINATED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4'-0" BELOW GROUND BAR. TERMINATIONS MAY BE EXOTHERMIC OR COMPRESSION.
7. ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.

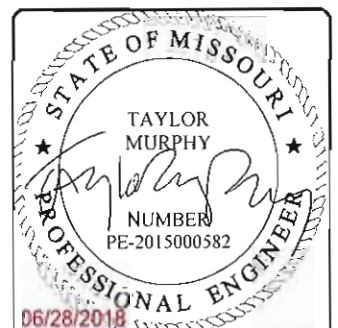
1. NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2" [.038M].
2. FILL ALL HOLES LEFT IN POLE FROM REARRANGEMENT OF CLIMBERS.
3. ALL CLIMB STEPS NEXT TO CONDUIT SHALL HAVE EXTENDED STEPS.
4. CABLE NOT TO IMPEDE 15" [.381M] CLEAR SPACE OFF POLE FACE (12:00).
5. 90 SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).
6. USE 90 CONNECTOR AT CABLE CONNECTION TO ANTENNAS.
7. PLACE GPS ON ARM WITH SOUTHERN SKY EXPOSURE AT MINIMUM 6' [1.83] FROM TRANSMIT ANTENNA, WHICH IS 24" [.61M] AWAY FROM CENTER OF POLE.
8. USE 1/2" [.013M] CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
9. FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.



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EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N  
SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
GENERAL NOTES

SHEET NUMBER  
**GN-2**



## PART 1 - GENERAL

### 1.1 GENERAL CONDITIONS:

- CONTRACTOR SHALL INSPECT THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN RECORDS TO THE CONTRACTORS FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION. NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- THE CONTRACTOR SHALL OBTAIN PERMITS, LICENSES, MAKE ALL DEPOSITS, AND PAY ALL FEES REQUIRED FOR THE CONSTRUCTION PERFORMANCE FOR THE WORK UNDER THIS SECTION.
- DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL SYSTEMS AND COMPONENTS COVERED UNDER THIS SECTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. DRAWING SHALL NOT BE SCALED TO DETERMINE DIMENSIONS.

### 1.2 LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES:

- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, AND ALL APPLICABLE LOCAL LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES. CONDUIT BENDS SHALL BE THE RADIUS BEND FOR THE TRADE SIZE OF CONDUIT IN COMPLIANCE WITH THE LATEST EDITIONS OF NEC.

### 1.3 REFERENCES:

- THE PUBLICATIONS LISTED BELOW ARE PART OF THIS SPECIFICATION. EACH PUBLICATION SHALL BE THE LATEST REVISION AND ADDENDUM IN EFFECT ON THE DATE THIS SPECIFICATION IS ISSUED FOR CONSTRUCTION UNLESS OTHERWISE NOTED. EXCEPT AS MODIFIED BY THE REQUIREMENT SPECIFIED HEREIN OR THE DETAILS OF THE DRAWINGS, WORK INCLUDED IN THIS SPECIFICATION SHALL CONFORM TO THE APPLICABLE PROVISION OF THESE PUBLICATIONS.

- ANSI/IEEE (AMERICAN NATIONAL STANDARDS INSTITUTE)
- ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS)
- ICE (INSULATED CABLE ENGINEERS ASSOCIATION)
- NEMA (NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION)
- NFPA (NATIONAL FIRE PROTECTION ASSOCIATION)
- OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION)
- UL (UNDERWRITERS LABORATORIES, INC.)

### 1.4 SCOPE OF WORK:

- WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL, AND ASSOCIATED SERVICES REQUIRED TO COMPLETE REQUIRED CONSTRUCTION AND BE OPERATIONAL.
- ALL ELECTRICAL EQUIPMENT UNDER THIS CONTRACT SHALL BE PROPERLY TESTED, ADJUSTED, AND ALIGNED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATING, DRAINING, TRENCHES, BACKFILLING, AND REMOVAL OF EXCESS DIRT.
- THE CONTRACTOR SHALL FURNISH TO THE OWNER WITH CERTIFICATES OF A FINAL INSPECTION AND APPROVAL FROM THE INSPECTION AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PREPARE A COMPLETE SET OF AS-BUILT DRAWINGS, DOCUMENT ALL WIRING EQUIPMENT CONDITIONS, AND CHANGES WHILE COMPLETING THIS CONTRACT. THE AS-BUILT DRAWINGS SHALL BE SUBMITTED AT COMPLETION OF THE PROJECT.

## PART 2 - PRODUCTS

### 2.1 GENERAL:

- ALL MATERIALS AND EQUIPMENT SHALL BE UL LISTED, NEW, AND FREE FROM DEFECTS.
- ALL ITEMS OF MATERIALS AND EQUIPMENT SHALL BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION AS SUITABLE FOR THE USE INTENDED.
- ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 10,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PER THE GOVERNING JURISDICTION.

### 2.2 MATERIALS AND EQUIPMENT:

#### A. CONDUIT:

- RIGID METAL CONDUIT (RMC) SHALL BE HOT-DIPPED GALVANIZED INSIDE AND OUTSIDE INCLUDING ENDS AND THREADS AND ENAMELED OR LACQUERED INSIDE IN ADDITION TO GALVANIZING.
- LIQUIDTIGHT FLEXIBLE METAL CONDUIT SHALL BE UL LISTED.
- CONDUIT CLAMPS, STRAPS AND SUPPORTS SHALL BE STEEL OR MALLEABLE IRON. ALL FITTINGS SHALL BE COMPRESSION AND CONCRETE TIGHT TYPE. GROUNDING BUSHINGS WITH INSULATED THROATS SHALL BE INSTALLED ON ALL CONDUIT TERMINATIONS.
- NONMETALLIC CONDUIT AND FITTINGS SHALL BE SCHEDULE 40/80 PVC. INSTALL USING SOLVENT-CEMENT-TYPE JOINTS AS RECOMMENDED BY THE MANUFACTURER.

#### B. CONDUCTORS AND CABLE:

- AC CONDUCTORS SHALL BE FLAME-RETARDANT, MOISTURE AND HEAT RESISTANT THERMOPLASTIC, SINGLE CONDUCTOR, COPPER, TYPE THHN/THWN-2, 600 VOLT, SIZE AS INDICATED, #12 AWG SHALL BE THE MINIMUM SIZE CONDUCTOR USED.
- #10 AWG AND SMALLER CONDUCTOR SHALL BE SOLID OR STRANDED AND #8 AWG AND LARGER CONDUCTORS SHALL BE STRANDED.
- SOLDERLESS, COMPRESSION-TYPE CONNECTORS SHALL BE USED FOR TERMINATION OF ALL STRANDED CONDUCTORS.
- STRAIN-RELIEF SUPPORTS GRIPS SHALL BE HUBBELL KELLEMS OR APPROVED EQUAL. CABLES SHALL BE SUPPORTED IN ACCORDANCE WITH THE NEC AND CABLE MANUFACTURER'S RECOMMENDATIONS.
- ALL CONDUCTORS SHALL BE TAGGED AT BOTH ENDS OF THE CONDUCTOR. AT ALL PULL BOXES, J-BOXES, EQUIPMENT AND CABINETS AND SHALL BE IDENTIFIED WITH APPROVED PLASTIC TAGS (ACTION CRAFT, BRADY, OR APPROVED EQUAL).

#### C. DISCONNECT SWITCHES:

- DISCONNECT SWITCHES SHALL BE HEAVY DUTY, DEAD-FRONT, QUICK-MAKE, QUICK-BREAK, EXTERNALLY OPERABLE, HANDLE LOCKABLE AND INTERLOCK WITH COVER IN CLOSED POSITION, RATING AS INDICATED, UL LABELED FURNISHED IN NEMA 3R ENCLOSURE, SQUARE-D OR

ENGINEERED APPROVED EQUAL.

### E. SYSTEM GROUNDING:

- ALL GROUNDING COMPONENTS SHALL BE TINNED AND GROUNDING CONDUCTOR SHALL BE #2 AWG BARE, SOLID, TINNED, COPPER. ABOVE GRADE GROUNDING CONDUCTORS SHALL BE INSULATED WHERE NOTED.
- GROUNDING BUSES SHALL BE BARE, TINNED, ANNEALED COPPER BARS OF RECTANGULAR CROSS SECTION. STANDARD BUS BARS MGB, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THEY SHALL NOT BE FABRICATED OR MODIFIED IN THE FIELD. ALL GROUNDING BUSES SHALL BE IDENTIFIED WITH MINIMUM 3/4" LETTERS BY WAY OF STENCILING OR DESIGNATION PLATE.
- CONNECTORS SHALL BE HIGH-CONDUCTIVITY, HEAVY DUTY, LISTED AND LABELED AS GROUNDING CONNECTORS FOR THE MATERIALS USED. USE TWO-HOLE COMPRESSION LUGS WITH HEAT SHRINK FOR MECHANICAL CONNECTIONS. INTERIOR CONNECTIONS USE TWO-HOLE COMPRESSION LUGS WITH INSPECTION WINDOW AND CLEAR HEAT SHRINK.
- EXOTHERMIC WELDED CONNECTIONS SHALL BE PROVIDED IN KIT FORM AND SELECTED FOR THE SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND OTHER ITEMS TO BE CONNECTED.
- GROUND RODS SHALL BE ERICO #615800, COPPER-CLAD STEEL WITH HIGH-STRENGTH STEEL CORE AND ELECTROLYTIC-GRADE COPPER OUTER SHEATH, MOLDED WELDED TO CORE, 5/8"x10'-0".
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS IN COMPLIANCE WITH THE SPRINT SPECIFICATIONS AND NEC. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULLBOXES, DISCONNECT SWITCHES, STARTERS, AND EQUIPMENT CABINETS.

### F. OTHER MATERIALS:

- THE CONTRACTOR SHALL PROVIDE OTHER MATERIALS, THOUGH NOT SPECIFICALLY DESCRIBED, WHICH ARE REQUIRED FOR A COMPLETELY OPERATIONAL SYSTEM AND PROPER INSTALLATION OF THE WORK.
- PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR REQUIRED BY NEC.

### G. PANELS AND LOAD CENTERS:

- ALL PANEL DIRECTORIES SHALL BE TYPEWRITTEN.

## PART 3 - EXECUTION

### 3.1 GENERAL:

- ALL MATERIAL AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- EQUIPMENT SHALL BE TIGHTLY COVERED AND PROTECTED AGAINST DIRT OR WATER, AND AGAINST CHEMICAL OR MECHANICAL INJURY DURING INSTALLATION AND CONSTRUCTION PERIODS.

### 3.2 LABOR AND WORKMANSHIP:

- ALL LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED FOR THE ELECTRICAL SYSTEM SHALL BE INSTALLED BY EXPERIENCED WIREMEN, IN A NEAT AND WORKMAN-LIKE MANNER.
- ALL ELECTRICAL EQUIPMENT SHALL BE ADJUSTED, ALIGNED AND TESTED BY THE CONTRACTOR AS REQUIRED TO PRODUCE THE INTENDED PERFORMANCE.
- UPON COMPLETION OF WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL EXPOSED EQUIPMENT, REMOVE ALL LABELS AND ANY DEBRIS, CRATING OR CARTONS AND LEAVE THE INSTALLATION FINISHED AND READY FOR OPERATION.

### 3.3 COORDINATION:

- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRICAL ITEMS WITH THE OWNER-FURNISHED EQUIPMENT DELIVERY SCHEDULE TO PREVENT UNNECESSARY DELAYS IN THE TOTAL WORK.

### 3.4 INSTALLATION:

#### A. CONDUIT:

- ALL ELECTRICAL WIRING SHALL BE INSTALLED IN CONDUIT AS SPECIFIED. NO CONDUIT OR TUBING OF LESS THAN 3/4" INCH TRADE SIZE.
- PROVIDE RIGID PVC SCHEDULE 80 CONDUITS FOR ALL RISERS, RMG OTHERWISE NOTED. EMT MAY BE INSTALLED FOR EXTERIOR CONDUITS WHERE NOT SUBJECT TO PHYSICAL DAMAGE.
- INSTALL SCH. 40 PVC CONDUIT WITH A MINIMUM COVER OF 24" UNDER ROADWAYS, PARKING LOTS, STREETS, AND ALLEYS. CONDUIT SHALL HAVE A MINIMUM COVER OF 18" IN ALL OTHER NON-TRAFFIC APPLICATIONS (REFER TO 2008 NEC, TABLE 300.5).
- USE GALVANIZED FLEXIBLE STEEL CONDUIT WHERE DIRECT CONNECTION TO EQUIPMENT WITH MOVEMENT, VIBRATION, OR FOR EASE OF MAINTENANCE. USE LIQUID TIGHT FLEXIBLE METAL CONDUIT FOR OUTDOOR APPLICATIONS. INSTALL GALVANIZED FLEXIBLE STEEL CONDUIT AT ALL POINTS OF CONNECTION TO EQUIPMENT MOUNTED ON SUPPORT TO ALLOW FOR EXPANSION AND CONTRACTION.
- A RUN OF CONDUIT BETWEEN BOXES OR EQUIPMENT SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF THREE QUARTER-BENDS. CONDUIT BEND SHALL BE MADE WITH THE UL LISTED BENDER OR FACTORY 90 DEGREE ELBOWS MAY BE USED.
- FIELD FABRICATED CONDUITS SHALL BE CUT SQUARE WITH A CONDUIT CUTTING TOOL AND REAMED TO PROVIDE A SMOOTH INSIDE SURFACE.
- PROVIDE INSULATED GROUNDING BUSHING FOR ALL CONDUITS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL CONDUITS DURING CONSTRUCTION. TEMPORARY OPENINGS IN THE CONDUIT SYSTEM SHALL BE PLUGGED OR CAPPED TO PREVENT ENTRANCE OF MOISTURE OR FOREIGN MATTER. CONTRACTOR SHALL REPLACE ANY CONDUITS CONTAINING FOREIGN MATERIALS THAT CANNOT BE REMOVED.
- ALL CONDUITS SHALL BE SWABBED CLEAN BY PULLING AN APPROPRIATE SIZE MANDREL THROUGH THE CONDUIT BEFORE INSTALLATION OF CONDUCTORS OR CABLES. CONDUIT SHALL BE FREE OF DIRT AND DEBRIS.
- INSTALL PULL STRINGS IN ALL CLEAN EMPTY CONDUITS. IDENTIFY PULL STRINGS AT EACH END.
- INSTALL 2" HIGHLY VISIBLE AND DETECTABLE TAPE 12" ABOVE ALL UNDERGROUND CONDUITS AND CONDUCTORS.
- CONDUITS SHALL BE INSTALLED IN SUCH A MANNER AS TO INSURE AGAINST COLLECTION OF TRAPPED CONDENSATION.

### B. CONDUCTORS AND CABLE:

- ALL POWER WIRING SHALL BE COLOR CODED AS FOLLOWS:

| DESCRIPTION | 208/240/120 VOLT SYSTEMS |
|-------------|--------------------------|
| PHASE A     | BLACK                    |
| PHASE B     | RED                      |
| PHASE C     | BLUE                     |
| NEUTRAL     | WHITE                    |
| GROUNDING   | GREEN                    |

- SPLICES SHALL BE MADE ONLY AT OUTLETS, JUNCTION BOXES, OR ACCESSIBLE RACEWAY CONDUITS APPROVED FOR THIS PURPOSE.
- PULLING LUBRICANTS SHALL BE UL APPROVED. CONTRACTOR SHALL USE NYLON OR HEMP ROPE FOR PULLING CONDUCTOR OR CABLES INTO THE CONDUIT.
- CABLES SHALL BE NEATLY TRAINED, WITHOUT INTERLACING, AND BE OF SUFFICIENT LENGTH IN ALL BOXES & EQUIPMENT TO PERMIT MAKING A NEAT ARRANGEMENT. CABLES SHALL BE SECURED IN A MANNER TO AVOID TENSION ON CONDUCTORS OR TERMINALS. CONDUCTORS SHALL BE PROTECTED FROM MECHANICAL INJURY AND MOISTURE. SHARP BENDS OVER CONDUIT BUSHINGS IS PROHIBITED. DAMAGED CABLES SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.

### C. DISCONNECT SWITCHES:

- INSTALL DISCONNECT SWITCHES LEVEL AND PLUMB. CONNECT TO WIRING SYSTEM AND GROUNDING SYSTEM AS INDICATED.

### D. GROUNDING:

- ALL METALLIC PARTS OF ELECTRICAL EQUIPMENT WHICH DO NOT CARRY CURRENT SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURER, AND THE NATIONAL ELECTRICAL CODE.
- PROVIDE ELECTRICAL GROUNDING AND BONDING SYSTEM INDICATED WITH ASSEMBLY OF MATERIALS, INCLUDING GROUNDING ELECTRODES, BONDING JUMPERS AND ADDITIONAL ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION.
- ALL GROUNDING CONDUCTORS SHALL PROVIDE A STRAIGHT DOWNWARD PATH TO GROUND WITH GRADUAL BEND AS REQUIRED. GROUNDING CONDUCTORS SHALL NOT BE LOOPED OR SHARPLY BENT. ROUTE GROUNDING CONNECTIONS AND CONDUCTORS TO GROUND IN THE SHORTEST AND STRAIGHTEST PATHS POSSIBLE TO MINIMIZE TRANSIENT VOLTAGE RISES.
- TIGHTEN GROUNDING AND BONDING CONNECTORS, INCLUDING SCREWS AND BOLTS, IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED TORQUE TIGHTENING VALUES FOR CONNECTORS AND BOLTS. WHERE MANUFACTURER'S TORQUING REQUIREMENTS ARE NOT AVAILABLE, TIGHTEN CONNECTIONS TO COMPLY WITH TIGHTENING TORQUE VALUES SPECIFIED IN UL TO ASSURE PERMANENT AND EFFECTIVE GROUNDING.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF GROUNDING TIE-IN-POINTS TO THE EXISTING GROUNDING SYSTEM. ALL UNDERGROUND GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL GROUNDING CONNECTIONS SHALL BE INSPECTED FOR TIGHTNESS. EXOTHERMIC WELDED CONNECTIONS SHALL BE APPROVED BY THE INSPECTOR HAVING JURISDICTION BEFORE BEING PERMANENTLY CONCEALED.
- APPLY CORROSION-RESISTANCE FINISH TO FIELD CONNECTIONS AND PLACES WHERE FACTORY APPLIED PROTECTIVE COATINGS HAVE BEEN DESTROYED. USE KOPR-SHIELD ANTI-OXIDATION COMPOUND ON ALL COMPRESSION GROUNDING CONNECTIONS.
- A SEPARATE, CONTINUOUS, INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL FEEDER AND BRANCH CIRCUITS.
- BOND ALL INSULATED GROUNDING BUSHINGS WITH A BARE 6 AWG GROUNDING CONDUCTOR TO A GROUND BUS.
- DIRECT BURIED GROUNDING CONDUCTORS SHALL BE INSTALLED AT A NOMINAL DEPTH OF 36" MINIMUM BELOW GRADE, OR 6" BELOW THE FROST LINE, USE THE GREATER OF THE TWO DISTANCES.
- ALL GROUNDING CONDUCTORS EMBEDDED IN OR PENETRATING CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT.
- THE INSTALLATION OF CHEMICAL ELECTROLYTIC GROUNDING SYSTEM IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. REMOVE SEALING TAPE FROM LEACHING AND BREATHER HOLES. INSTALL PROTECTIVE BOX FLUSH WITH GRADE.
- DRIVE GROUND RODS UNTIL TOPS ARE A MINIMUM DISTANCE OF 36" DEPTH OR 6" BELOW FROST LINE, USING THE GREATER OF THE TWO DISTANCES.
- CONTRACTOR SHALL REPAIR, AND/OR REPLACE, EXISTING GROUNDING SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION AT THE CONTRACTOR'S EXPENSE.

### 3.5 ACCEPTANCE TESTING:

- CERTIFIED PERSONNEL USING CERTIFIED EQUIPMENT SHALL PERFORM REQUIRED TESTS AND SUBMIT WRITTEN TEST REPORTS UPON COMPLETION.
- WHEN MATERIAL AND/OR WORKMANSHIP IS FOUND NOT TO COMPLY WITH THE SPECIFIED REQUIREMENTS, THE NON-COMPLYING ITEMS SHALL BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH ITEMS COMPLYING WITH THE SPECIFIED REQUIREMENTS PROMPTLY AFTER RECEIPT OF NOTICE FOR NON-COMPLIANCE.
- TEST PROCEDURES:
  - ALL FEEDERS SHALL HAVE INSULATION TESTED AFTER INSTALLATION, BEFORE CONNECTION TO DEVICES. THE CONDUCTORS SHALL TEST FREE FROM SHORT CIRCUITS AND GROUNDS. TESTING SHALL BE FOR ONE MINUTE USING 1000V DC. PROVIDE WRITTEN DOCUMENTATION FOR ALL TEST RESULTS.
  - PRIOR TO ENERGIZING CIRCUITRY, TEST WIRING DEVICES FOR ELECTRICAL CONTINUITY AND PROPER POLARITY CONNECTIONS.
  - MEASURE AND RECORD VOLTAGES BETWEEN PHASES AND BETWEEN PHASE CONDUCTORS AND NEUTRALS. SUBMIT A REPORT OF MAXIMUM AND MINIMUM VOLTAGES.
  - PERFORM GROUNDING TEST TO MEASURE GROUNDING RESISTANCE OF GROUNDING SYSTEM USING THE IEEE STANDARD 3-POINT "FALL-OF-POTENTIAL" METHOD. PROVIDE PLOTTED TEST VALUES AND LOCATION SKETCH. NOTIFY THE ENGINEER IMMEDIATELY IF MEASURED VALUE IS OVER 5 OHMS.



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SUITE 1200  
BLOOMINGTON, MN 55435

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| PROJECT NO. | DRAWN BY | CHECKED BY |
|-------------|----------|------------|
| 196954.2113 | YJC      | LW         |

| REV | DATE     | DESCRIPTION             |
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| 0   | 06/25/18 | ISSUED FOR CONSTRUCTION |



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EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N

SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
GENERAL NOTES

SHEET NUMBER

**GN-3**

GENERAL NOTES





AERIAL SITE MAP

NO SCALE

1

A.P.N.  
17V610051



±7'-0"

7'-10"

EXISTING STOP SIGN

PROPOSED WOOD UTILITY POLE

NODE ST90XS D10

EXISTING  
RIGHT-OF-WAY (TYP)

EXISTING UTILITY POLE (TYP)

CHESTERFIELD AIRPORT RD.

THIS DRAWING IS  
NOT A SITE SURVEY

THE PURPOSE OF THIS DRAWING IS  
TO SHOW HOW THE DEVELOPED SITE  
RELATES TO THE PARENT PARCEL  
AND ADJACENT PROPERTIES.



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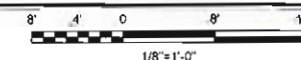
EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N  
  
SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
OVERALL SITE PLAN

SHEET NUMBER  
**A-1**

OVERALL SITE PLAN



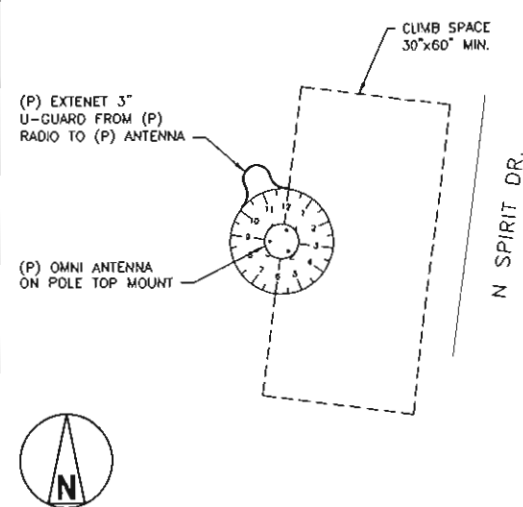
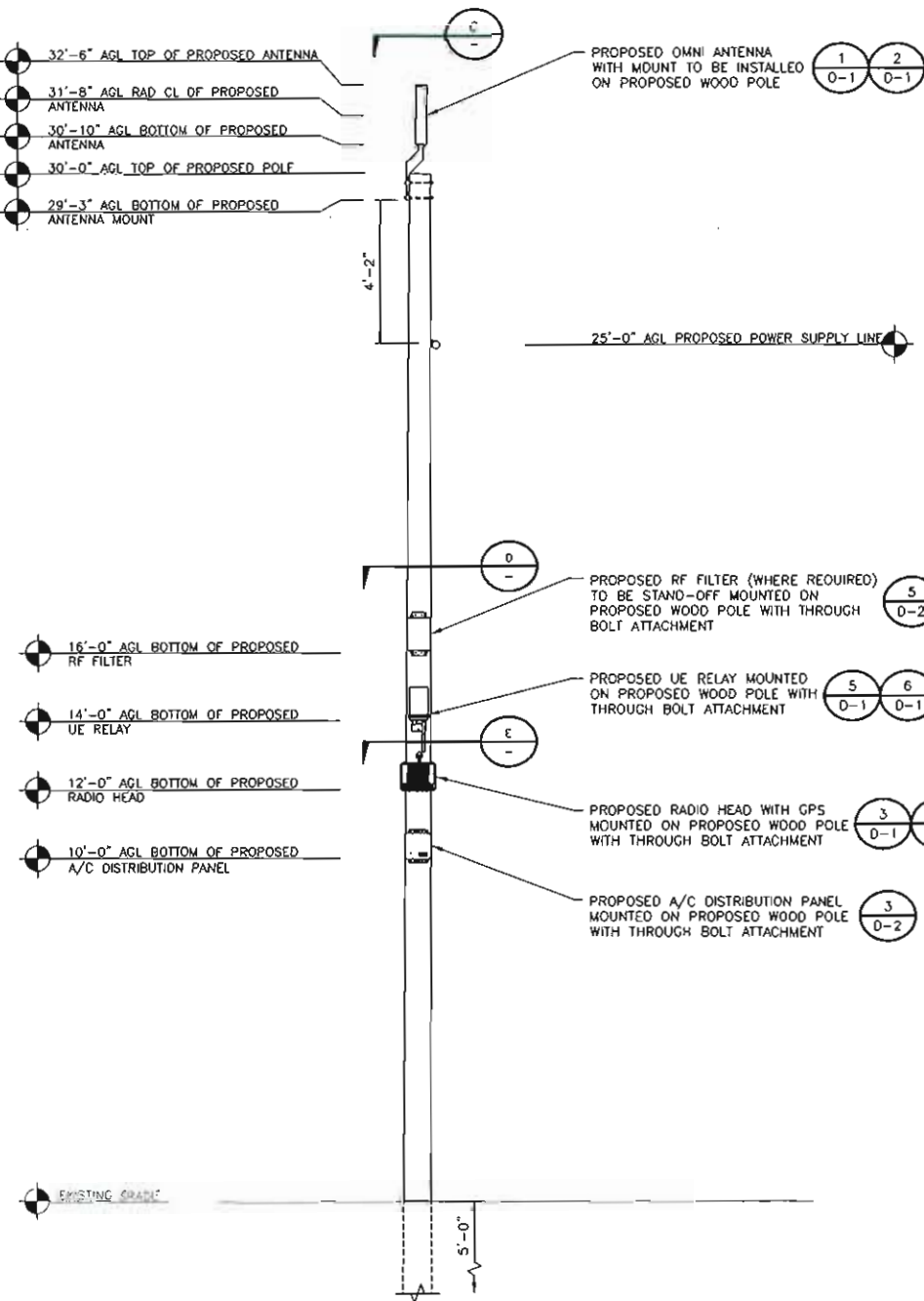
A

NOTE

THESE DRAWINGS HAVE BEEN CREATED BASED ON THE ASSUMPTION THAT THE STRUCTURE HAS SUFFICIENT CAPACITY TO SUPPORT THE PROPOSED LOADING. IT IS THE RESPONSIBILITY OF THE POLE OWNER TO CONFIRM THAT THE PROPOSED LOADING IS WITHIN THE ORIGINAL DESIGN CAPACITY OF THE STRUCTURE.

COMMUNICATIONS MAKE-READY

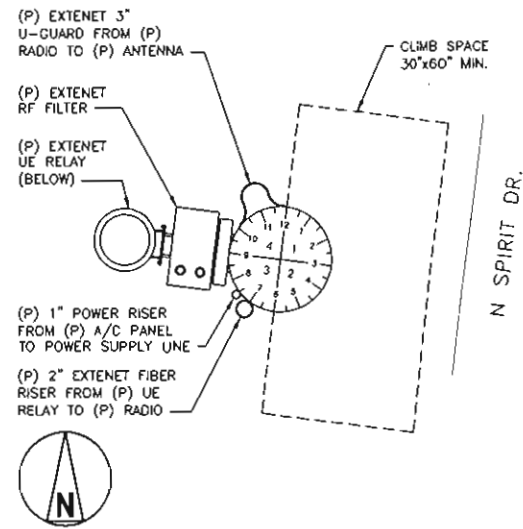
1. REPLACE POLE WITH PROPOSED 35'-0" POLE SUNK 5'-0".
2. INSTALL 3" SCH 80 U-GUARD OVER COAX AT 11:00 POSITION.
3. INSTALL EXTENET 2" SCH 80 CONDUIT RISER FOR FIBER AT 7:00 POSITION.
4. INSTALL 1" SCH 80 CONDUIT RISER FOR POWER AT 7:30 POSITION.
5. INSTALL PROPOSED EQUIPMENT AT 9:00 POSITION.
6. INSTALL PROPOSED ANTENNA ON TOP OF PROPOSED POLE.
7. PROPOSED CONDUIT RISERS NOT SHOWN FOR CLARITY.



ANTENNA PLAN VIEW

NO SCALE

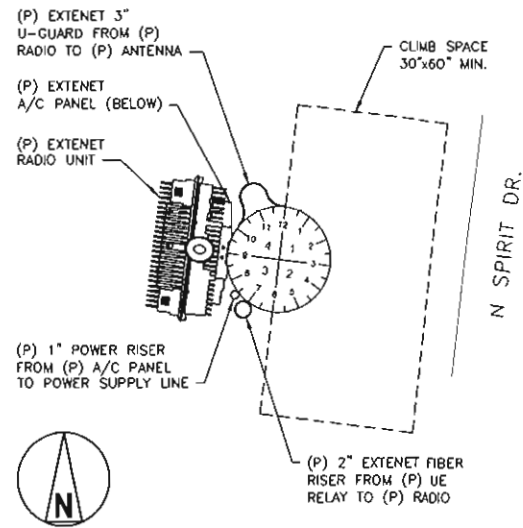
C



RISER PLAN VIEW

NO SCALE

D



EQUIPMENT PLAN VIEW

NO SCALE

E

NOT USED

NO SCALE

A

PROPOSED WEST ELEVATION

12' 6" 0 1' 2' 3' 4' 5' 6' 7'  
3/8" = 1'-0"

B



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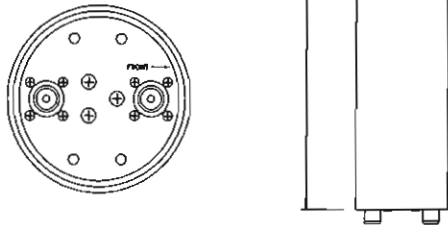
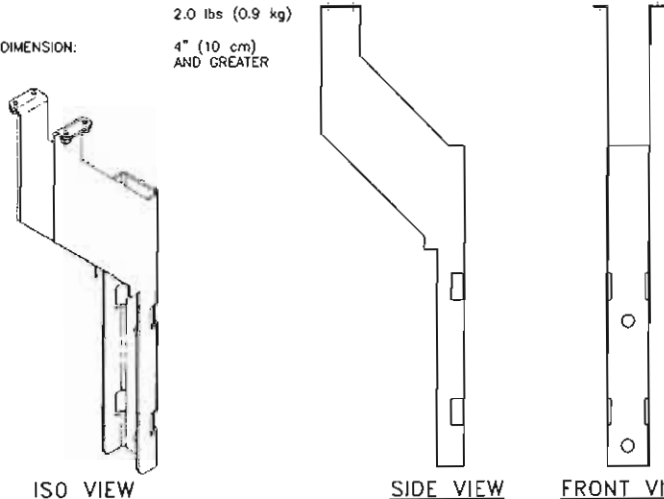
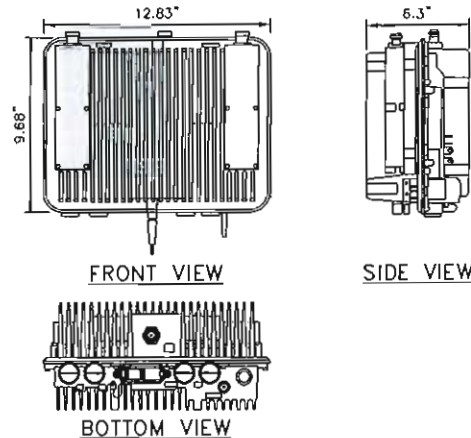
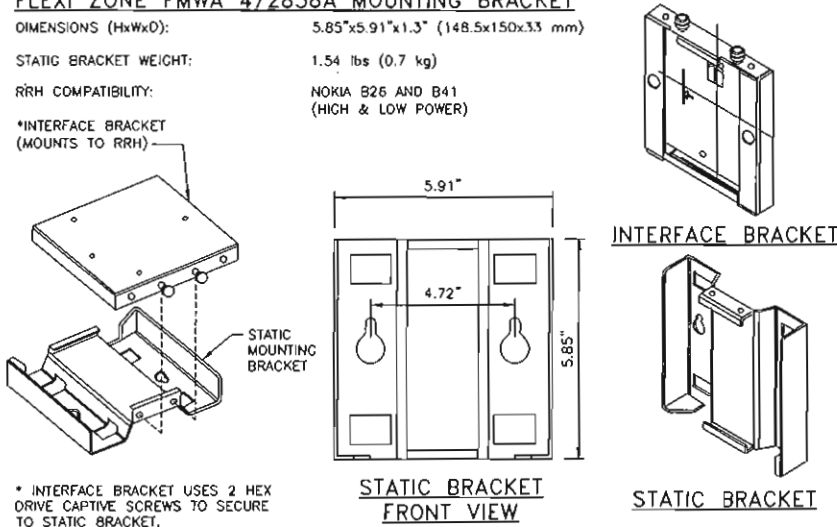
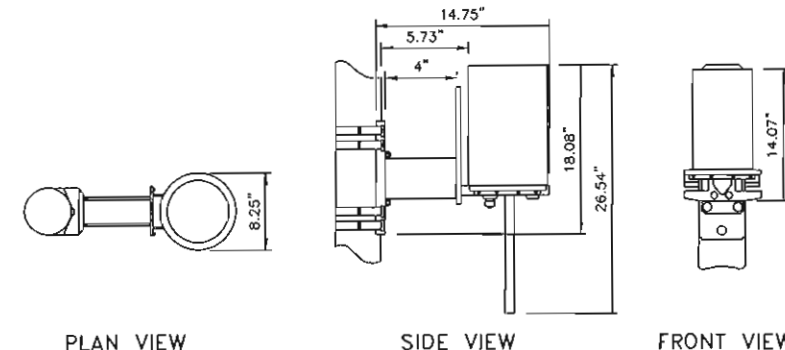
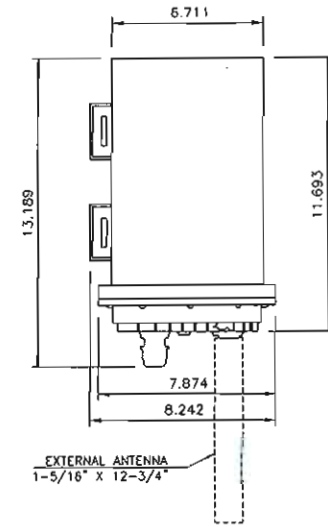
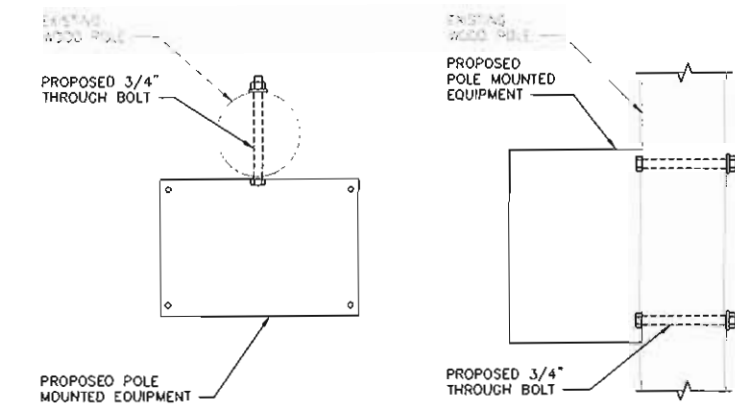
EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N  
SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
POLE ELEVATIONS  
AND RISER DETAILS

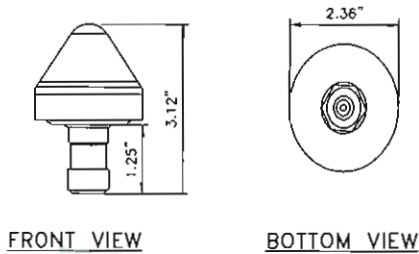
SHEET NUMBER  
**A-2**



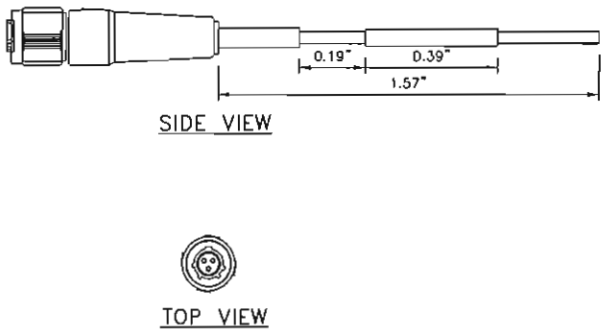
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| <div>CCI WIRELESS SCA-OM-360FX-Q-H2</div> <div><div><div>DIAMETER: 4.0" (102mm)</div><div>HEIGHT: 20.9" (530mm)</div><div>TOTAL WEIGHT (WITHOUT MOUNT): 3.2 lbs (1.45 kg)</div><div>CONNECTOR INTERFACE: (2) 4.1-9.5 FEMALE</div><div>RF CONNECTOR LOCATION: BOTTOM</div><div>ELECTRICAL DOWNTILT (*): 7°/12°/14°</div><div>(* FIXED ELECTRICAL DOWNTILT ORDERING IS SPECIFIED IN THE MODEL AS F7, F12, F14)</div></div><div></div></div> |          | <div>CCI WIRELESS MBC-06 BRACKET</div> <div><div><div>TOTAL WEIGHT: 2.0 lbs (0.9 kg)</div><div>MOUNTING POLE DIMENSION: 4" (10 cm) AND GREATER</div></div><div></div></div> |  | <div>NOKIA B41 HIGH POWER RADIO HEAD</div> <div><div><div>TOTAL WEIGHT: 26.45 lbs (12 kg)</div><div>DIMENSION (HxWxD): 9.68"x12.83"x6.3"</div></div><div></div></div>                                   |  | <div>extenet<sup>®</sup> mConnectivity Everywhere<br/>SYSTEMS</div> <div><div>BLACK &amp; VEATCH</div><div>BLACK &amp; VEATCH CORPORATION<br/>7780 FRANCE AVENUE SOUTH<br/>SUITE 1200<br/>BLOOMINGTON, MN 55435</div></div> <div>THESE DRAWINGS ARE COPYRIGHTED AND ARE THE PROPERTY OF BLACK &amp; VEATCH. PRODUCED SOLELY FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DRAWINGS IS PROHIBITED WITHOUT WRITTEN CONSENT BY BLACK &amp; VEATCH</div> <table><tr><td>PROJECT NO.</td><td>DRAWN BY</td><td>CHECKED BY</td></tr><tr><td>196954.2113</td><td>YJG</td><td>LW</td></tr></table> <div><table><tr><td>REV</td><td>DATE</td><td>DESCRIPTION</td></tr><tr><td>0</td><td>06/25/18</td><td>ISSUED FOR CONSTRUCTION</td></tr></table><div><div>06/28/2018</div><div>IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.</div></div><div>EXTENET SYSTEMS<br/>NC-MO-STLOUIS-00050-N</div><div>SMALL CELL</div><div>SITE ADDRESS<br/>ST90XS D10<br/>N SPIRIT DR.<br/>CHESTERFIELD, MO 63005</div><div>SHEET TITLE<br/>EQUIPMENT DETAILS</div><div>SHEET NUMBER<br/>D-1</div></div> |  | PROJECT NO. | DRAWN BY | CHECKED BY | 196954.2113 | YJG | LW | REV | DATE | DESCRIPTION | 0 | 06/25/18 | ISSUED FOR CONSTRUCTION |
| PROJECT NO.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | DRAWN BY | CHECKED BY                                                                                                                                                                                                                                                     |  |                                                                                                                                                                                                                                                                                            |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| 196954.2113                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | YJG      | LW                                                                                                                                                                                                                                                             |  |                                                                                                                                                                                                                                                                                            |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| REV                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | DATE     | DESCRIPTION                                                                                                                                                                                                                                                    |  |                                                                                                                                                                                                                                                                                            |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| 0                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 06/25/18 | ISSUED FOR CONSTRUCTION                                                                                                                                                                                                                                        |  |                                                                                                                                                                                                                                                                                            |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| <div>ANTENNA SPECIFICATIONS</div> <div>NO SCALE</div> <div>1</div>                                                                                                                                                                                                                                                                                                                                                                                                                                                         |          | <div>ANTENNA MOUNTING BRACKET</div> <div>NO SCALE</div> <div>2</div>                                                                                                                                                                                           |  | <div>RADIO HEAD SPECIFICATIONS</div> <div>NO SCALE</div> <div>3</div>                                                                                                                                                                                                                      |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| <div>FLEXI ZONE FMWA 472858A MOUNTING BRACKET</div> <div><div><div>DIMENSIONS (HxWxD): 5.85"x5.91"x1.3" (148.5x150x33 mm)</div><div>STATIC BRACKET WEIGHT: 1.54 lbs (0.7 kg)</div><div>RRH COMPATIBILITY: NOKIA B26 AND B41 (HIGH &amp; LOW POWER)</div><div>*INTERFACE BRACKET (MOUNTS TO RRH)</div></div><div></div><div>* INTERFACE BRACKET USES 2 HEX DRIVE CAPTIVE SCREWS TO SECURE TO STATIC BRACKET.</div></div>                  |          | <div>UE RELAY MOUNT</div> <div><div><div>DIMENSION (HxWxD): 18.08"x8.25"x22.75" (459x210x578 mm)</div><div>TOTAL WEIGHT: 12.0 lbs (5.44 kg)</div></div><div></div></div>    |  | <div>NOKIA GEMTEK UE RELAY</div> <div><div><div>TOTAL WEIGHT: 5.51 lbs (2.5 kg)</div><div>DIMENSION (HxD): 11.41"x6.69" (300mm x 170mm)</div><div>DIAMETER: 7.87" (200mm)</div></div><div></div></div> |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| <div>RADIO MOUNTING BRACKET SPECIFICATIONS</div> <div>NO SCALE</div> <div>4</div>                                                                                                                                                                                                                                                                                                                                                                                                                                          |          | <div>UE RELAY MOUNTING DETAIL</div> <div>NO SCALE</div> <div>5</div>                                                                                                                                                                                           |  | <div>UE RELAY SPECIFICATIONS</div> <div>NO SCALE</div> <div>6</div>                                                                                                                                                                                                                        |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| <div></div>                                                                                                                                                                                                                                                                                                                                                                                                                             |          | <div>NOT USED</div>                                                                                                                                                                                                                                            |  | <div>NOT USED</div>                                                                                                                                                                                                                                                                        |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |
| <div>WOOD POLE EQUIPMENT MOUNTING DETAIL</div> <div>NO SCALE</div> <div>7</div>                                                                                                                                                                                                                                                                                                                                                                                                                                            |          | <div>NOT USED</div> <div>NO SCALE</div> <div>8</div>                                                                                                                                                                                                           |  | <div>NOT USED</div> <div>NO SCALE</div> <div>9</div>                                                                                                                                                                                                                                       |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |             |          |            |             |     |    |     |      |             |   |          |                         |

NOKIA MM GPS ANTENNA

TOTAL WEIGHT: 3.34 lbs (0.14 kg)  
DIMENSION (HxW): 3.12"x 2.36"

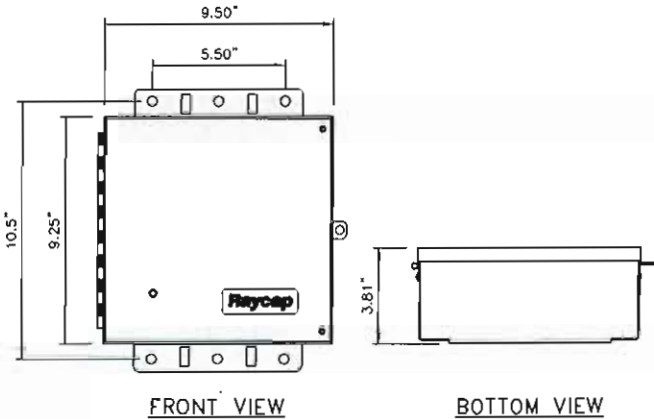


NOKIA MM RADIO HEAD AC POWER CABLE



RAYCAP RSTAC-3112-P-120

HEIGHT: 9.25"  
WIDTH: 9.5"  
DEPTH: 3.81"  
WEIGHT: 14lbs



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| PROJECT NO. | DRAWN BY | CHECKED BY |
|-------------|----------|------------|
| 196954.2113 | YJC      | LW         |

| REV | DATE     | DESCRIPTION             |
|-----|----------|-------------------------|
| 0   | 06/25/18 | ISSUED FOR CONSTRUCTION |



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EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N  
SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
EQUIPMENT DETAILS

SHEET NUMBER  
D-2

GPS ANTENNA DEATIL

NO SCALE

1

A/C POWER CABLE DETAIL

NO SCALE

2

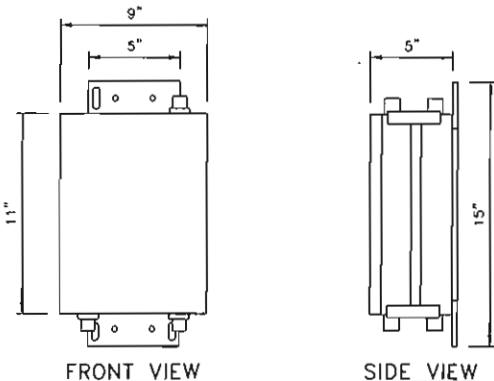
A/C DISTRIBUTION PANEL SPECIFICATIONS

NO SCALE

3

RF FILTER

DIMENSIONS (HxWxD): 11"x9"x5" (279x229x127 mm)



NOT USED

NO SCALE

4

RF FILTER SPECIFICATIONS

NO SCALE

5

NOT USED

NO SCALE

6

NOT USED

NO SCALE

7

NOT USED

NO SCALE

8

NOT USED

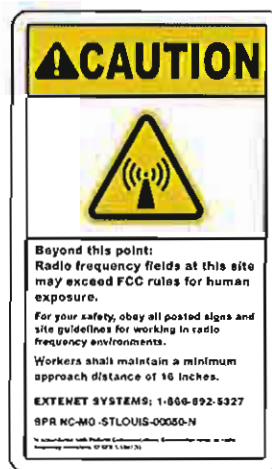
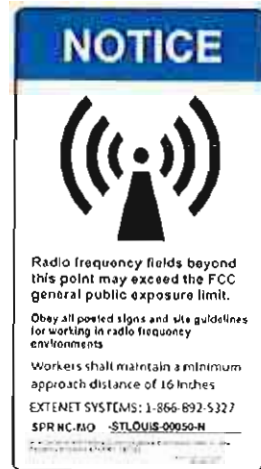
NO SCALE

9



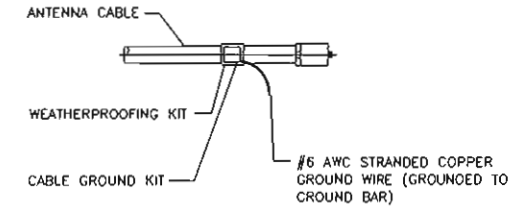
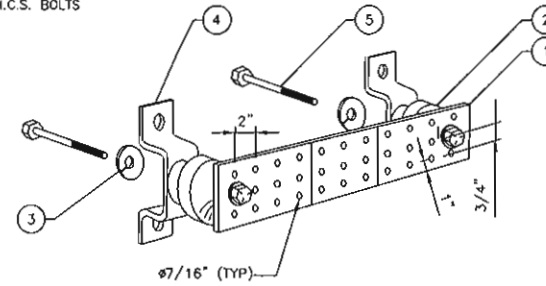
NOTE

1. SPECIFIC EME PLACARD WILL BE PLACED AFTER EME REPORT.



LEGEND

1. COPPER TINNED GROUND BAR HOLE CENTERS TO MATCH NEMA DOUBLE LUC CONFIGURATION
2. INSULATORS
3. 5/8" LOCKWASHERS
4. WALL MOUNTING BRACKETS
5. 5/8"-11 X 1" H.H.C.S. BOLTS



RF SIGNAGE DETAIL

NO SCALE

1

GROUND BAR DETAIL

NO SCALE

2

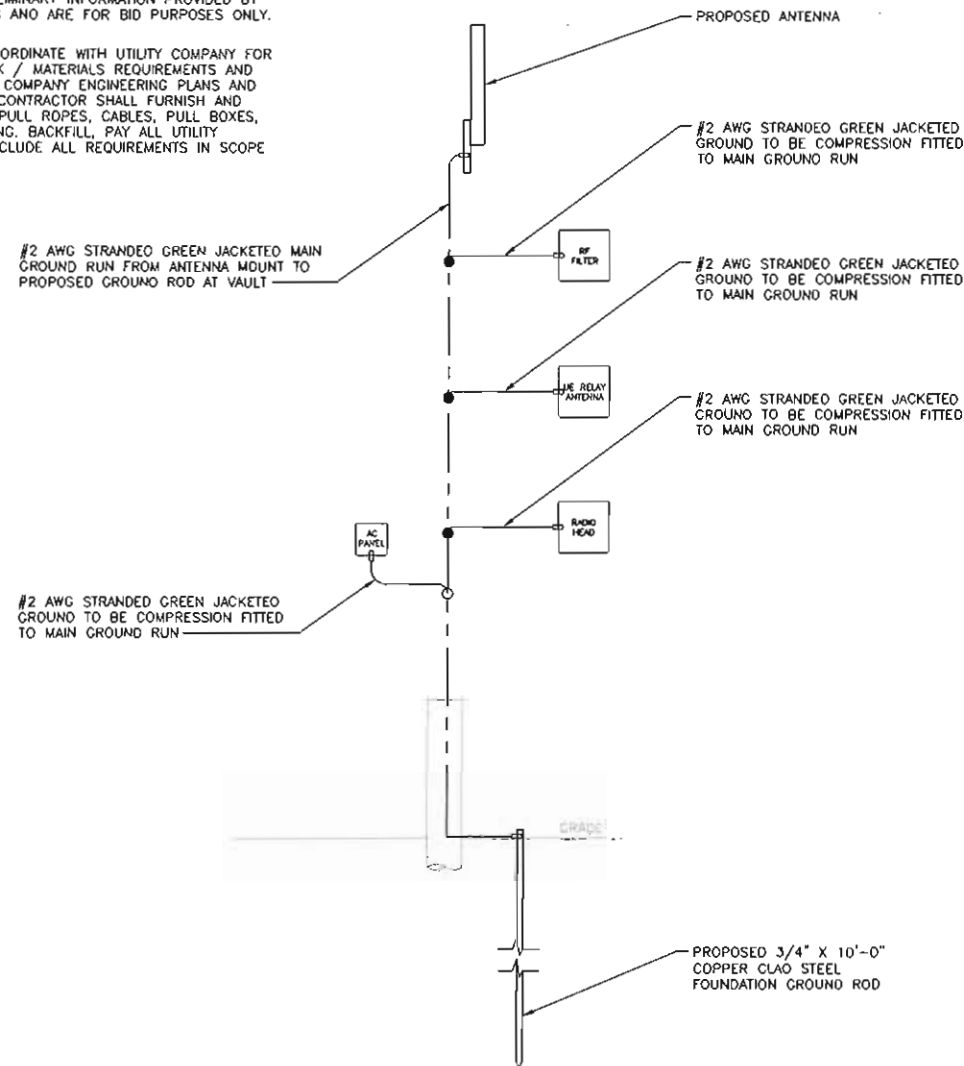
ANTENNA CABLE GROUND KIT DETAIL

NO SCALE

3

UTILITY GENERAL NOTES

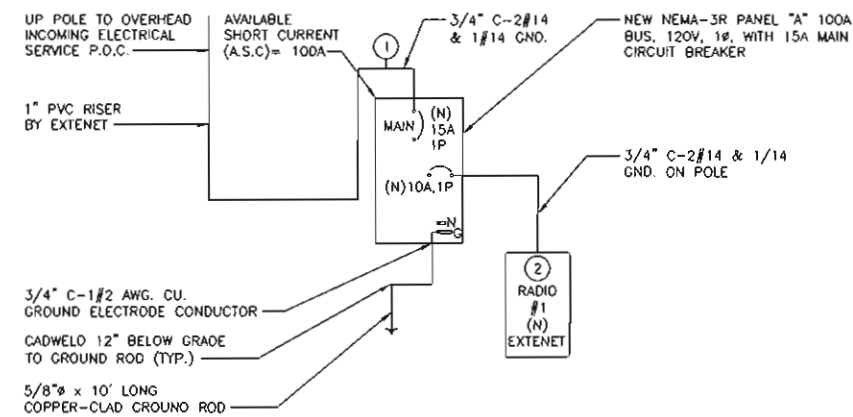
1. UTILITY POINTS OF SERVICE AND WORK / MATERIALS SHOWN ARE BASED UPON PRELIMINARY INFORMATION PROVIDED BY THE UTILITY COMPANIES AND ARE FOR BID PURPOSES ONLY.
2. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK / MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY COMPANY ENGINEERING PLANS AND SPECIFICATIONS ONLY. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PULL ROPES, CABLES, PULL BOXES, POLE RISERS, TRENCHING, BACKFILL, PAY ALL UTILITY COMPANY FEES AND INCLUDE ALL REQUIREMENTS IN SCOPE OF WORK.



GROUNDING SCHEMATIC

NO SCALE

4



| VOLTAGE DROP |               |       |           |
|--------------|---------------|-------|-----------|
| ①            | 2#14 AWG. CU. | L<10' | %VD=NEGL. |
| ②            | 2#14 AWG. CU. | L<10' | %VD=NEGL. |
| ③            | 2#14 AWG. CU. | L<10' | %VD=NEGL. |

SINGLE LINE DIAGRAM OVERHEAD SERVICE

NO SCALE

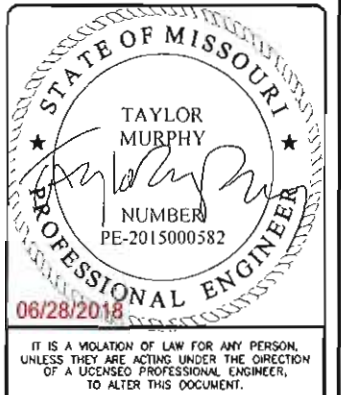
5



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| 196954.2113 | YJC      | LW         |

| REV | DATE     | DESCRIPTION             |
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| 0   | 06/25/18 | ISSUED FOR CONSTRUCTION |
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|     |          |                         |



EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N  
SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE  
ELECTRICAL AND  
GROUNDING DETAILS

SHEET NUMBER  
**E-1**

1. USE EXTREME CAUTION NEAR COMED FACILITIES. HANO OIG WHILE CROSSING 69/138/345 KV TRANSMISSION LINE. COMED TRANSMISSION SHALL BE NOTIFIED 2 BUSINESS DAYS PRIOR TO THE START OF WORK. TO SCHEDULE AN ONSITE INSPECTION DURING CONSTRUCTION, CONTACT LESLIE PASCHAL AT (630) 437-4767.
2. HAND EXCAVATION IS REQUIRED TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE 26-INCH WATER MAIN PRIOR TO CROSSING. A MINIMUM OF 4 FEET OF UNDISTURBED SOIL TO REMAIN ON EITHER SIDE OF THIS EXISTING WATER MAIN. EXTREME CAUTION MUST BE TAKEN TO AVOID DAMAGE TO THESE WATER FACILITIES. IF ANY DAMAGE OCCURS TO THIS DEPARTMENT'S FACILITIES THE CONTRACTOR AND/OR OWNER WILL BE RESPONSIBLE FOR THE COST OF REPAIRING OR REPLACING THE DAMAGED FACILITIES.

1. THE FULL PERIMETER OF THE ASPHALT RESTORATION LIMITS SHALL BE SEALED COMPLETELY AT THE EDGE OF THE CUT SMOOTHING IRON OR BY MEANS OF INFRARED TREATMENT TO PREVENT WATER SEEPAGE INTO THE PAVEMENT, UNLESS OTHERWISE DIRECTED BY THE COMMISSIONER.

 UTILITY TRENCH OR UTILITY/STREET CUT WITHIN THIS ZONE

CITY STANDARD FOR CONCRETE  
SIDEWALK RESTORATION

☐ CITY STANDARD FOR  
ASPHALT RESTORATION



**BLACK & VEATCH**

BLACK & VEATCH CORPORATION  
7760 FRANCE AVENUE SOUTH  
SUITE 1200  
BLOOMINGTON, MN 55435

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|             |          |            |
|-------------|----------|------------|
| PROJECT NO. | DRAWN BY | CHECKED BY |
| 196954.2113 | YJG      | LW         |

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| -   | -        | -                       |
| D   | 06/25/18 | ISSUED FOR CONSTRUCTION |
| REV | DATE     | DESCRIPTION             |



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OF A LICENSED PROFESSIONAL ENGINEER,  
TO ALTER THIS DOCUMENT.

EXTENET SYSTEMS  
NC-MO-STLOUIS-00050-N

SMALL CELL

SITE ADDRESS  
ST90XS D10  
N SPIRIT DR.  
CHESTERFIELD, MO 63005

SHEET TITLE

OSP

SHEET NUMBER

# OSP-1

# Memorandum

## Department of Planning & Development Services



**To:** Michael O. Geisel, City Administrator

**From:** Justin Wyse, Director of Planning and Development Services

**Date:** August 20, 2018

**RE:** **Summit-Topgolf Lot A (Residence Inn)** A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 3.7 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing. (17T510063)

### **Summary**

This request is to allow for development of a new Residence Inn hotel within the Summit-Topgolf subdivision. The hotel is 4 stories in height, accommodates 128 guest rooms, has an indoor pool, and outdoor sport court. The materials primarily range from manufactured stone veneer, fiber cement siding, and asphalt shingles. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3012.

The project was reviewed by the Architectural Review Board on May 10, 2018. A motion to forward the Site Development Section Plan to the Planning Commission with a recommendation for approval passed by a vote of 5-0 with the following conditions: The white siding be substituted where there was off-white, increase the landscaping along the front parking area to provide a continuous hedge along I-64, and research options for a pedestrian connection to the west. All of the ARB conditions have been fulfilled by the applicant.

Planning Commission recommended approval of the request on July 9, 2018 by a vote of 7 – 2. Power of Review was called in accordance to Section 31-02-20 of the Unified Development Code on July 10, 2018.

The applicant supplied alternate elevations and renderings within the Planning and Public Works Packet that were based on building material and color comments made at the July 9th Planning Commission meeting.

The Planning and Public Works Committee recommended approval of the request on July 19, 2018 by a vote of 4-0 with the stipulation that a meeting take place prior to the August 6 City Council meeting in which changes may occur.

The City Council motioned to postpone action on August 06, 2018 and passed unanimously by a voice vote.

The applicant has since requested to postpone this project as they continue to revise elevations and address concerns made by City Council.

Attached, please find the August 06<sup>th</sup>, 2018 City Council packet



**Figure 1: Subject Site Aerial**



**STOCK & ASSOCIATES**  
**Consulting Engineers, Inc.**

August 17, 2018

City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017-0760

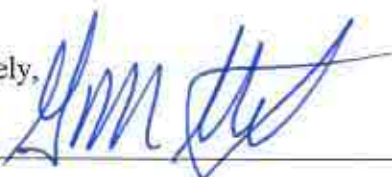
Attention: Honorable Mayor and City Councilmembers of the City of Chesterfield  
c/o Mr. Justin Wyse, AICP, PTP – Director of Planning and Development Services

Re: Summit-Topgolf Lot A (Residence Inn)

**CITY COUNCIL MEETING POSTPONE REQUEST**

Honorable Mayor and Councilmembers, thank you for taking the time to review the above mentioned project and working with us on the design concerns the Council has expressed. In efforts to produce the highest level of quality and favorable design, we respectfully request your consideration to postpone The Residence Inn to the Wednesday, September 5, 2018 City Council meeting. This additional time will allow the Architect & owner to make the necessary revisions to the Architectural Elevations and Renderings to be more in line with the Idaho Fall Residence Inn location which was viewed as very favorable to Council.

Sincerely,



George M. Stock, P.E., President

CC: Jay Koshiya – Plaza Inn, LLC  
Robert Brinkmann – Brinkmann Constructors  
Scott Reese – Summit Development Group  
Chase B. Garrett – Chasen B. Garrett Architects, PLLC

**257 CHESTERFIELD BUSINESS PARKWAY • ST. LOUIS, MO 63005 • (636) 530-9100**  
**Fax (636) 530-9130 • E-MAIL ADDRESS: [general@stockassoc.com](mailto:general@stockassoc.com)**



# Memorandum

## Department of Planning & Development Services



**To:** Michael O. Geisel, City Administrator

**From:** Justin Wyse, Director of Planning and Development Services **JW**

**Date:** August 06, 2018

**RE:** **Summit-Topgolf Lot A (Residence Inn)** A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 3.7 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing. (17T510063)

### **Summary**

This request is to allow for development of a new Residence Inn hotel within the Summit-Topgolf subdivision. The hotel is 4 stories in height, accommodates 128 guest rooms, has an indoor pool, and outdoor sport court. The materials primarily range from manufactured stone veneer, fiber cement siding, and asphalt shingles. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3012.

The project was reviewed by the Architectural Review Board on May 10, 2018. A motion to forward the Site Development Section Plan to the Planning Commission with a recommendation for approval passed by a vote of 5-0 with the following conditions: The white siding be substituted where there was off-white, increase the landscaping along the front parking area to provide a continuous hedge along I-64, and research options for a pedestrian connection to the west. All of the ARB conditions have been fulfilled by the applicant.

Planning Commission recommended approval of the request on July 9, 2018 by a vote of 7 – 2. Power of Review was called in accordance to Section 31-02-20 of the Unified Development Code on July 10, 2018.

The applicant supplied alternate elevations and renderings within the Planning and Public Works Packet that were based on building material and color comments made at the July 9th Planning Commission meeting.

The Planning and Public Works Committee recommended approval of the request on July 19, 2018 by a vote of 4-0 with the stipulation that a meeting take place prior to the August 6 City Council meeting in which changes may occur.

Updated elevations have been included for review based on the meeting referenced in the motion by the Planning and Public Works Committee.

Attached, please find the Planning and Public Works packet and the updated elevations submitted after the Planning and Public Works Committee meeting.



**Figure 1: Subject Site Aerial**

# Memorandum

## Department of Planning & Development Services



**To:** Planning and Public Works Committee

**From:** Mike Knight, Planner *MK*

**Date:** July 19, 2018

**RE:** **Summit-Topgolf Lot A (Residence Inn)** A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 3.7 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing. (17T510063)

### **Summary**

This request is to allow for development of a new Residence Inn hotel within the Summit-Topgolf subdivision. The hotel is 4 stories in height, accommodates 128 guest rooms, has an indoor pool, and outdoor sport court. The materials primarily range from manufactured stone veneer, fiber cement siding, and asphalt shingles. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3012. The Summit-Topgolf subdivision is made up of 3 lots (A, B, and C). Lot A is the subject site for Residence Inn, Lot B is directly to the east in which the Topgolf facility is currently under construction, and Lot C is undeveloped.

The project was reviewed by the Architectural Review Board on May 10, 2018. A motion was made to forward the Site Development Section Plan to the Planning Commission with a recommendation for approval by a vote of 5-0 with the following conditions: The white siding be substituted where there was off-white, increase the landscaping along the front parking area to provide a continuous hedge along I-64, and research options for a pedestrian connection to the west. All of the ARB conditions have been fulfilled by the applicant.

Planning Commission recommended approval of the request on July 9, 2018 by a vote of 7 – 2. Power of Review was called in accordance to Section 31-02-20 of the Unified Development Code on July 10, 2018.

Since Planning Commission the applicant has supplied alternate elevations and renderings for review.

Attached to this report please find a copy of the Planning Commission Staff Report, Site Development Section Plan, Landscape Plan, Lighting Plan, the Architect's Statement of Design, the original Architectural Elevations and Renderings, and the alternate Architectural Elevations and Renderings.

Attachments: Planning Commission Staff Report  
Site Development Section Plan  
Landscape Plan  
Lighting Plan  
Architect's Statement of Design  
Original Architectural Elevations and Rendering  
Alternate Elevations and Rendering



**Figure 1: Subject Site Aerial**



# VII. D

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690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • [www.chesterfield.mo.us](http://www.chesterfield.mo.us)

---

## Planning Commission Staff Report

**Project Type:** Site Development Section Plan

**Meeting Date:** July 9, 2018

**From:** Mike Knight, Planner *mk*

**Location:** A 3.7 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing.

**Description:** **Summit-Topgolf Lot A (Residence Inn):** A Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for a 3.7 acre tract of land located north of North Outer 40 Road and east of Boone's Crossing.

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### PROPOSAL SUMMARY

This request is to allow for development of a new hotel within the Summit-Topgolf subdivision. The hotel is 4 stories in height, accommodates 128 guest rooms and has an indoor pool. The materials range from manufactured stone veneer, fiber cement siding, and asphalt shingles. The subject site is zoned "PC" Planned Commercial District and is governed under the terms and conditions of City of Chesterfield Ordinance Number 3012. The Summit-Topgolf subdivision is made up of 3 lots (A, B, and C). Lot A is the subject site for Residence Inn, Lot B is directly to the east in which the Topgolf facility is currently under construction, and Lot C is undeveloped and of similar size as Lot A. The project was reviewed by the Architectural Review Board on May 10, 2018. A motion was made to forward the Site Development Section Plan to the Planning Commission with a recommendation for approval by a vote of 5-0 with the following conditions: The white siding be substituted for the off-white, increase the landscaping along the front parking area to provide a continuous hedge along I-64, and research options for a pedestrian connection to the west. All of the ARB conditions have been fulfilled by the applicant.

### HISTORY OF SUBJECT SITE

In January of 2017, the City Council approved Ordinance 2932 which consolidated two Planned Commercial districts (the Hardees Iceplex and Valley Gates Subdivision) into one new 22.2 acre Planned Commercial district. The portion of the site from the Hardees Iceplex is approximately 14.5 acres and was governed by Ordinance 1564 until Ordinance 2932. The portion of the site from the



Valley Gates subdivision is approximately 7.7 acres and was vacant until the City approved a change of zoning from an “NU” Non-Urban designation to a “PC” Planned Commercial designation in 2005. In June of 2018, Ordinance 2932 was amended by the current governing Ordinance 3012 in which the total building floor area for the entire Summit-Topgolf development was increased from 150,000 to 200,000 square feet. The subject site for this submittal is governed under City of Chesterfield Ordinance 3012.



Figure 1: Aerial Site Photo

## **SURROUNDING LAND USES**

The land use and zoning for the properties surrounding this parcel are as follows

### **North**

The Monarch Chesterfield Levee is located directly to the north with Flood Plain Non-Urban zoned property, currently being used for the stockpiling of dirt

### **South**

The subject site is bordered by North Outer 40 and Interstate 64 to the south. The Kemp Auto Museum is the nearest subdivision.

### **East**

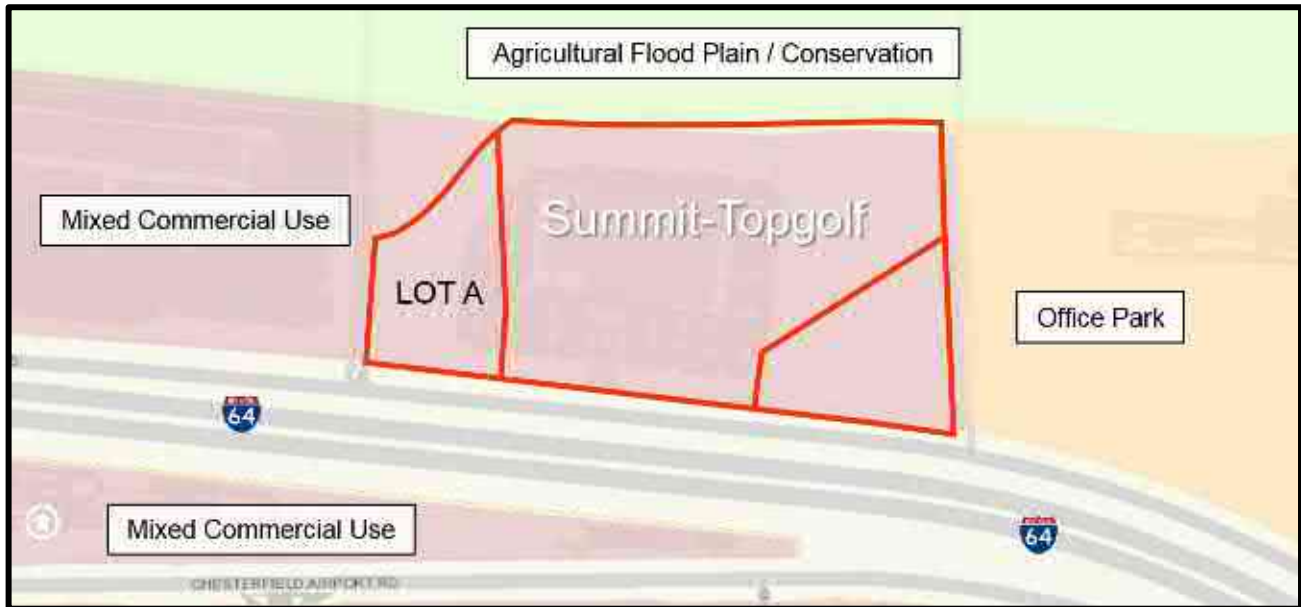
The property to the east is zoned a combination of Agriculture and Non-Urban, currently being used for agricultural operations including a plant nursery.

### **West**

The property to the west is the Chesterfield Outlets and is currently zoned Planned Commercial.

## **COMPREHENSIVE PLAN**

The subject site is located within Ward 4 of the City of Chesterfield and is within the Mixed Commercial Use land use designation per the City's Comprehensive Land Use Plan. The Comprehensive Plan designates the permitted land uses under Mixed Commercial Use as Retail, Low-Density Office, and Limited Office/Warehouse Facilities.



*Figure 2: Comprehensive Land Use Plan*

**Chesterfield Valley Design Policies:** The City of Chesterfield's Comprehensive Plan has a specific Chesterfield Valley Policies Element. The policies include commercial development with particular concern over the image presented by development along I-64. There are six specific policies of which four are applicable to the design of this project. Staff outlines the applicable policies below and how the Site Development Section Plan relates to those policies.

Policy 1: Facades of Buildings along I-64 and Arterial Roadways – Care should be taken to make sure that any portion of a building is equally uniform in materials and attractiveness as the primary facade. The intent is to avoid projects having their view from I-64/US 40 appear to be the rear or side of a development.

The hotel is positioned that the front of the hotel faces west located north of I-64. The primary view of the hotel would be from the south, east, and west as one would see the building driving east to west/ west to east along I-64.

Policy 2: Lighting of Buildings along I-64/US 40 - The facades of buildings facing I-64 should be lighted to provide an attractive image at night for individuals traveling along I-64.

The lighting currently submitted is utilitarian in nature. Lights that are not fully shielded flat lensed fixtures that enhance the architecture will require separate approval from Planning Commission and are discussed later in the report.

Policy 3: Automobile Parking for Buildings along I-64 - Parking should be primarily located to the side or rear of any building façade facing I-64/US 40 or along North Outer 40.

Parking shown on the SDSP is primarily shown to the side and rear of the building.

Policy 4: Pedestrian Circulation - In order to promote pedestrian movement, each development is required to address pedestrian circulation within and between all developments. This pedestrian system shall be designed in an overall safe, clearly understood plan meeting ADA (American Disabilities Act) requirements.

The SDSP contains pedestrian infrastructure that both circumnavigates the hotel itself but also connects to both the eastern and western parcels.

## **STAFF ANALYSIS**

### **Site Relationships**

The subject site is located north of North Outer 40 Road and east of Boone's Crossing in what is classified as the Chesterfield Valley Area within the City's Comprehensive Land Use Plan. Given that North Outer 40 Road is a minor arterial and given the site's close proximity to I-64, the south, east, and west façades are highly visible. The site is also visible from the north from the Monarch Chesterfield Levee Trail. Currently the Topgolf facility is under construction directly to the east and the Chesterfield Outlet Mall is to the west.

The Color Site Plan, Figure 3, clearly depicts the building, sport court, parking area, and green space. The large green area to the south counts as open space on the plan, but it should be noted that this area contains a roughly 50' wide rip-rap conveyance channel as part of the Chesterfield Valley Master Stormwater Plan.

### **Circulation and Access**

Vehicle circulation can be seen throughout the site with two access points on the east



Figure 3: Color Site Plan

and west. There is an area for drop off near the front entrance and a cul-de-sac at the northern edge of the site to circulate the vehicles back to the front. As previously mentioned, pedestrian circulation is limited between adjacent sites. The UDC also references bicycle circulation. There is no bicycle parking shown within this site. A parking modification was provided and approved by the Director of Planning and Development Services in accordance with the UDC in which the required parking for the site would be reduced from 154 spaces to 130 spaces and the loading space requirement was also removed. A parking study justifying this request was completed and submitted to the City with the plan by the applicant.

### **Topography**

The site is relatively flat with a couple of feet of grade change. A considerable amount of fill will be brought in to raise the elevation, but the site will remain overall flat. The existing topography slopes from the north to the south. As previously mentioned, there is a large drainage channel along the southern edge of the site. The Finish Floor elevation of the building is 462.25'. For reference, the finish floor elevation for the neighboring Top Golf is at 462' and the closest Chesterfield Outlet building is 468'. There are no retaining walls required or planned for this development.

### **Architectural Elevations**

This request is to allow for development of a 4 story 128 guest room hotel including an indoor pool and outdoor sport court. The hotel is 86,199 square feet and the sport court is 1,044 square feet with a total square footage of 87,243 square feet. The total site area for Lot A is 159,929 square feet. This produces a Floor to Area ratio for Lot A at 0.55.

### **Scale**

The 4 story structure will have a roof apex height approximately 56' above finish floor. The building is L-shaped with the longest part of the L running north and south. The entry/check in area is contained within a one-story "gatehouse" that is attached to the main four story building. The Topgolf facility directly to the east is 3 stories in height and the rear of the building opens into an expansive outfield with poles and netting that reach 170 feet in height, as permitted in ordinance 3012. The Chesterfield Outlets are all one story in height but reach façade heights up to 40'. The human scale for the Residence Inn site is achieved at the public entrance areas of the building where guests interact with the building, the "gatehouse" is present, as well as additional plantings.

### **Design**

The hotel schematic concept is primarily expressed through horizontal features. This can be seen by the horizontal window banks which serve the hotel's guestrooms and this theme extends down to the entry canopy which is an elongated flag roof canopy with partial openings in the roof that allow light to filter into the gathering spaces outside. The roof consists of asphalt shingles and generally angles downward from a single apex similar to a residential structure. The building materiality will be expressed in the use of native finishes. The use of stone and fiber cement panels are used in which the architect references is an extension of the landscape. The sport court has two basketball hoops, a green floor, and is screened on all four sides with a mesh material. An LED light on a pole will shine onto the sport court. Figures 4-7 on the next page depict each elevation.





Figure 4: South Elevation



Figure 5: West Elevation



Figure 6: East Elevation



Figure 7: North Elevation



### Landscape Design and Screening

A Landscape Plan has been submitted and reviewed by staff. There are street trees and parking area trees provided which are required by code. The street trees are canopy-shade trees with the common names European Hornbeam and Sawtooth Oak. The parking trees are predominately Armstrong Maple, Green Vase Zelkova, and American Hornbeam. Foundational plantings have been provided at the base of the building to ground where most guest foot traffic will be concentrated. The entryways receive an increase in these foundation plantings. Mechanical units will be located on the one-story roof area of the building. The mechanical units will be screened by parapet roofs. There is a dumpster located to the north of the cul-de-sac. The screening is 8' tall and made of manufactured stone with a steel double swing gate. A row of hedges along the southern boundary line provides screening from vehicular lights shining off I-64 as part of the 30' landscape buffer.

### Lighting

Lighting consists of utilitarian and decorative lighting. The development will utilize several different lighting strategies. For the site lighting, 20' high pole mounted, metal halide fixtures with full cut features are used. This is for general light levels in the parking and other site spaces. At the building, the entry has a higher amount of general lighting and decorative lighting to ensure safe passage into the building. Certain features, such as a sitting area, also have decorative task lighting. The building itself has "gatehouse" lights that provide a decorative point light to draw attention to guests. One light is situated in the upper center roof soffit in an area and the other is right above the main entry door. Lights that are not fully shielded flat lensed fixtures that enhance the architecture (decorative) will require approval from Planning Commission. Lighting placement throughout the site can be seen in Figure 9, and the three fixtures that require separate approval can be seen in Figure 10.



Figure 9: Lighting

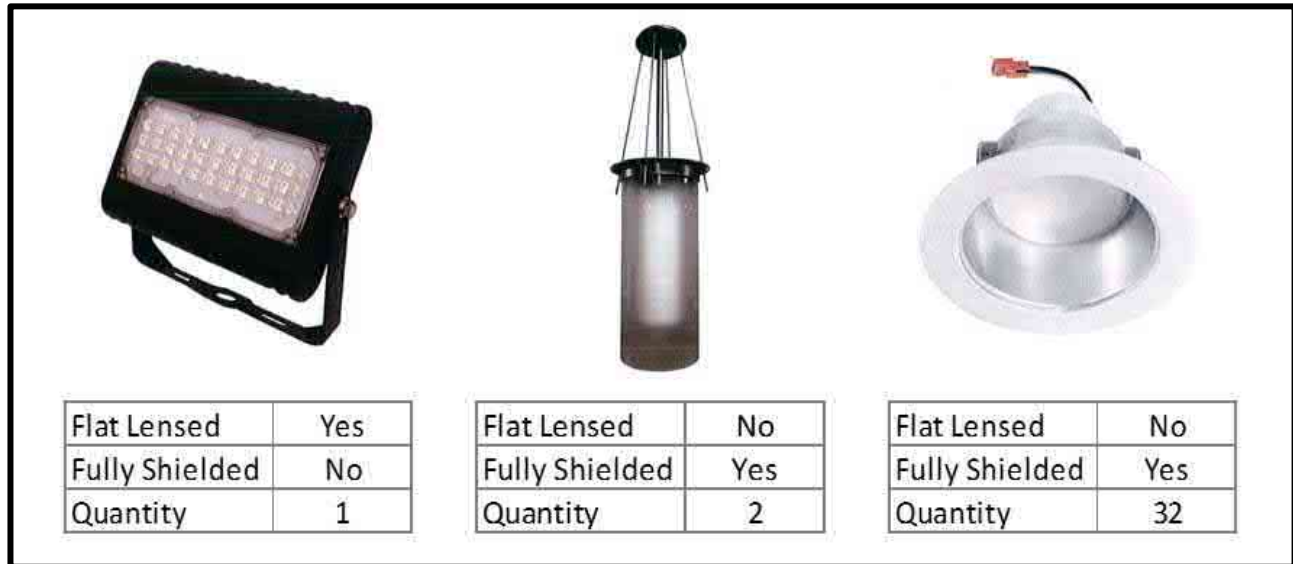


Figure 10: Lighting for Approval

### **STAFF RECOMMENDATION**

Staff has reviewed the Site Development Section Plan, Landscape Plan, Tree Preservation Plan, Lighting Plan, Architectural Elevations, and Architect's Statement of Design and has found the proposal to be in compliance with the site specific ordinance, Comprehensive Plan, and all City Code requirements. Staff recommends approval on the proposed development of Residence Inn (16875 North Outer 40 Road).

### **MOTION**

The following options are provided to the Planning Commission for consideration relative to this application:

- 1) "I move to approve (or deny) the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Residence Inn (16875 North Outer 40 Road).
- 2) "I move to approve the Site Development Section Plan, Landscape Plan, Lighting Plan, Architectural Elevations and Architect's Statement of Design for Residence Inn (16875 North Outer 40 Road) with the following conditions..." (Conditions may be added, eliminated, altered or modified)

Attachments: Site Development Section Plan  
Landscape Plan  
Lighting Plan  
Architect's Statement of Design  
Architectural Elevations  
Architectural Rendering



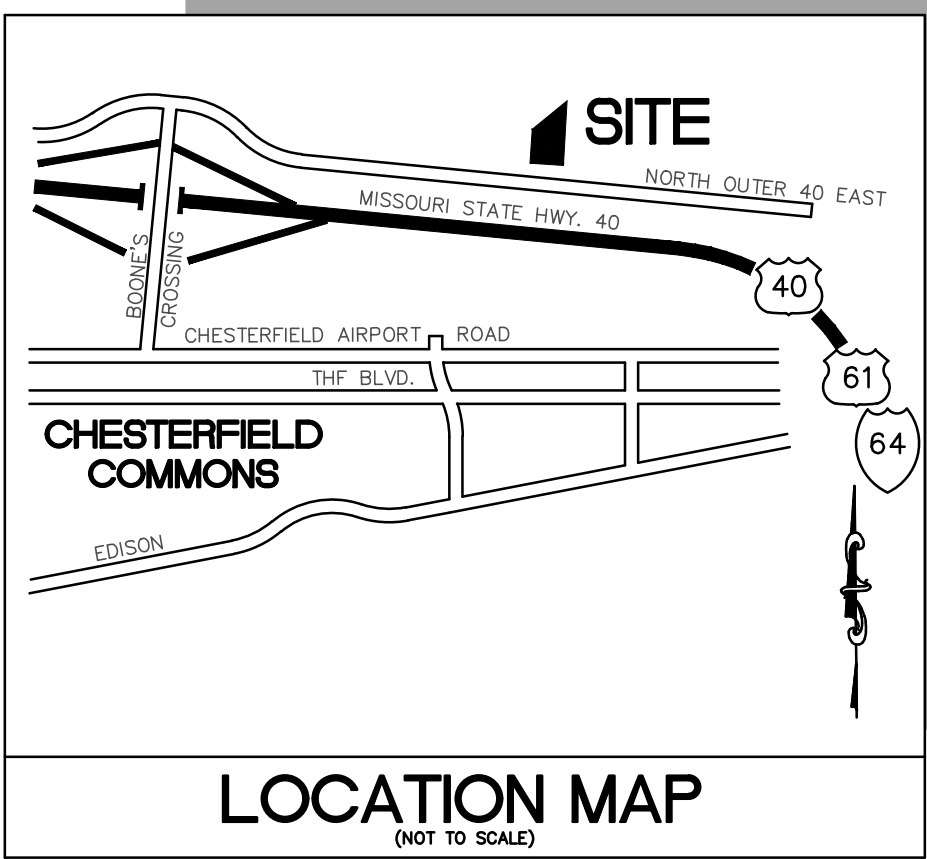
# SITE DEVELOPMENT SECTION PLAN

A TRACT OF LAND BEING LOT A OF "SUMMIT-TOPGOLF SUBDIVISION" AS RECORDED IN PLAT BOOK 365, PAGES 300-301 AND PART OF U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN

CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

## ABBREVIATIONS

|           |   |                            |
|-----------|---|----------------------------|
| ATG       | - | ADJUST TO GRADE            |
| B.C.      | - | BACK OF CURB               |
| C.O.      | - | CLEANOUT                   |
| DB.       | - | DEED BOOK                  |
| E.        | - | ELECTRIC                   |
| ELEV.     | - | ELEVATION                  |
| EX.       | - | EXISTING                   |
| F.C.      | - | FACE OF CURB               |
| FL.       | - | FLOWLINE                   |
| FT.       | - | FEET                       |
| FND.      | - | FOUND                      |
| G         | - | GAS                        |
| H.W.      | - | HIGH WATER                 |
| LFB       | - | LOW FLOW BLOCKED           |
| M.H.      | - | MANHOLE                    |
| N/F       | - | NOW OR FORMERLY            |
| PB.       | - | PLAT BOOK                  |
| PG.       | - | PAGE                       |
| PR.       | - | PROPOSED                   |
| P.V.C.    | - | POLYVINYL CHLORIDE PIPE    |
| R.C.P.    | - | REINFORCED CONCRETE PIPE   |
| R/W       | - | RIGHT-OF-WAY               |
| SQ.       | - | SQUARE                     |
| T         | - | TELEPHONE CABLE            |
| T.B.A.    | - | TO BE ABANDONED            |
| T.B.R.    | - | TO BE REMOVED              |
| T.B.R.&R. | - | TO BE REMOVED AND REPLACED |
| TYP.      | - | TYPICALLY                  |
| U.I.P.    | - | USE IN PLACE               |
| U.O.N.    | - | UNLESS OTHERWISE NOTED     |
| V.C.P.    | - | VITRIFIED CLAY PIPE        |
| W         | - | WATER                      |
| (88'W)    | - | RIGHT-OF-WAY WIDTH         |



## PERTINENT DATA

LOT A  
OWNER: SUMMIT ICE CENTER INVESTORS LLC  
OWNER UNDER CONTRACT: KMG HOTELS  
LOT A AREA: 3.671 Acres ±  
EXISTING ZONING: "PC" PLANNED COMMERCIAL (ORD. #2932)  
SITE ADDRESS: 16875 NORTH OUTER 40 ROAD, CHESTERFIELD, MISSOURI 63005  
LOCATOR NO: 177510041  
WUNNERNBERG'S: PG. 21, GRID 18FF  
FIRE DISTRICT: MONARCH FIRE PROTECTION DISTRICT  
SCHOOL DISTRICT: ROCKWOOD  
SEWER DISTRICT: METROPOLITAN ST. LOUIS SEWER DIST.  
WATER SHED: MISSOURI RIVER  
FEMA MAP: 29189CO165K, FEB 4, 2015  
ELECTRIC COMPANY: AMEREN UE  
GAS COMPANY: SPIRE INC  
PHONE COMPANY: AT&T  
WATER COMPANY: MISSOURI AMERICAN WATER COMPANY

## OPEN SPACE:

REQUIRED: 35.0% PER PC DISTRICT REGULATION  
PROVIDED: 45.86% (73,337 SF/159,929 SF)

## PARKING:

REQUIRED: PLEASE SEE UNIFIED DEVELOPMENT CODE SEC. 04-04  
HOTEL: 128 UNITS  
REQUIRED: 1.2 SPACES/UNIT  
1.2 SPACES/UNIT x 128 UNITS = 154 SPACES

TOTAL REQUIRED: 154 SPACES  
TOTAL PROVIDED: 130 SPACES (INCLUDES 6 ADA SPACES)

## F.A.R. CALCULATION

F.A.R. = 86,199 S.F. / 159,929 S.F. = 0.54  
FIRST FLOOR = 26,154 S.F.  
SECOND FLOOR = 20,015 S.F.  
THIRD FLOOR = 20,015 S.F.  
FOURTH FLOOR = 20,015 S.F.

## BUILDING AND PARKING SETBACKS

NORTH: 30' BUILDING AND 30' PARKING SETBACK  
EAST: 5' BUILDING AND 0' PARKING SETBACK  
SOUTH: 75' BUILDING AND 30' PARKING SETBACK  
WEST: 5' BUILDING AND 0' PARKING SETBACK

## GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY BY STOCK & ASSOCIATES CONSULTING ENGINEERS, INC.
- ALL UTILITIES SHOWN HAVE BEEN LOCATED BY THE ENGINEER FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED.
- NO GRADE SHALL EXCEED 3:1 SLOPE.
- GRADING AND STORM WATER PER M.S.D., MODOT, ST. LOUIS COUNTY, THE CITY OF CHESTERFIELD AND THE MONARCH CHESTERFIELD LEVEE DISTRICT.
- STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- ALL UTILITIES WILL BE INSTALLED UNDERGROUND.
- SITE DEVELOPMENT SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL EXPLORATION TITLED "RESIDENCE INN CHESTERFIELD, MISSOURI" DATED FEBRUARY 2018 AND ALL IRS SUPPLEMENTAL PROVISIONS AND ADDENDUMS.
- THERE IS A MINIMUM OPEN SPACE OF 35% AS REQUIRED BY THE PC DISTRICT REGULATIONS.
- THERE IS A MAXIMUM F.A.R. OF 0.55 AS REQUIRED BY THE PC DISTRICT REGULATIONS.
- SIGNAGE APPROVAL IS A SEPARATE PROCESS

## ST. LOUIS COUNTY STANDARD NOTES

- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
- NO SLOPES WITHIN ST. LOUIS COUNTY RIGHT-OF-WAY SHALL EXCEED 3 (HORIZONTAL) TO 1 (VERTICAL).
- STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- ALL PROPOSED ACCESS TO ST. LOUIS COUNTY ROADS SHALL MEET MINIMUM ST. LOUIS COUNTY SIGHT DISTANCE REQUIREMENTS.
- ALL GRADING AND DRAINAGE SHALL BE IN CONFORMANCE WITH ST. LOUIS COUNTY AND MSD STANDARDS.
- ALL HYDRANTS, POWER POLES OR OTHER POTENTIAL OBSTRUCTIONS WITHIN THE ST. LOUIS COUNTY ROAD RIGHT-OF-WAY SHALL HAVE A MINIMUM TWO (2) FOOT SETBACK FROM FACE OF CURB OR EDGE OF PAVEMENT, AS DIRECTED BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC.
- ANY ENTITY THAT PERFORMS WORK ON ST. LOUIS COUNTY MAINTAINED PROPERTY SHALL PROVIDE THE COUNTY WITH A CERTIFICATE OF INSURANCE EVIDENCING GENERAL LIABILITY COVERAGE (BODILY INJURY AND PROPERTY DAMAGE) IN THE AMOUNTS SPECIFIED AS THE LIMITS OF LIABILITY SET BY THE STATE FOR PUBLIC ENTITIES. SUCH CERTIFICATE SHALL INCLUDE "ST. LOUIS COUNTY" AS AN ADDITIONAL INSURED AND SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF ANY PERMIT. CERTIFICATE SHALL PROVIDE FOR A 30 DAY POLICY CANCELLATION NOTICE TO ST. LOUIS COUNTY. UPON REQUEST, THE COUNTY WILL PROVIDE THE SPECIFIC AMOUNTS FOR BOTH PER PERSON AND PER OCCURRENCE LIMITS.
- PRIOR TO "SPECIAL USE PERMIT" ISSUANCE BY THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC, A SPECIAL CASH ESCROW OR A SPECIAL ESCROW SUPPORTED BY AN IRREVOCABLE LETTER OF CREDIT, MAY BE REQUIRED TO BE ESTABLISHED WITH THE ST. LOUIS COUNTY DEPARTMENT OF HIGHWAYS AND TRAFFIC TO GUARANTEE COMPLETION OF THE REQUIRED ROADWAY IMPROVEMENTS.

PLAZA INN LLC, the owner under contract of the property shown on this plan for and in consideration of being granted a permit to develop property under the provisions of Chapter \_\_\_\_\_.

"PC"- Planned Commercial (present zoning) of the City of Chesterfield (applicable subsection)

Ordinance No. \_\_\_\_\_ do hereby agree and declare that said property from the date of recording this plan shall be developed only as shown thereon, unless said plan is amended by the Planning Commission, or voided or vacated by order of ordinance of the City of Chesterfield Council.

## PLAZA INN, L.L.C.

by: \_\_\_\_\_

STATE OF MISSOURI } SS.  
COUNTY OF ST. LOUIS }

On this \_\_\_\_\_ day of \_\_\_\_\_, 2018, before me personally appeared \_\_\_\_\_, who being by me duly sworn, did say he is the \_\_\_\_\_ and that said instrument was signed on behalf of said limited liability company, and that said \_\_\_\_\_ acknowledged said instrument to be the free act and deed of said limited liability company.

IN WITNESS WHEREOF, I have signed and sealed the foregoing the day and year first above written.

Notary Public

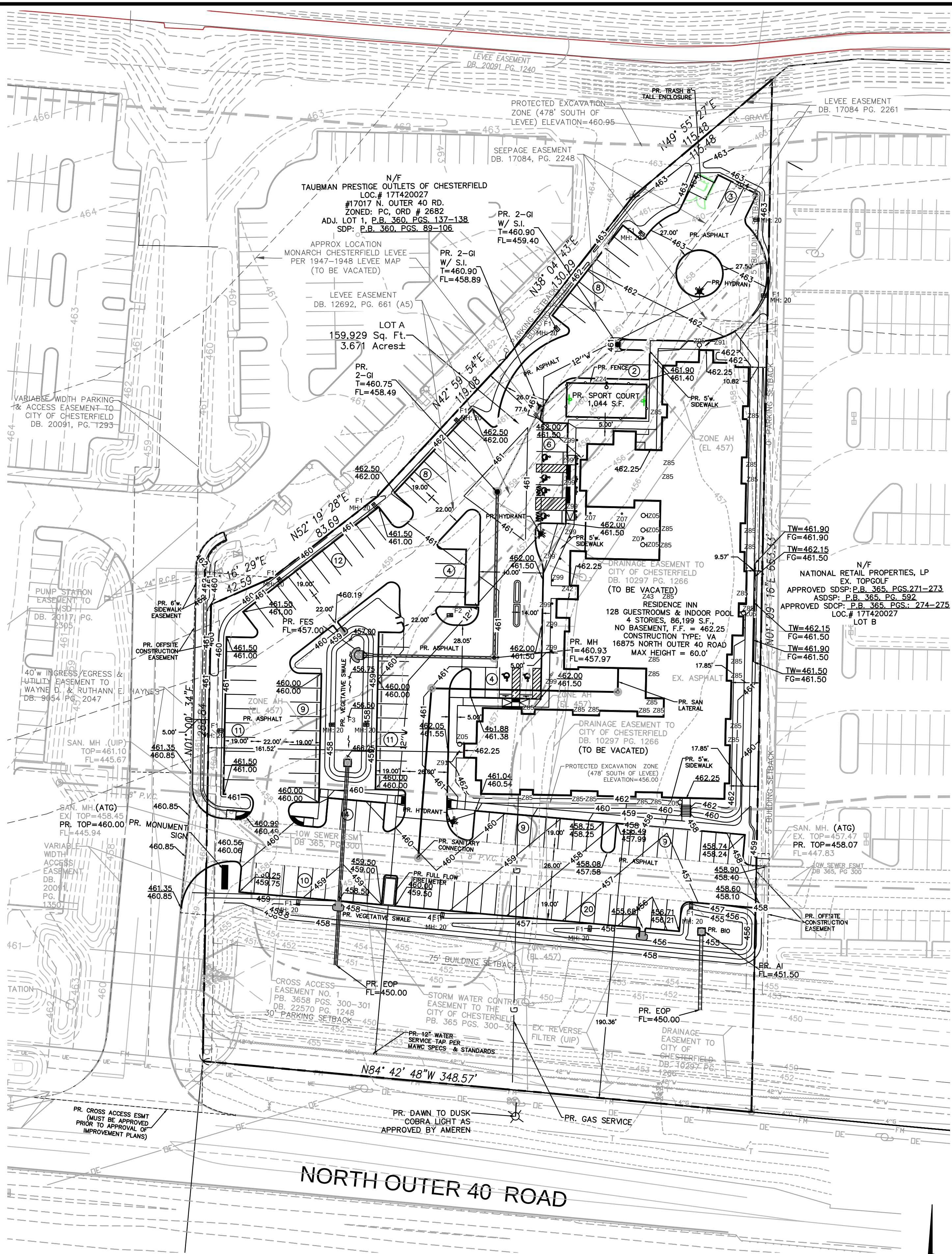
Print Name

My commission expires: \_\_\_\_\_

By: \_\_\_\_\_  
Justin Wyse, Director of Planning and Development Services

By: \_\_\_\_\_  
Vickie Hass, City Clerk

This Site Development Section Plan was approved by the City of Chesterfield Planning Commission and duly verified on the \_\_\_\_\_ day of \_\_\_\_\_, 2018, by the Chairperson of said Commission, authorizing the recording of this Amended Site Development Section Plan pursuant to Chesterfield Ordinance No. 200, as attested to by the Planning and Development Services Director and the City Clerk.



## SURVEYOR'S CERTIFICATION

This is to certify that Stock and Associates Consulting Engineers, Inc. has prepared this Amended Site Development Section Plan from a field survey and does not represent a property boundary survey. The information shown is a correct representation of all existing and proposed land divisions.

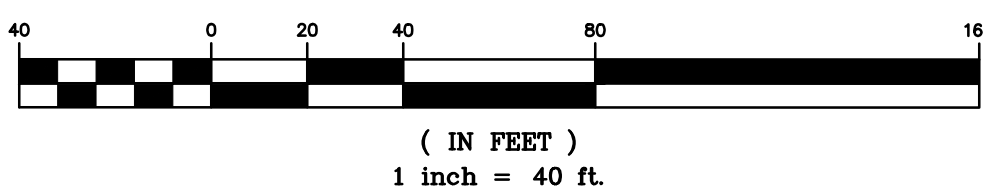
STOCK AND ASSOCIATES CONSULTING ENGINEERS INC.  
L.S. No. 222-D

DANIEL EHLMANN, MISSOURI P.L.S. NO. 2215

## SHEET INDEX

- |           |   |                               |
|-----------|---|-------------------------------|
| SDSP-1    | - | SITE DEVELOPMENT SECTION PLAN |
| SDSP-2    | - | PHOTOMETRIC PLAN              |
| SDSP-3    | - | SKY EXPOSURE PLAN             |
| L-1       | - | LANDSCAPE PLAN                |
| A201-A202 | - | ARCHITECTURE ELEVATIONS       |

## GRAPHIC SCALE



## FIRM 29189CO165K

SUBJECT PROPERTY LIES WITHIN FLOOD ZONES "SHADED X" & "AH".  
"AH" (BASE FLOOD ELEVATION 457) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS. THE MAP IS IDENTIFIED AS MAP NO. 29189CO165K, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2015.

100 YR. H.W. ELEV. - MO RIVER: 465.71 (<466.00) - HEC RAS MODEL 10/97

500 YR. H.W. ELEV. - MO RIVER: 468.00 (MILE 40) - FROM UPPER MISSISSIPPI (FLOW FREQUENCY STUDY- BY THE U.S. ARMY CORP. OF ENGINEERS, DATED MARCH 2004

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY WITH COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

## SITE BENCHMARK

#12-166  
ELEV.=458.86

"STANDARD ALUMINUM DISK" STAMPED SL-32, 1990. DISK IS SET IN BETWEEN THE HWY I-64 NORTH OUTER ROAD AND THE WEST BOUND HWY. I-64; 19' SOUTH OF THE CENTERLINE OF THE NORTH BOUND LANE HWY. I-64, APPROXIMATELY 0.5 MILES EAST OF THE INTERSECTION OF BOONES CROSSING ROAD AND NORTH OUTER ROAD. (SL-32 WAS RESET FROM UNDERGROUND POSITION. THIS IS A NEW ELEVATION SET IN JULY 2002.) AS SHOWN HEREON

## PREPARED FOR:

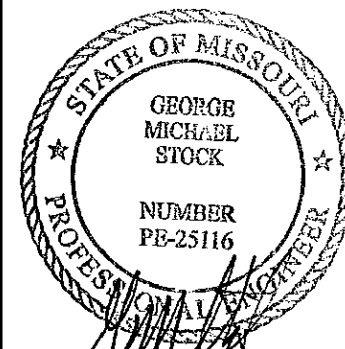
PLAZA INN, LLC  
ATTENTION: MR. JAY KOSHIYA  
1645 SWIFT AVE  
NORTH KANSAS CITY, MO 64116

PREPARED BY:

SITE DEVELOPMENT SECTION PLAN FOR:

## RESIDENCE INN

LOT A  
CITY OF CHESTERFIELD, MISSOURI 63005



6/25/18  
GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000996

## REVISIONS:

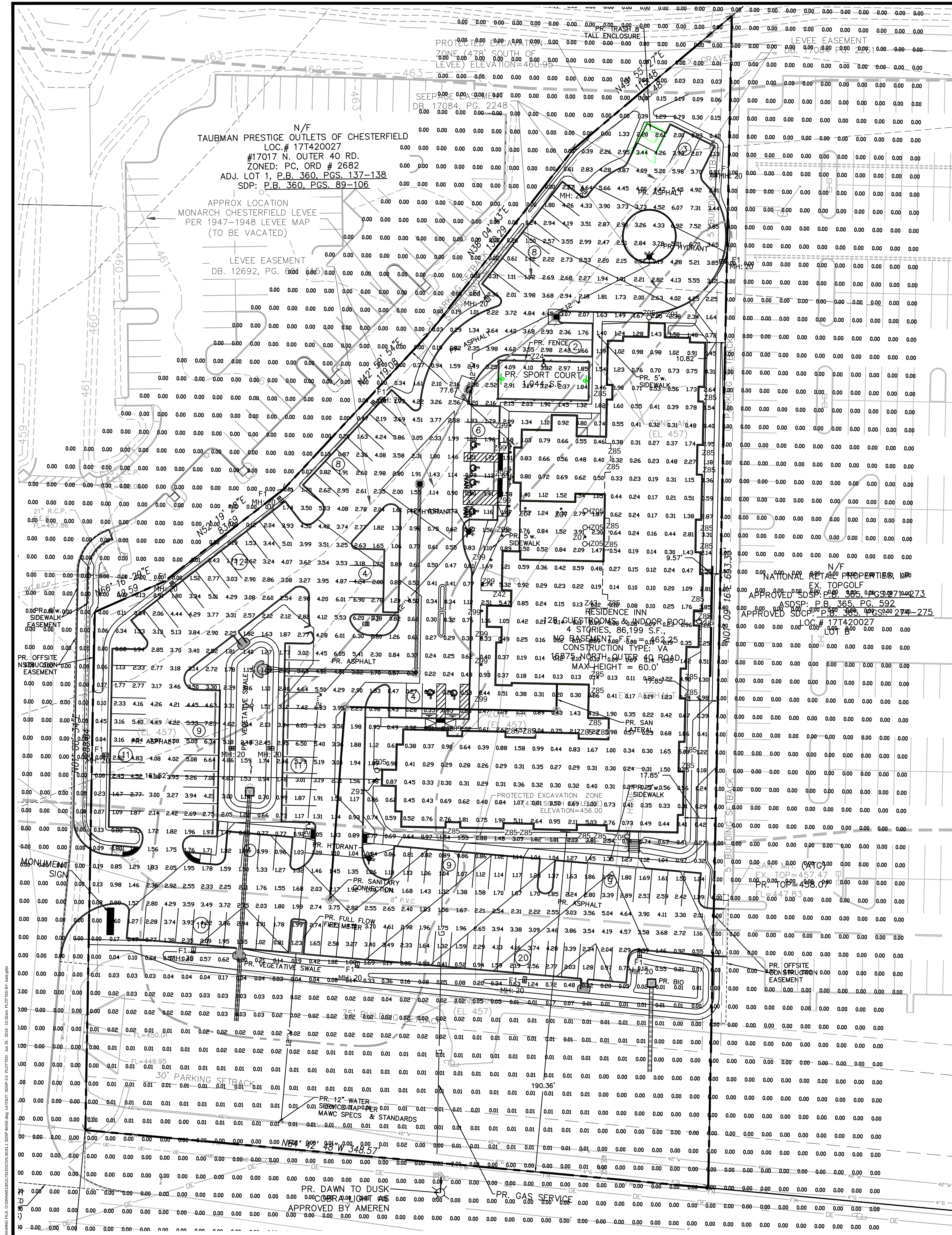
- |    |         |               |
|----|---------|---------------|
| 1. | 3/19/18 | CITY COMMENTS |
| 2. | 3/26/18 | PHOTOMETRIC   |
| 3. | 4/18/18 | CITY COMMENTS |
| 4. | 6/13/18 | CITY COMMENTS |
| 5. | 6/25/18 | CITY COMMENTS |

|                  |                    |
|------------------|--------------------|
| DRAWN BY: K.S.G. | CHECKED BY: G.M.S. |
| DATE: 01/09/2018 | JOB NO: 217-6191.1 |
| M.S.D. P. #      | BASE MAP #         |
| SLC. H&T #       | H&T SUP. #         |
| M.D.N.R. #       |                    |

SHEET TITLE:  
SITE DEVELOPMENT  
SECTION PLAN

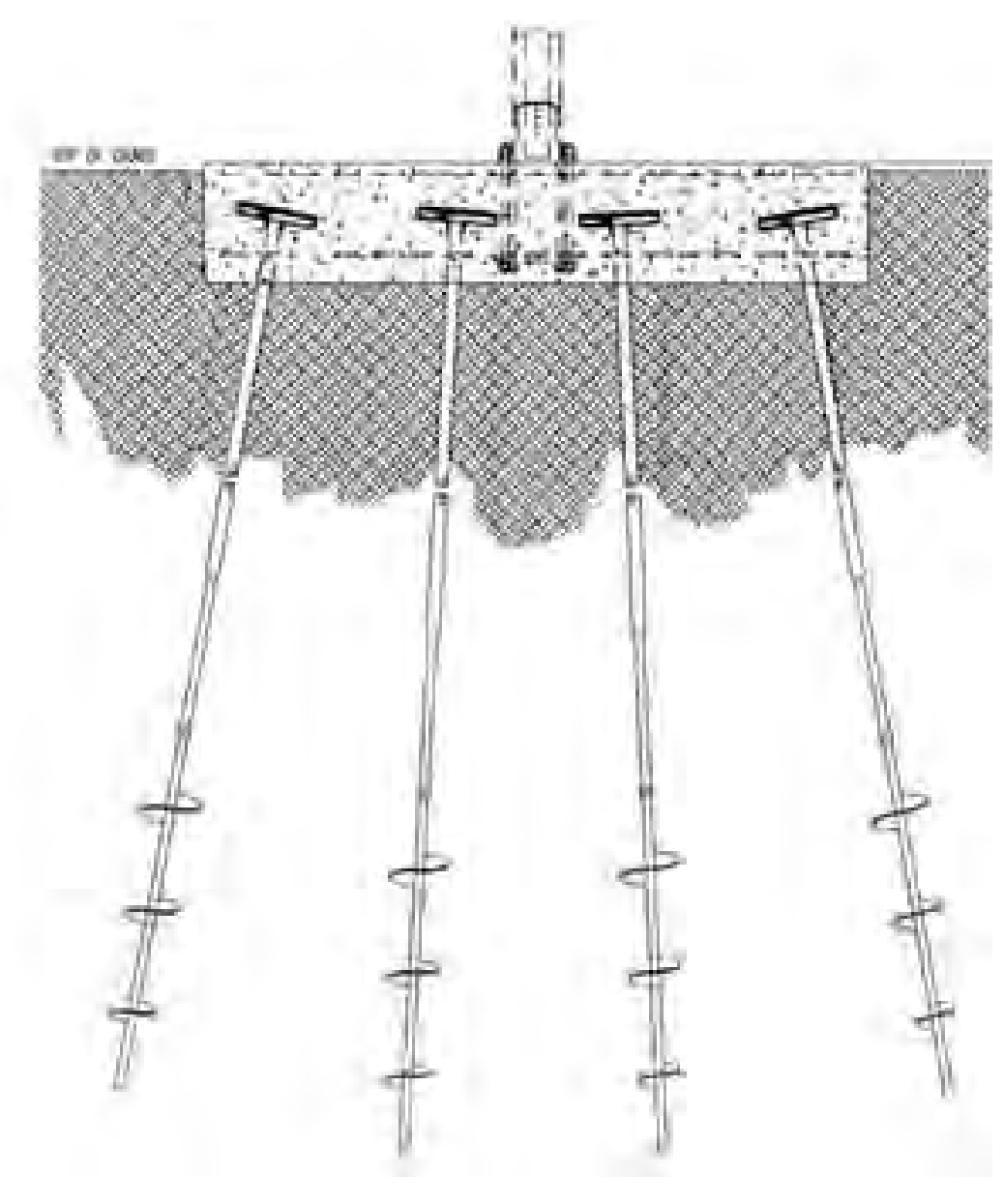
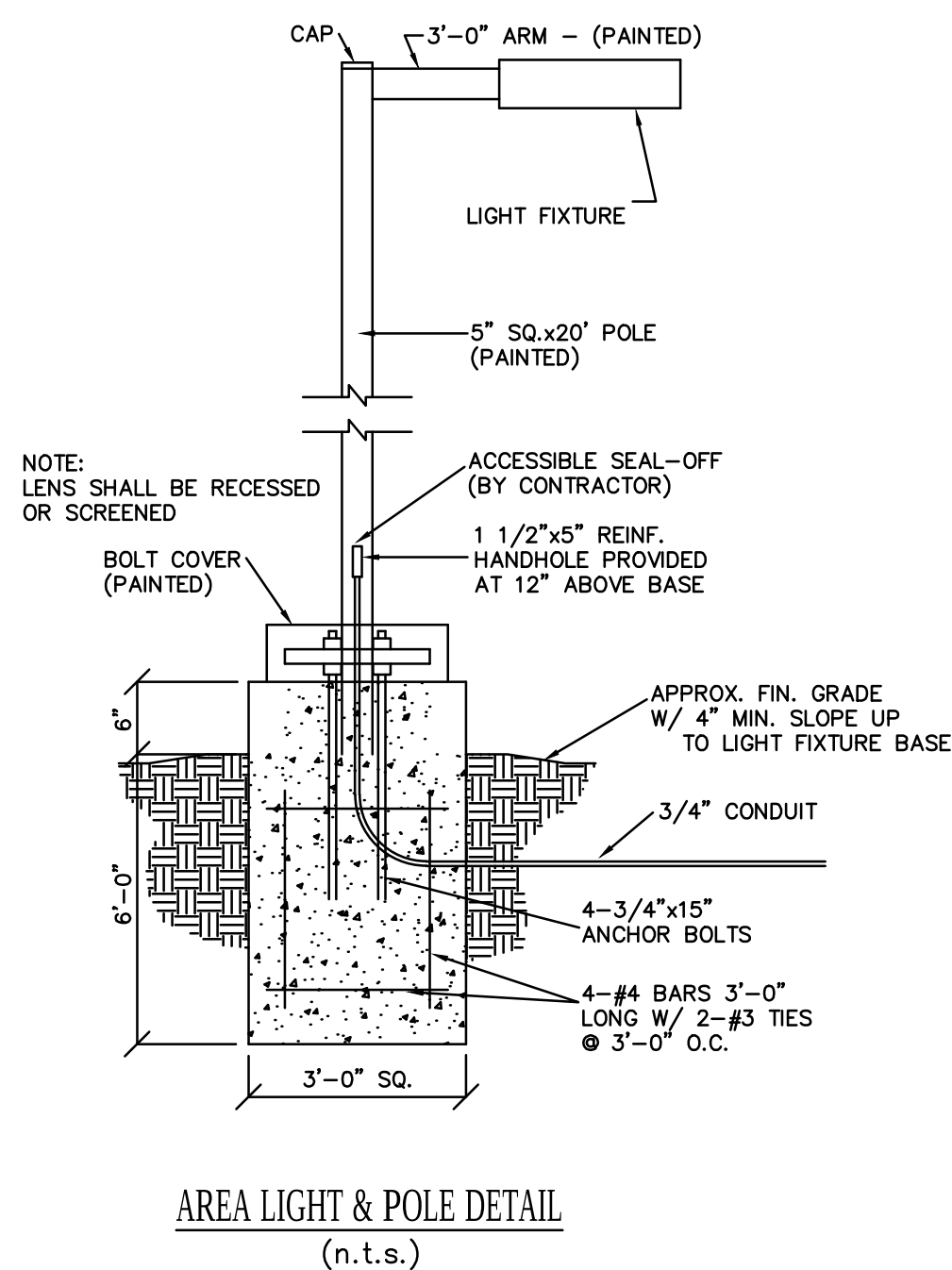
SHEET NO.:  
SDSP-1.0





| Symbol | Type | Quantity | Article number  | Article name     | Equipment                      | Fully Shielded | Flat Lensed |
|--------|------|----------|-----------------|------------------|--------------------------------|----------------|-------------|
| ☉      | Z05  | 07       | 49623BKTLED     | Amber Vallye     | 1x Sconce LIGHT LED 17W        | YES            | YES         |
| ☉      | Z07  | 03       | 49625BKTLED     | Lantern          | 1x Decorative LIGHT LED 17W    | YES            | YES         |
| ⦿      | Z24  | 01       | LI-FLDF050-XYZ  | ELENORA - 50W -3 | 1x AREA LIGHT LED 50W - Type 4 | NO             | YES         |
| ⦿      | Z42  | 01       | CL914           | Exterior Pendant | 1x Exterior Pendant 51W        | YES            | NO          |
| ⦿      | Z43  | 01       | CLK913          | Exterior Pendant | 1x Exterior Pendant 75W        | YES            | NO          |
| ●      | Z85  | 30       | IL-D536         | LED Downlight    | 1x Downlight 20W LED           | YES            | NO          |
| ○      | Z91  | 02       | NHM-612         | LED Downlight    | 1x Downlight 1250 lm LED       | YES            | NO          |
| ○      | Z99  | 11       | IL-C13BS        | LED BOLLARD      | 1x LED BOLLARD 25W             | YES            | YES         |
| ⦿      | F1   | 12       | LI-PLYR298-W150 | AURA - 150W -4   | 1x AREA LIGHT LED 50W - Type 4 | YES            | YES         |
| ⦿      | F2   | 2        | LI-PLYR298-W150 | AURA - 150W -3   | 1x AREA LIGHT LED 50W - Type 3 | YES            | YES         |
| ⦿      | F3   | 1        | LI-PLYR298-W150 | AURA - 150W -4   | 1x AREA LIGHT LED 50W - Type 4 | YES            | YES         |

| AREA          | AVERAGE ILLUMINANCE | MINIMUM ILLUMINANCE | MAXIMUM ILLUMINANCE | AVG/MIN | MAX/MIN |
|---------------|---------------------|---------------------|---------------------|---------|---------|
| ENTIRE SITE   | 0.66                | 0.00                | 7.52                | NA      | NA      |
| PAVEMENT AREA | 2.88                | 0.69                | 7.59                | 4.17    | 11.00   |



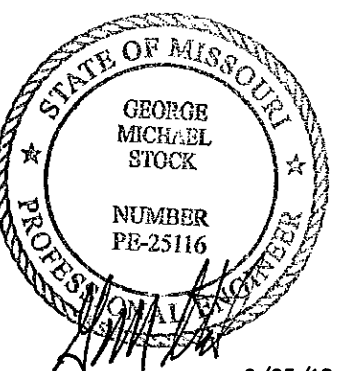
NOTE:  
PARKING LIGHTING WILL NOT BE LOWER THAN 10 FEET ABOVE GRADE AND MOUNTING HEIGHTS OF LIGHTING FIXTURES SHALL NOT EXCEED 20 FEET.

PREPARED BY:

SITE DEVELOPMENT SECTION PLAN FOR:

RESIDENCE INN

LOT A  
CITY OF CHESTERFIELD, MISSOURI 63005



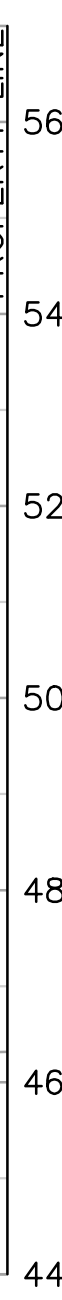
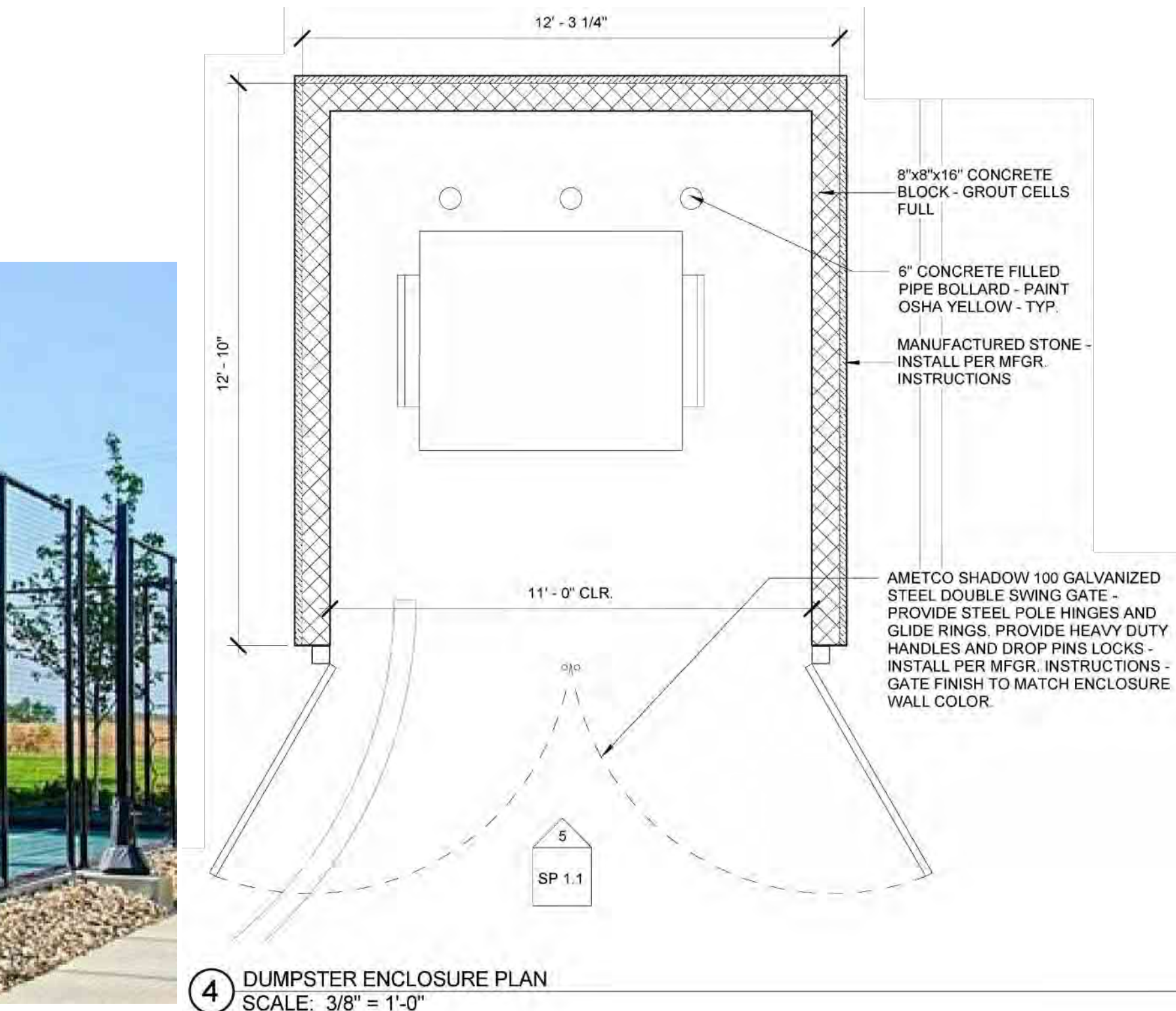
6/25/18  
GEORGE M. STOCK E-25116  
CIVIL ENGINEER  
CERTIFICATE OF AUTHORITY  
NUMBER: 000996

REVISIONS:

- 3/19/18 CITY COMMENTS
- 3/26/18 PHOTOMETRIC
- 4/18/18 CITY COMMENTS
- 6/13/18 CITY COMMENTS
- 6/25/18 CITY COMMENTS

DRAWN BY: K.S.G. CHECKED BY: G.M.S.  
DATE: 01/09/2018 JOB NO: 217-6191.1  
W.S.D. P. # BASE MAP # 171  
S.L.C. H&T # H&T S.U.P. #  
M.D.N.R. #  
SHEET TITLE: PHOTOMETRIC PLAN  
SHEET NO.: SDSP-2.0



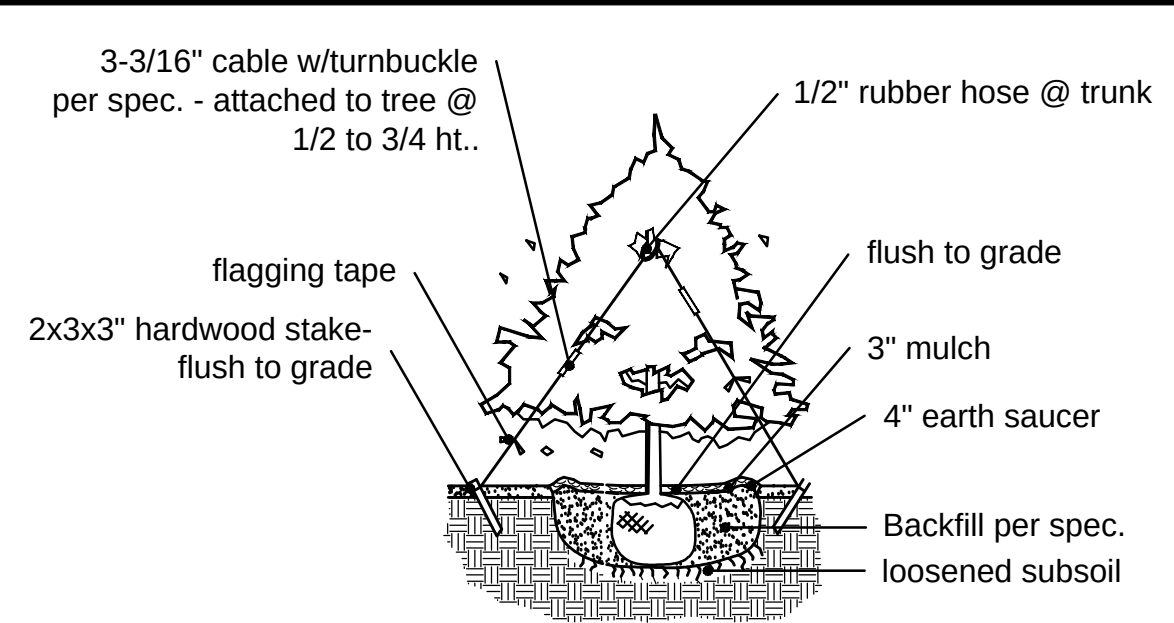
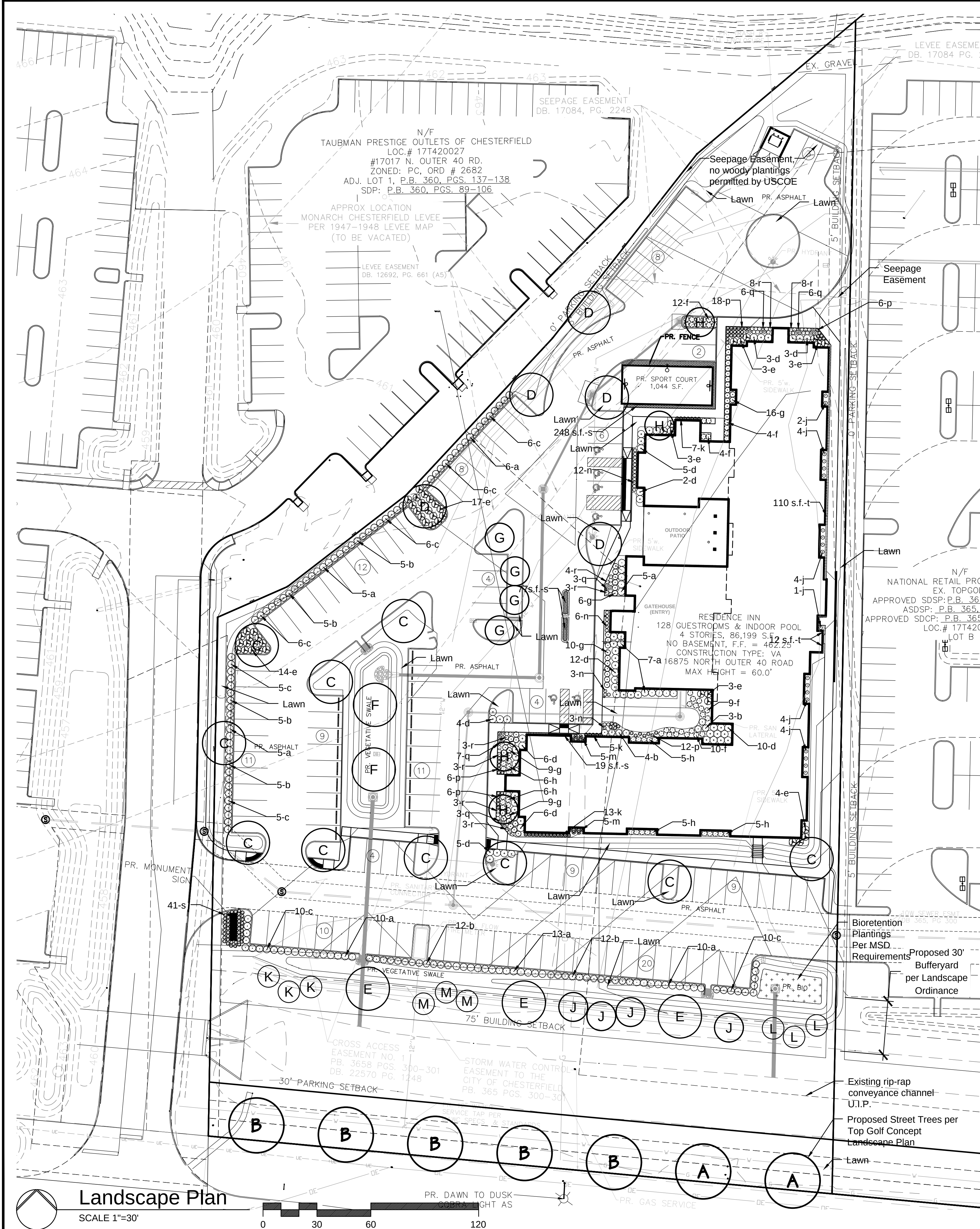


SHEET NO.:  
SDSP-3.0

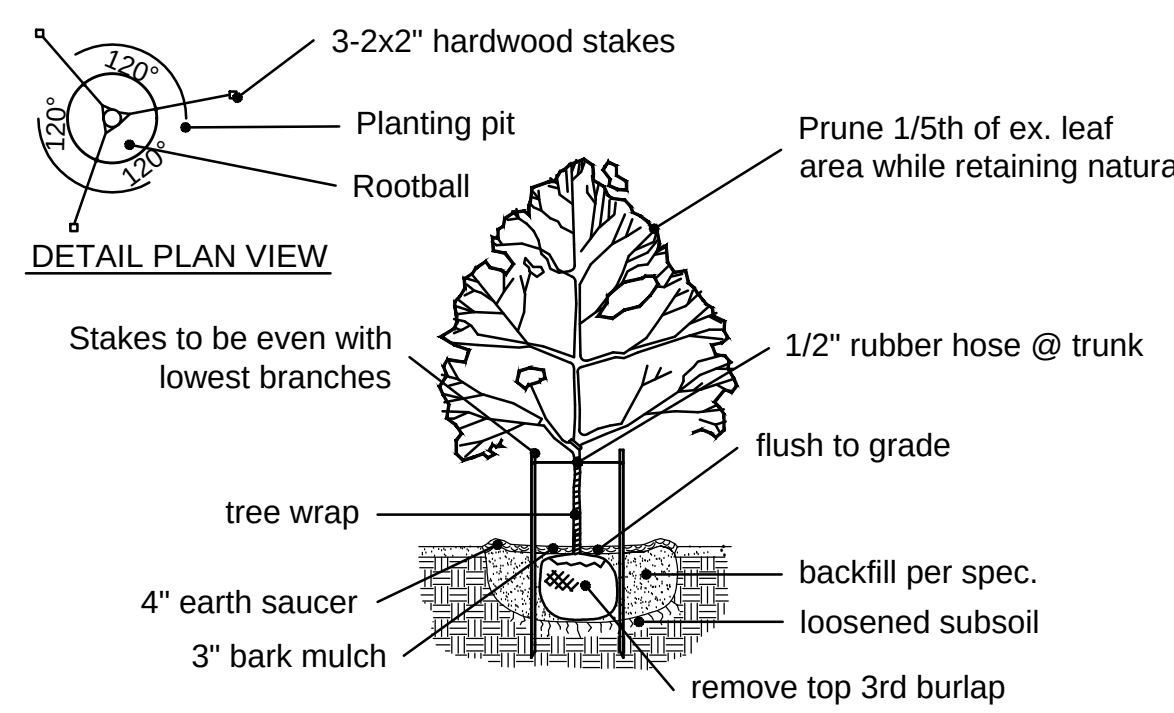
**STOCK & ASSOCIATES**  
257 Chesterfield Business Parkway  
St. Louis, MO 63005 PH: (636)  
530-9100 FAX (636) 530-9130  
e-mail: [general@stockassoc.com](mailto:general@stockassoc.com)  
Web: [www.stockassoc.com](http://www.stockassoc.com)

LOT A  
CITY OF CHESTERFIELD, MISSOURI 63005

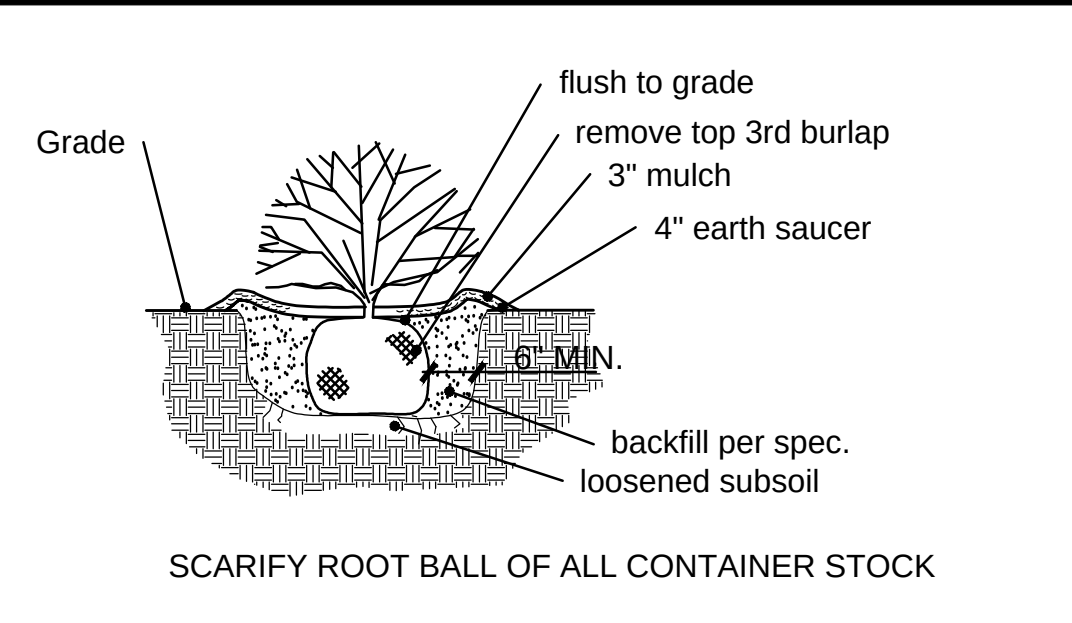




TYPICAL EVERGREEN PLANTING



TYPICAL SHRUB PLANTING



TYPICAL PERENNIAL PLANTING

| PLANTING SCHEDULE                             |                                             |  |                                  |           |           |                  |                           |
|-----------------------------------------------|---------------------------------------------|--|----------------------------------|-----------|-----------|------------------|---------------------------|
| QUANTITY                                      | BOTANICAL NAME                              |  | COMMON NAME                      | SIZE      | REMARKS   | SIZE/GROWTH RATE | SLOW/MEDIUM GROWTH RATE % |
| CANOPY-SHADE TREES                            |                                             |  |                                  |           |           |                  |                           |
| 2                                             | Carpinus betula                             |  | European Hornbeam                | 2.5" cal. | B&B       | Med/Slow-M       | 4 %                       |
| 5                                             | Quercus acutissima                          |  | Sawtooth Oak                     | 2.5" cal. | B&B       | Lg/Med           | 10 %                      |
| 11                                            | Acer x Freemanii 'Armstrong'                |  | Armstrong Maple                  | 2.5" cal. | B&B       | Lg/Fast          |                           |
| 5                                             | Zelkova serrata 'Green Vase'                |  | Green Vase Zelkova               | 2.5" cal. | B&B       | Lg/Fast          |                           |
| 3                                             | Quercus bicolor                             |  | Swamp White Oak                  | 2.5" cal. | B&B       | Lg/Med           | 6 %                       |
| 2                                             | Ostrya virginiana                           |  | Hophornbeam                      | 2.5" cal. | B&B       | Med/Slow-M       | 4 %                       |
| UNDERSTORY-ORNAMENTAL TREES                   |                                             |  |                                  |           |           |                  |                           |
| 4                                             | Carpinus caroliniana                        |  | American Hornbeam                | 2.5" cal. | B&B       | Small/Med        | 8 %                       |
| 4                                             | Prunus sargentii 'Columnaris'               |  | Columnar Sargent Cherry          | 2.5" cal. | B&B       | Med/Med          | 8 %                       |
| 4                                             | Amelanchier grandiflora 'Autumn Brilliance' |  | Autumn Brilliance Serviceberry   | 2.5" cal. | B&B       | Med/Slow-M       | 8 %                       |
| EVERGREEN TREES                               |                                             |  |                                  |           |           |                  |                           |
| 3                                             | Picea glauca                                |  | White Spruce                     | 6' h.     | B&B       | Med/M-Fast       |                           |
| 3                                             | Picea abies                                 |  | Norway Spruce                    | 6' h.     | B&B       | Lg/M-Fast        |                           |
| 3                                             | Pinus strobus                               |  | White Pine                       | 6' h.     | B&B       | Lg/Fast          |                           |
|                                               |                                             |  |                                  |           |           | Total            | 48 %                      |
| QUANTITY                                      | BOTANICAL NAME                              |  | COMMON NAME                      | SIZE      | REMARKS   |                  |                           |
| SHRUBS-GRASSES-PERENNIALS-ANNUALS-GROUNDCOVER |                                             |  |                                  |           |           |                  |                           |
| 49                                            | Ilex glabra                                 |  | Inkberry                         | 24"       | Container |                  |                           |
| 44                                            | Syringa meyeri 'Palibin'                    |  | Korean Lilac                     | 24"       | Container |                  |                           |
| 54                                            | Spiraea japonica 'Anthony Waterer'          |  | Anthony Waterer Spirea           | 24"       | Container |                  |                           |
| 56                                            | Buxus sempervirens 'Vardar Valley'          |  | Vardar Valley Boxwood            | 24"       | Container |                  |                           |
| 47                                            | Ceanothus americanus                        |  | New Jersey Tea                   | 24"       | Container |                  |                           |
| 39                                            | Spiraea nipponica 'Snowmound'               |  | Snowmound Spirea                 | 24"       | Container |                  |                           |
| 50                                            | Fothergilla gardenii                        |  | Dwarf Fothergilla                | 24"       | Container |                  |                           |
| 27                                            | Abelia x grandiflora 'Kaleidoscope'         |  | Kaleidoscope Abelia              | 18"       | Container |                  |                           |
| 19                                            | Rhus aromatica 'Gro-Low'                    |  | Gro-Low Fragrant Sumac           | 18"       | Container |                  |                           |
| 25                                            | Calamagrostis x acutiflora 'Karl Foerster'  |  | Karl Foerster Feather Reed Grass | 1 gal.    | Container |                  |                           |
| 10                                            | Panicum virgatum 'Heavy Metal'              |  | Heavy Metal Switchgrass          | 1 gal.    | Container |                  |                           |
| 24                                            | Pennisetum alopecuroides 'Hamel'            |  | Hamel Fountain Grass             | 1 gal.    | Container |                  |                           |
| 48                                            | Sporobolus heterolepis 'Tara'               |  | Tara Prairie Dropseed            | 2 qt.     | Container |                  |                           |
| 25                                            | Leucanthemum x superbum 'Crazy Daisy'       |  | Crazy (Shasta) Daisy             | 2 qt.     | 24" o.c.  |                  |                           |
| 35                                            | Achillea 'Coronation Gold'                  |  | Coronation Gold Yarrow           | 2 qt.     | 24" o.c.  |                  |                           |
| 366 s.f.                                      | Iberis sempervirens                         |  | Candytuft                        | 1 qt.     | 12" o.c.  |                  |                           |
| 122 s.f.                                      | Liriope spicata                             |  | Liriope                          | 1 qt.     | 12" o.c.  |                  |                           |

Open Space = 45.86%

Note: All new landscape shall be irrigated with an automatic underground sprinkler system per the City of Chesterfield Unified Code Section 04-02.

Jerald Saunders - Landscape Architect  
MO License # LA-007

Consultants:

Residence Inn

Lot A, City of Chesterfield, Missouri 63005

| Revisions: |               |     |
|------------|---------------|-----|
| Date       | Description   | No. |
| 2/27/18    | City Comments | 1   |
| 4/17/18    | City Comments | 2   |
| 5/3/18     | Plan Changes  | 3   |
| 6/14/18    | City Comments | 4   |

Drawn: KP  
Checked: RS

loomisAssociates

landscapeArchitectsPlanners  
707 Spirit of the West Drive, Suite 105  
Chesterfield, MO 63005  
P: 636.519.5658 F: 636.519.5977  
E: info@loomis-associates.com

Missouri State Certificate of Authority #: LAC #00010191

|              |                |
|--------------|----------------|
| Sheet Title: | Landscape Plan |
| Sheet No:    | L-1            |
| Date:        | 1/12/18        |
| Job #:       | 813.063        |





## chasen b. garrett

ARCHITECTS, PLLC

4/20/2018

### **Architect's Statement of Design – Residence Inn – 16875 North Outer 40 Road – Chesterfield, Missouri**

#### **General Requirements for Site Design:**

##### **Site Relationship**

The new hotel development will be addressed to 16875 North Outer 40 Road. The site is situated between two established commercial developments on the east and west. It is bordered on the south by North Outer 40 Road. This building will have prominent views from each of its four elevations. For this reason, all four elevations have been considered as primary and have received treatment addressing them as such. However, due to the need to direct hotel guests to the main entry and lobby, the western view and elevation has received special attention to draw guests to that main entry.

##### **Circulation System and Access**

The site will have one main entry point on the west and will have secondary entry point via the adjacent site. The location of the building on the site required a large circle drive to the north and a connection point to the adjacent site on the southeast. Through these two points there are double loaded corridors and wide drives.

Pedestrian circulation is provided by means of a sidewalk system built to city standards. This sidewalk system is provided on the street sides of the building as well as internal walks that connect the building with parking areas and the street walks.

##### **Topography**

The existing topography slopes from north to south. On the southern end of the property is a large drainage channel. The site slowly slopes towards this drainage channel. On the building there will be steeper grades.

##### **Retaining Walls**

No retaining wall are required or planned for this development.

#### **General Requirements for Building Design:**

##### **Scale**

This building will be a 4-story structure with a roof apex height approximately 56' above finish floor. The building is L-shaped with the longest part of the L running north and south. The entry/check in area is contained within a one-story "gatehouse" that is attached to the main four-story building. The building is taller than several of the buildings in the area. However, this helps to reduce site impermeability by raising the building vertically instead of spreading the building out over a large ground floor footprint. This height and shape configuration is also necessary for the typology of a hotel and residential building where each sleeping area requires a window and natural light.

The scale and composition of design elements have been set as they are in order to achieve a balanced façade and proportion. The human scale is achieved at the public entrance areas of the building where guests interact with the building.

405 Garrison Ave. Ste. 103 • Fort Smith, AR 72901

Phone: 479-652-0175 • Fax: 479-434-5004 • [www.cbgarchitects.com](http://www.cbgarchitects.com)

## Design

The hotel employs schematic massing concepts reminiscent of the Prairie Style in its overall horizontality of the two primary elevations. This horizontal is further accentuated by the horizontal window banks which serve the hotel's guestrooms. This horizontal theme extends down to the entry canopy which is an elongated flag roof canopy with partial openings in the roof that allow light to filter into the gathering spaces outside.

The roof lines are of slight pitch and slope low to allow the building to rise from the site but yet harmonize with the surrounding landscape as the building's roof lines and the earth horizon complement each other. Additionally, the roof massing is thickened to evoke the Prairie style.

The building materiality will be expressed in the use of native finishes. The use of stone and fiber cement panels are common with the Prairie Style and help the building to appear as an extension of the landscape.

## Materials and Colors

The building will use a combination of cement fiber board siding and manufactured stone. The colors of which are indicated in the schedule below. Samples will be submitted separate from this document.

| EXTERIOR MATERIAL FINISH SCHEDULE |                           |                         |              |                                                                                                             |
|-----------------------------------|---------------------------|-------------------------|--------------|-------------------------------------------------------------------------------------------------------------|
| ITEM                              | MATERIAL                  | LOCATION                | MANUFACTURER | FINISH DESCRIPTION                                                                                          |
| #1                                | ALUMINUM TRIM/ROOF        | ROOF/TOE SCRAWLS        | VARIES       | ALUMINUM FRAME - FIBER FINISHED WHITE                                                                       |
| #2                                | REPAINT SHINGLES          | ROOF/TOE                | UNPAINTED    | UNPAINTED - WEATHERED WOOD                                                                                  |
| #3                                | STANDING SEAM METAL ROOF  | UPPER LOW SLOPE ROOFS   | VARIES       | COUPLED STANDING SEAM METAL ROOFING - DARK GREY COLOR                                                       |
| #4                                | FIBER CEMENT SIDING TRIM  | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDEE SIDING TRIM - PAINTED TO MATCH SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448                            |
| #5                                | FIBER CEMENT SIDING TRIM  | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDEE SIDING TRIM - PAINTED TO MATCH SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448                            |
| #6                                | FIBER CEMENT SIDING TRIM  | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDEE SIDING TRIM - PAINTED TO MATCH SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448                            |
| #7                                | FIBER CEMENT SIDING TRIM  | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDEE SIDING TRIM - PAINTED TO MATCH SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448                            |
| #8                                | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #9                                | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE SIDING - SMOOTH - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448                                         |
| #10                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #11                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #12                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #13                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #14                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #15                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #16                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #17                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #18                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #19                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #20                               | FIBER CEMENT SIDING       | REFER TO DRAWINGS       | JAMES HARDIE | HARDEE PLANK LAP SIDING 4" EXPOSURE - SELECT CEDARWALL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-3448 |
| #21                               | MANUFACTURED STONE VENEER | REFER TO DRAWINGS       | BLOOMING     | STACKED STONE "NAVYBLUE"                                                                                    |

## Landscape Design and Screening

A complete landscape design has been completed and submitted with this document. This landscape design has been completed per city standards and includes several techniques to achieve the overall strategy. First, street perimeter tree plantings have been provided to as well as the interior parking area trees. Furthermore, foundational plantings have been provided at the base of the building to ground the building and provide flora where most guest foot traffic will be concentrated. The entryways receive an increase in these foundation plantings to accentuate the entries for guest courtesies. Mechanical units will be located on the one-story roof areas of the building. These mechanical units will be screened by parapets or roofs.

## Lighting

The development will utilize several different lighting strategies. For the site lighting, 20' high pole mounted, 200w, Metal Halide fixtures with full cut features are used. This is for general light levels in the parking and other site spaces. At the building, the entry has a higher amount of general lighting and decorative lighting to ensure safe passage into the building. Certain features such as a sitting area also has decorative task lighting. The building itself has "gatehouse" lights that provide a decorative point light to draw the attention of guests. One light is situated in the upper center roof soffit in an area and the other is right above the main entry door.

Sincerely,

Chasen B. Garrett AIA, LEED, AP BD+C

405 Garrison Ave. Ste. 103 • Fort Smith, AR 72901

Phone: 479-652-0175 • Fax: 479-434-5004 • [www.cbgarchitects.com](http://www.cbgarchitects.com)





2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

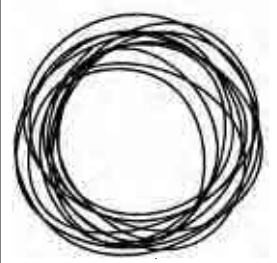
| EXTERIOR MATERIAL FINISH SCHEDULE |                            |                         |              |                                                                                                               |  |
|-----------------------------------|----------------------------|-------------------------|--------------|---------------------------------------------------------------------------------------------------------------|--|
| MARK                              | MATERIAL                   | LOCATION                | MANUFACTURER | FINISH DESCRIPTION                                                                                            |  |
| AL1                               | WINDOWS/STOREFRONTS        | REFER TO DRAWINGS       | VARIES       | ALUMINUM FRAME - PRE-FINISHED WHITE                                                                           |  |
| AS1                               | ASPHALT SHINGLES           | TYPICAL ROOF            | CERTAINTED   | LANDMARK - WEATHERED WOOD                                                                                     |  |
| MR1                               | STANDING SEAM METAL ROOF   | UPPER LOW SLOPE ROOFS   | PACCLAD      | SNAP CLAD STANDING SEAM METAL ROOFING - GRAPHITE COLOR                                                        |  |
| PT1                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "HAMMERED SILVER" SW-2840                      |  |
| PT2                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "PENNYWISE" SW-6349                            |  |
| PT3                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "SMOKEY TOPAZ" SW-6117                         |  |
| PT4                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                          |  |
| S1                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-2840   |  |
| S1a                               | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIE SIDING - SMOOTH - SHERWIN WILLIAMS "HAMMERED SILVER" SW-2840                                           |  |
| S2                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIE PLANK LAP SIDING 10 3/4" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "PENNYWISE" SW-6349    |  |
| S3                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIE PLANK LAP SIDING 10 3/4" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "SMOKEY TOPAZ" SW-6117 |  |
| S4                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006       |  |
| S5                                | FIBER CEMENT SIDING SOFFIT | ROOF SOFFITS            | JAMES HARDIE | HARDIE SOFFIT PANELS - VENTED - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "WHITE"                           |  |
| S6                                | FIBER CEMENT SIDING        | GATEHOUSE               | JAMES HARDIE | HARDIE SIDING - SMOOTH - SHERWIN WILLIAMS "WHITE"                                                             |  |
| ST1                               | MANUFACTURED STONE VENEER  | REFER TO DRAWINGS       | EL DORADO    | STACKED STONE "NANTUCKET"                                                                                     |  |



1 WEST ELEVATION  
SCALE: 1" = 10'-0"

| PLAN STATUS     |            | DATE |
|-----------------|------------|------|
| DESCRIPTION     | 02/26/2018 |      |
| ARB SUBMITTAL 1 | 04/18/2018 |      |
| ARB SUBMITTAL 2 | 04/18/2018 |      |
| ARB SUBMITTAL 3 | 06/08/2018 |      |
| AF              |            |      |

chasen b. garrett  
ARCHITECTS, PLLC  
405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175



RESIDENCE INN - #11090  
KMG HOTELS  
16875 NORTH OUTER 40 ROAD - CHESTERFIELD, MO  
EXTERIOR ELEVATIONS



CHASEN B. GARRETT - ARCHITECT  
MO# A-2014010812

DATE:  
04/18/2018

SHEET NUMBER:

A201





2 EAST ELEVATION  
SCALE: 1" = 10'-0"

| EXTERIOR MATERIAL FINISH SCHEDULE |                            |                         |              |                                                                                                              |  |
|-----------------------------------|----------------------------|-------------------------|--------------|--------------------------------------------------------------------------------------------------------------|--|
| MARK                              | MATERIAL                   | LOCATION                | MANUFACTURER | FINISH DESCRIPTION                                                                                           |  |
| AL1                               | WINDOWS/STOREFRONTS        | REFER TO DRAWINGS       | VARIES       | ALUMINUM FRAME - PRE-FINISHED WHITE                                                                          |  |
| AS1                               | ASPHALT SHINGLES           | TYPICAL ROOF            | CERTAINTED   | LANDMARK - WEATHERED WOOD                                                                                    |  |
| MR1                               | STANDING SEAM METAL ROOF   | UPPER LOW SLOPE ROOFS   | PACCLAD      | SNAP CLAD STANDING SEAM METAL ROOFING - GRAPHITE COLOR                                                       |  |
| PT1                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "HAMMERED SILVER" SW-2840                     |  |
| PT2                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "PENNYWISE" SW-6349                           |  |
| PT3                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "SMOKEY TOPAZ" SW-6117                        |  |
| PT4                               | FIBER CEMENT SIDING TRIM   | WINDOW TRIM AND CORNERS | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                         |  |
| S1                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIEPLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "HAMMERED SILVER" SW-2840   |  |
| S1a                               | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIE SIDING - SMOOTH - SHERWIN WILLIAMS "HAMMERED SILVER" SW-2840                                          |  |
| S2                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIEPLANK LAP SIDING 10 3/4" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "PENNYWISE" SW-6349    |  |
| S3                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIEPLANK LAP SIDING 10 3/4" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "SMOKEY TOPAZ" SW-6117 |  |
| S4                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS       | JAMES HARDIE | HARDIEPLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006       |  |
| S5                                | FIBER CEMENT SIDING SOFFIT | ROOF SOFFITS            | JAMES HARDIE | HARDIESOFFIT PANELS - VENTED - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "WHITE"                           |  |
| S6                                | FIBER CEMENT SIDING        | GATEHOUSE               | JAMES HARDIE | HARDIE SIDING - SMOOTH - SHERWIN WILLIAMS "WHITE"                                                            |  |
| ST1                               | MANUFACTURED STONE VENEER  | REFER TO DRAWINGS       | EL DORADO    | STACKED STONE "NANTUCKET"                                                                                    |  |



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

| PLAN STATUS     |            | DATE |
|-----------------|------------|------|
| DESCRIPTION     | 02/26/2018 |      |
| ARB SUBMITTAL   | 04/18/2018 |      |
| ARB SUBMITTAL 2 |            |      |
| ARB SUBMITTAL 3 | 06/08/2018 |      |

chasen b. garrett

ARCHITECTS, PLLC

405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175

RESIDENCE INN - #11090  
KMG HOTELS

16875 NORTH OUTER 40 ROAD - CHESTERFIELD, MO

EXTERIOR ELEVATIONS

STATE OF MISSOURI

CHASEN B. GARRETT

A-2014010812

ARCHITECT

CHASEN B. GARRETT - ARCHITECT  
MO# A-2014010812

DATE:  
04/18/2018

SHEET NUMBER:  
A202





NORTHWEST RENDERING



SOUTHWEST RENDERING

[illegible]

chasen b. garrett  
ARCHITECTS, PLLC

405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175

**RESIDENCE INN - #11090**  
KMG HOTELS  
18875 NORTH OUTER 40 ROAD - CHESTERFIELD, MO  
**EXTERIOR RENDERINGS**

04/18/2018

STATE OF MISSOURI  
CHASEN B. GARRETT  
ARCHITECT  
MO# A-2014010812

CHASEN B. GARRETT - ARCHITECT  
MO# A-2014010812

DATE: 04/18/2018

SHEET NUMBER:

A203

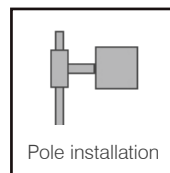
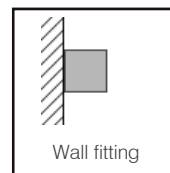






## DESCRIPTION

AURA series is the most economical outdoor luminaire suitable for parking lot lighting, and street lighting. Individual engines with aluminum heatsinks provide easy thermal management.



|  |  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|--|
|  |  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|--|

## ORDERING INFORMATION

| Model           | Watts | Lumen | Optic                         | Color Temp.            | CRI | Optional                                              | Finish color |
|-----------------|-------|-------|-------------------------------|------------------------|-----|-------------------------------------------------------|--------------|
| LI-PLYR298-W150 | 150   | 18000 | A = Type 3, 4<br>(Asymmetric) | 0 = 4000K<br>1 = 5000K | 80  | 1 = Dimmable<br>2 = Occupancy Sensor<br>3 = Photocell | BR           |

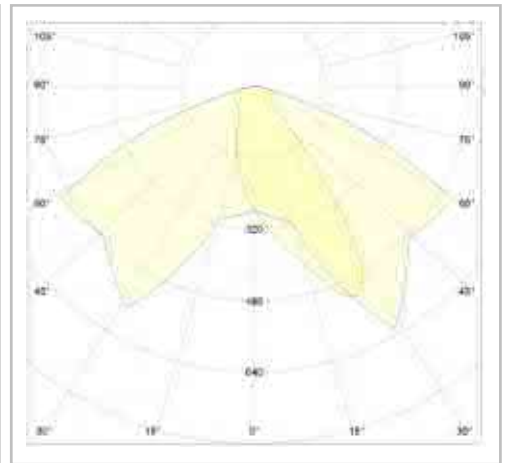
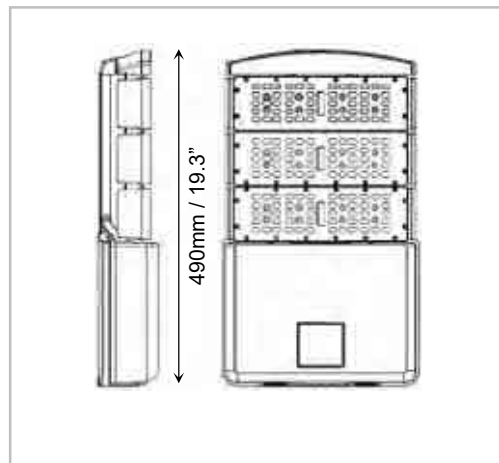
Ordering Example:

LI-PLYR298-W150-150-A-1-1-BR

Project name:



- Material: Aluminum Die Casting. Salt mist resistance & anti aging. High thermal conductivity.
- Bug rating: B2-U0-G2
- Led type: Phillips Lummi LED'S LUXEON 3030 2D.
- Electrical: 120~ 277Vac, 50/60Hz Driver included.
- Power factor:  $\geq 95\%$
- Led efficiency: 130 lm/W
- Color temperature: 4000K, 5000K
- Operation temperature:  $-35^{\circ}\text{C}$  to  $55^{\circ}\text{C}$
- Color Rendering Index (CRI):  $\geq 75$
- THD%: 16.3-17.9
- IP Rating: IP65



Project name:





FIXTURE MOUNTING OPTIONS

M1 = Straight Arm  
Mount



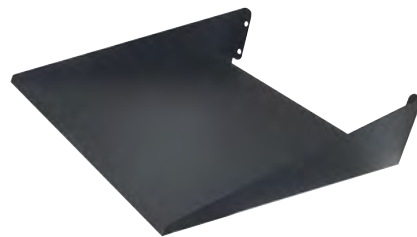
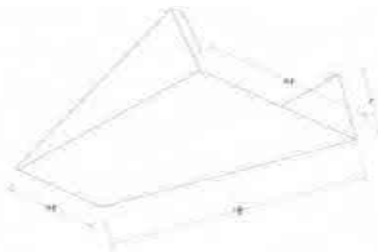
M2 = Slip Fitter



M3 = U-Bracket  
Trunnion



M4 = Back Shield



Ordering Example:

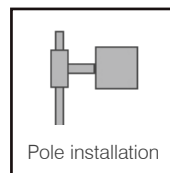
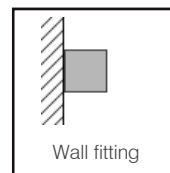
LI-PLYR298-W150-150-A-1-1-BR-M1

Project name:



## DESCRIPTION

AURA series is the most economical outdoor luminaire suitable for parking lot lighting, and street lighting. Individual engines with aluminum heatsinks provide easy thermal management.



## ORDERING INFORMATION

| Model           | Watts | Lumen | Optic                        | Color Temp.            | CRI | Optional                                              | Finish color |
|-----------------|-------|-------|------------------------------|------------------------|-----|-------------------------------------------------------|--------------|
| LI-PLYR298-W150 | 150   | 18000 | A = Type 3 4<br>(Asymmetric) | 0 = 4000K<br>1 = 5000K | 80  | 1 = Dimmable<br>2 = Occupancy Sensor<br>3 = Photocell | BR           |

### Ordering Example:

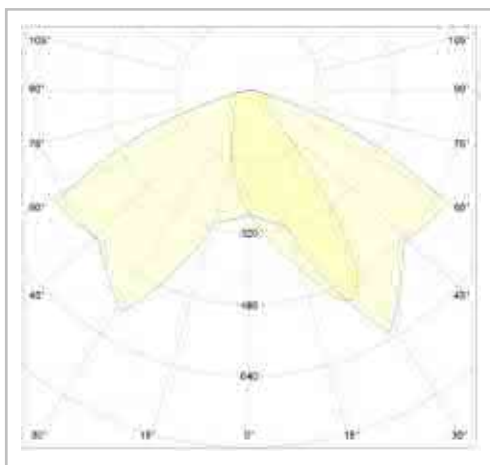
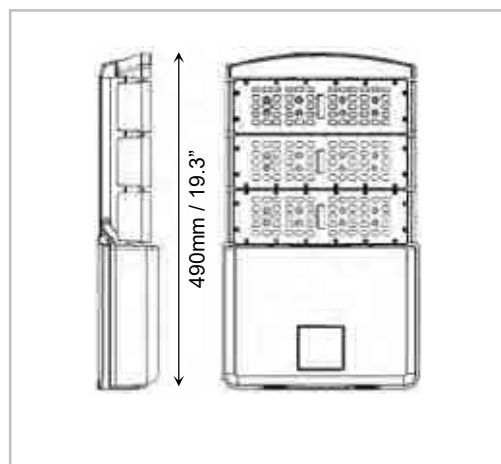
LI-PLYR298-W150-150-A-1-1-BR

Project name:





- Material: Aluminum Die Casting. Salt mist resistance & anti aging. High thermal conductivity.
- Bug rating: B2-U0-G2
- Led type: Phillips Lummi LED'S LUXEON 3030 2D.
- Electrical: 120~ 277Vac, 50/60Hz Driver included.
- Power factor:  $\geq 95\%$
- Led efficiency: 130 lm/W
- Color temperature: 4000K, 5000K
- Operation temperature:  $-35^{\circ}\text{C}$  to  $55^{\circ}\text{C}$
- Color Rendering Index (CRI):  $\geq 75$
- THD%: 16.3-17.9
- IP Rating: IP65



Project name:



FIXTURE MOUNTING OPTIONS

M1 = Straight Arm  
Mount



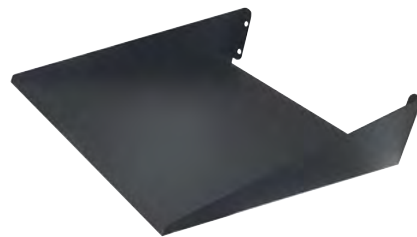
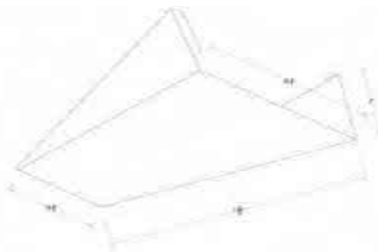
M2 = Slip Fitter



M3 = U-Bracket  
Trunnion



M4 = Back Shield



Ordering Example:

LI-PLYR298-W150-150-A-1-1-BR-M1

Project name:

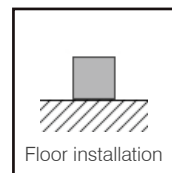
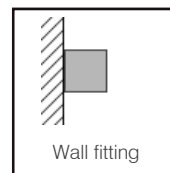
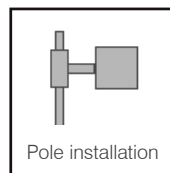


## DESCRIPTION

ALVA series family of area lighting evenly illuminate building facade, sports arenas and stadium lighting.

Patented modern slim design is stylish, with better cooling system, and high lumen efficiency.

These fixture are rated for wet location and are offered in various mounting options.



## ORDERING INFORMATION

| Model          | Watts | Lumen | Optic        | Color Temp. | CRI | Optional     | Finish color |
|----------------|-------|-------|--------------|-------------|-----|--------------|--------------|
| LI-FLDF050-XYZ | 50    | 4900  | A = 120 x 90 | 1 = 5000K   | 80  | 1 = Dimmable | BR           |

B = Type 3

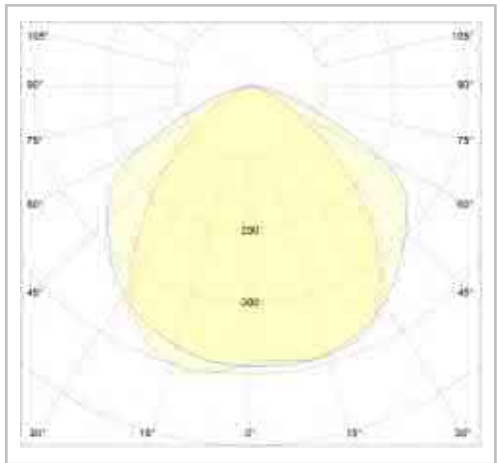
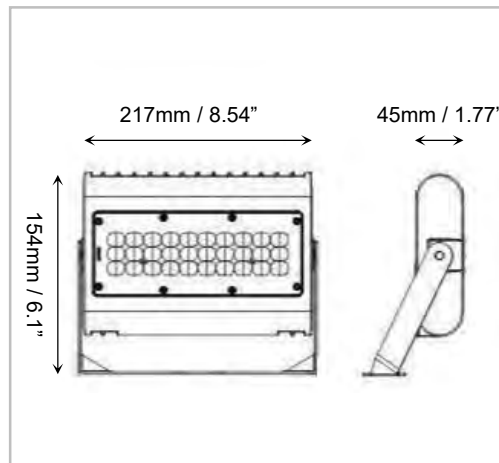
C = Type 4

Project name:





- Material: Sturdy powder coated aluminum housing. Salt mist resistance & anti aging. High thermal conductivity. High efficient reflector and diffuser. UV & Fire resistant high out put PC lenses.
- Led type: Phillips chips.
- Electrical: 120~ 277Vac, 50/60Hz Driver included.
- Power factor:  $\geq 90\%$
- Led efficiency: 130 lm/W
- Color temperature: 5000K
- Operation temperature:  $-20^{\circ}\text{C}$  to  $55^{\circ}\text{C}$
- Color Rendering Index (CRI):  $\geq 80$
- THD%:  $< 20\%$
- IP Rating: IP65

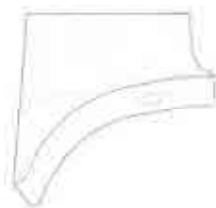


Project name:



## FIXTURE ACCESSORIES

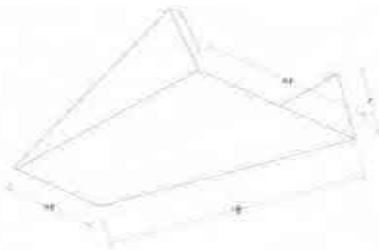
M1 = Straight Arm Mount



M2 = Slip Fitter



M3 = Back Shield



Ordering Example:

LI-FLDF050-XYZ-YK-50-C-1-1-BR-M1

Project name:



Amber Valley Collection  
Amber Valley LED Wall Lantern in BKT  
49623BKTLED (Textured Black)



### Dimensions

|        |        |
|--------|--------|
| Height | 15.00" |
| Width  | 7.50"  |

Project Name: Residence Inn  
Location: Chesterfield, MO  
Type: Z05  
Qty: \_\_\_\_\_  
Comments: \_\_\_\_\_

### Ordering Information

|            |                         |
|------------|-------------------------|
| Product ID | 49623BKTLED             |
| Finish     | Textured Black          |
| Collection | Amber Valley Collection |

### Dimensions

|                                    |             |
|------------------------------------|-------------|
| Extension                          | 8.50"       |
| Height from center of Wall opening | 3.75"       |
| Base Backplate                     | 5.50 X 8.25 |
| Weight                             | 5.56 LBS    |

### Photometrics

|                       |       |
|-----------------------|-------|
| Kelvin Temperature    | 3000K |
| Color Rendering Index | 90    |

### Specifications

|                      |               |
|----------------------|---------------|
| Material             | Aluminum      |
| Diffuser Description | Etched Seeded |

### Electrical

|                |                                                                                                                                                                                                             |
|----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Dimmable       | Yes                                                                                                                                                                                                         |
| Dimmable Notes | This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to <a href="http://Kichler.com/dimming">Kichler.com/dimming</a> . |
| Voltage        | 120V                                                                                                                                                                                                        |
| Input Voltage  | Single(120)                                                                                                                                                                                                 |

### Qualifications

|                    |                                                                        |
|--------------------|------------------------------------------------------------------------|
| Safety Rated       | Wet                                                                    |
| Title 24           | Yes                                                                    |
| Expected Life Span | 40000 Hours                                                            |
| Warranty           | <a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a> |

### Primary Lamping

|                        |            |
|------------------------|------------|
| Light Source           | LED        |
| Lamp Included          | Integrated |
| # of Bulbs/LED Modules | 1          |
| Delivered Lumens       | 875        |
| Initial Lumens         | 1400       |
| Max or Nominal Watt    | 17W        |



Amber Valley Collection  
Amber Valley LED Wall Lantern in BKT  
49623BKTLED (Textured Black)

Project Name: \_\_\_\_\_  
Location: \_\_\_\_\_  
Type: \_\_\_\_\_  
Qty: \_\_\_\_\_  
Comments: \_\_\_\_\_

|         |     |
|---------|-----|
| Dimming | Yes |
|---------|-----|

The **GP200 Series** poles have a Cast Aluminum Base Plate and can be ordered with or without a base cover. A choice of Smooth or Extruded Access Door is available.

### FEATURES

**Residence Inn  
Type Z07**

- Strong, lightweight and easy to install.
- Extruded Aluminum shaft welded to the base.
- 3" tenon standard for luminaire mounting. (Pictured on left)
- Access door for wiring secured with stainless steel screws.
- Ground Lug included.
- Hot Dipped Galvanized Anchor Bolts included.
- **3" Smooth Poles are available at 8', 10' and 12'**; contact factory for details.

### AVAILABLE EXTRUDED ALUMINUM SHAFTS

|  | 4" OD Fluted .125 wall |  | 4" OD Smooth .125 wall |
|--|------------------------|--|------------------------|
|  | GP203 - 08             |  | GP204 - 08             |
|  | GP203 - 10             |  | <b>GP204 - 10</b>      |
|  | GP203 - 12             |  | GP204 - 12             |
|  | GP203 - 14             |  | GP204 - 14             |
|  | 5" OD Fluted .156 wall |  | 5" OD Smooth .125 wall |
|  | GP205 - 08             |  | GP206 - 08             |
|  | GP205 - 10             |  | GP206 - 10             |
|  | GP205 - 12             |  | GP206 - 12             |
|  | GP205 - 14             |  | GP206 - 14             |

Standard wall thickness and height specified above; contact factory for additional options.

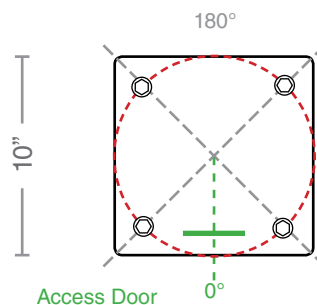
### MATERIALS

|              |                             |                     |                             |
|--------------|-----------------------------|---------------------|-----------------------------|
| <b>Base</b>  | Cast Aluminum (A319)        | <b>Tenon</b>        | Cast Aluminum (A319)        |
| <b>Shaft</b> | Extruded Aluminum (6063-T6) | <b>Anchor Bolts</b> | Hot dipped galvanized steel |

### ACCESSORIES

|             |                                  |            |            |
|-------------|----------------------------------|------------|------------|
| <b>GFCI</b> | Ground Fault Circuit Interrupter | <b>PCL</b> | Photocell  |
| <b>WIUC</b> | While in Use Cover for GFCI      | <b>BC</b>  | Base Cover |

### 10" Bolt Circle



1/2" x 18" Double Nut  
Double Washer, Hot-dipped  
Galvanized L-Type Anchor  
Bolts.

4 Anchor Bolts at 90°

### ORDERING SEQUENCE

Shaft type    Accessory    Orientation  
 GP204 - 10 / GFCI-180 / BT  
 Base    Overall Height    Finish

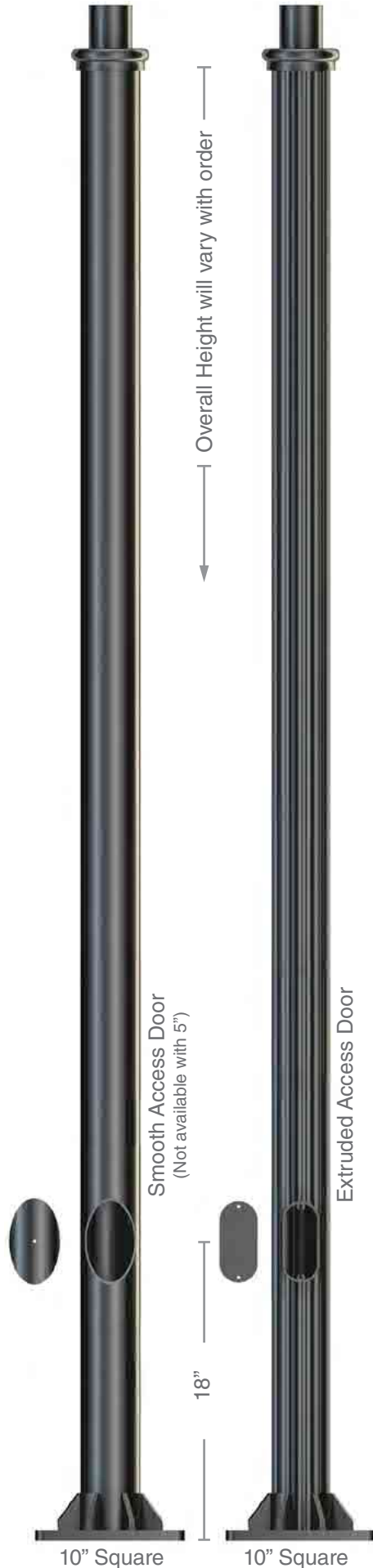
### STANDARD FINISH

|           |                       |
|-----------|-----------------------|
| <b>BK</b> | Black                 |
| <b>BT</b> | <b>Textured Black</b> |
| <b>SB</b> | Statuary Bronze       |
| <b>GN</b> | Green                 |

### PREMIUM FINISH

|           |               |
|-----------|---------------|
| <b>WH</b> | White         |
| <b>CV</b> | Copper Vein   |
| <b>GV</b> | Green Vein    |
| <b>CF</b> | Custom Finish |

All decorative aluminum components have an electrostatically applied thermoset scratch-resistant powder coat finish.



Amber Valley Collection  
Amber Valley LED Post Lantern in BKT  
49625BKTLED (Textured Black)

Project Name: Residence Inn  
Location: Chesterfield, MO  
Type: Z07  
Qty: \_\_\_\_\_  
Comments: \_\_\_\_\_



### Dimensions

|        |        |
|--------|--------|
| Height | 19.75" |
| Width  | 8.50"  |

### Ordering Information

|            |                         |
|------------|-------------------------|
| Product ID | 49625BKTLED             |
| Finish     | Textured Black          |
| Collection | Amber Valley Collection |

### Dimensions

|                                    |          |
|------------------------------------|----------|
| Height from center of Wall opening | 3.25"    |
| Weight                             | 7.14 LBS |

### Photometrics

|                       |       |
|-----------------------|-------|
| Kelvin Temperature    | 3000K |
| Color Rendering Index | 90    |

### Specifications

|                      |               |
|----------------------|---------------|
| Material             | Aluminum      |
| Diffuser Description | Etched Seeded |

### Electrical

|                |                                                                                                                                                                                                             |
|----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Dimmable       | Yes                                                                                                                                                                                                         |
| Dimmable Notes | This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to <a href="http://Kichler.com/dimming">Kichler.com/dimming</a> . |
| Voltage        | 120V                                                                                                                                                                                                        |
| Input Voltage  | Single(120)                                                                                                                                                                                                 |

### Qualifications

|                    |                                                                        |
|--------------------|------------------------------------------------------------------------|
| Safety Rated       | Wet                                                                    |
| Title 24           | Yes                                                                    |
| Expected Life Span | 40000 Hours                                                            |
| Warranty           | <a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a> |

### Primary Lamping

|                        |            |
|------------------------|------------|
| Light Source           | LED        |
| Lamp Included          | Integrated |
| # of Bulbs/LED Modules | 1          |
| Delivered Lumens       | 850        |
| Initial Lumens         | 1400       |
| Max or Nominal Watt    | 17W        |
| Dimming                | Yes        |

#### Notes:

1) Information provided is subject to change without notice.  
All values are design or typical values when measured under laboratory conditions.  
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

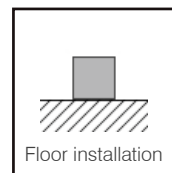
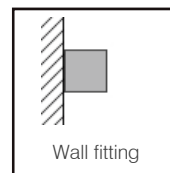
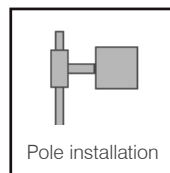


## DESCRIPTION

ALVA series family of area lighting evenly illuminate building facade, sports arenas and stadium lighting.

Patented modern slim design is stylish, with better cooling system, and high lumen efficiency.

These fixture are rated for wet location and are offered in various mounting options.



## ORDERING INFORMATION

| Model          | Watts | Lumen | Optic        | Color Temp. | CRI | Optional     | Finish color |
|----------------|-------|-------|--------------|-------------|-----|--------------|--------------|
| LI-FLDF050-XYZ | 50    | 4900  | A = 120 x 90 | 1 = 5000K   | 80  | 1 = Dimmable | BR           |

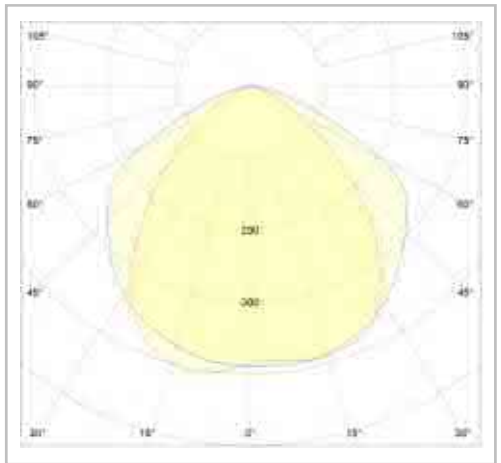
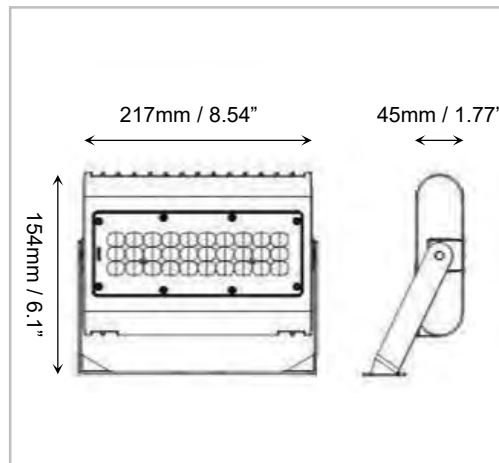
B = Type 3

C = Type 4

Project name:



- Material: Sturdy powder coated aluminum housing. Salt mist resistance & anti aging. High thermal conductivity. High efficient reflector and diffuser. UV & Fire resistant high out put PC lenses.
- Led type: Phillips chips.
- Electrical: 120~ 277Vac, 50/60Hz Driver included.
- Power factor:  $\geq 90\%$
- Led efficiency: 130 lm/W
- Color temperature: 5000K
- Operation temperature:  $-20^{\circ}\text{C}$  to  $55^{\circ}\text{C}$
- Color Rendering Index (CRI):  $\geq 80$
- THD%:  $< 20\%$
- IP Rating: IP65

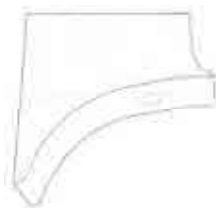


Project name:



## FIXTURE ACCESSORIES

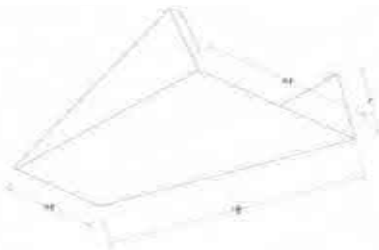
M1 = Straight Arm Mount



M2 = Slip Fitter



M3 = Back Shield



Ordering Example:

LI-FLDF050-XYZ-YK-50-C-1-1-BR-M1

Project name:



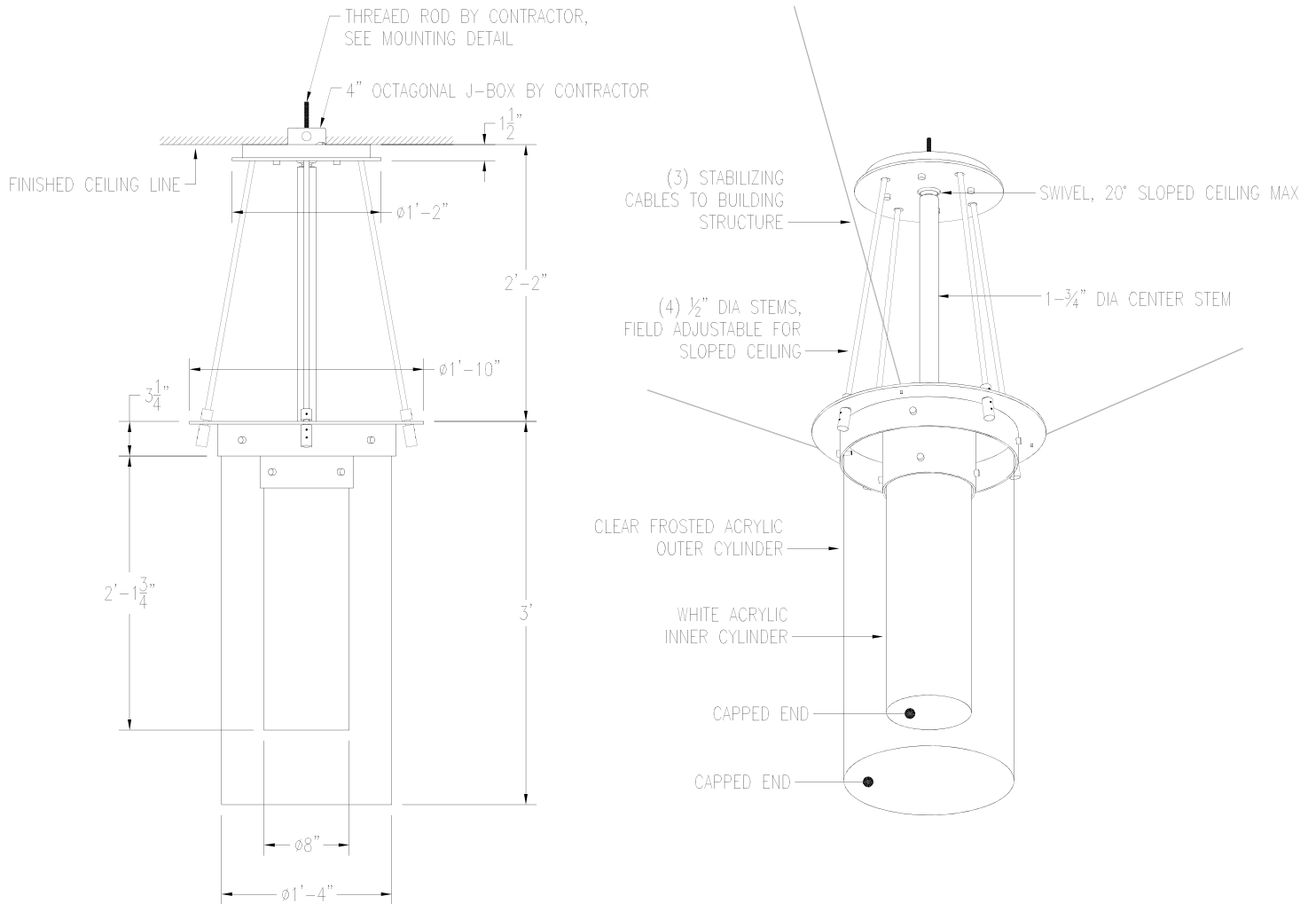


Residence Inn  
Type Z42

# Lukas Lighting

Model: CL914





\*TO CHANGE LAMP, REMOVE OUTER AND INNER CYLINDERS

FINISH: GREY METALLIC  $\frac{99}{100}$  POWDER COATED  
 LAMPING: (3) 17 WATT LINEAR T8 LAMPS BY OTHERS  
 VOLTAGE: 120  
 WEIGHT: APPROX 70 LBS  
 UL LISTED FOR DAMP LOCATIONS

**LUKAS**  
LIGHTING

40-20 32ND STREET | LONG ISLAND CITY, NY 11101  
 TEL: 1.800.841.4011 | FAX: 718.708.0596  
 INFO@LUKASLIGHTING.COM | WWW.LUKASLIGHTING.COM

TYPE: L2

LUKAS PART No: CL4914

PROJECT: RESIDENCE INN

SPECIFIER: MARRIOTT

SCALE: 1:16

DWG No:

QTY:

DATE: 11-14-11

APPROVAL:

REV: B 7-12-12

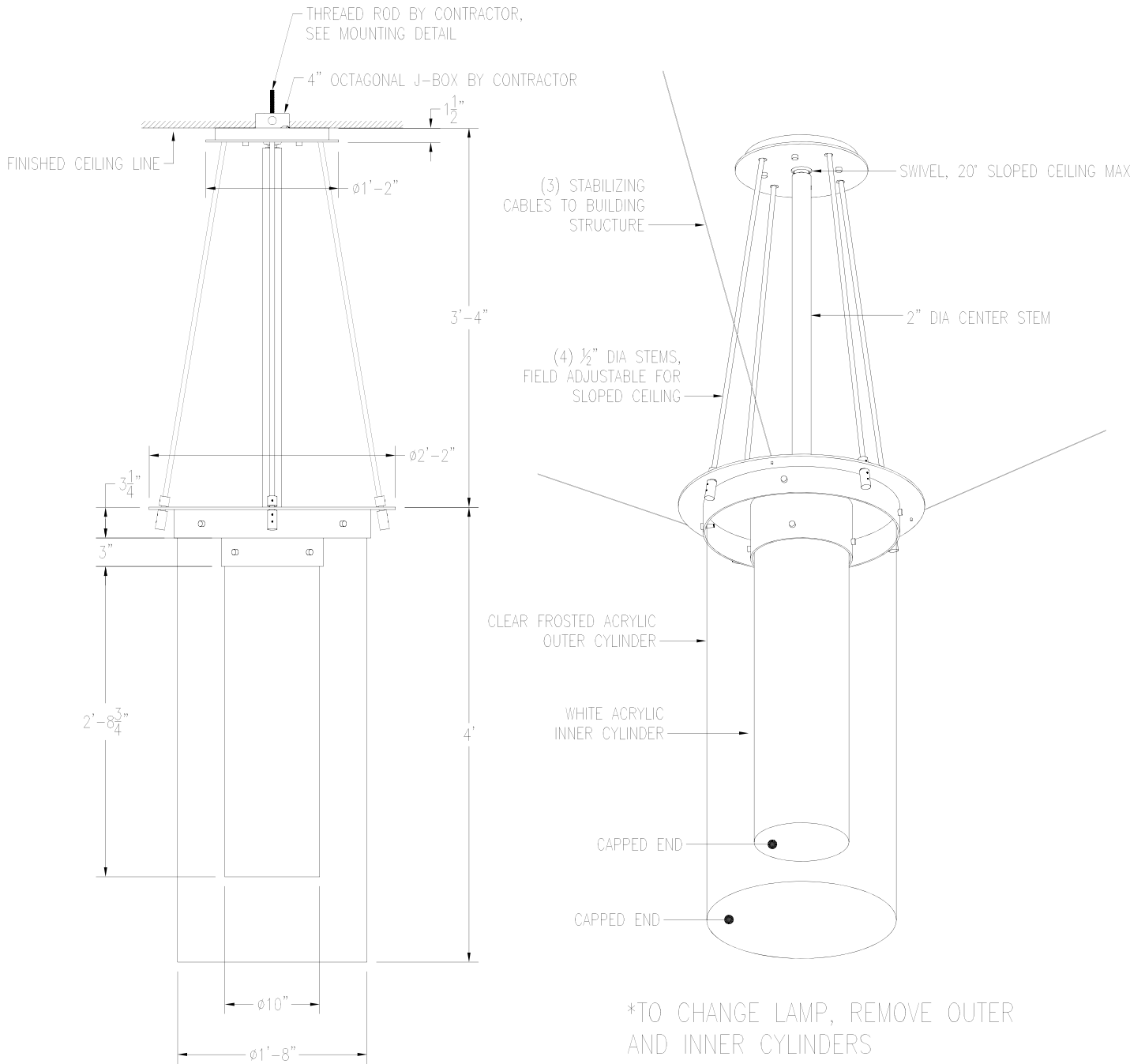
Residence Inn  
Type Z43

# Lukas Lighting

Model: CLK913







FINISH: GREY METALLIC 99/60340 POWDER COATED  
 LAMPING: (3) 25 WATT LINEAR T8 LAMPS BY OTHERS  
 VOLTAGE: 120  
 WEIGHT: APPROX 80 LBS  
 UL LISTED FOR DAMP LOCATIONS

**LUKAS**  
 LIGHTING

40-20 22ND STREET | LONG ISLAND CITY, NY 11101  
 TEL: 718.998.4140 | FAX: 718.798.0895  
 INFO@LUKASLIGHTING.COM | WWW.LUKASLIGHTING.COM

TYPE: L1

LUKAS PART No: CL4913

PROJECT: RESIDENCE INN

SPECIFIER: MARRIOTT

SCALE: 1:16

DWG No:

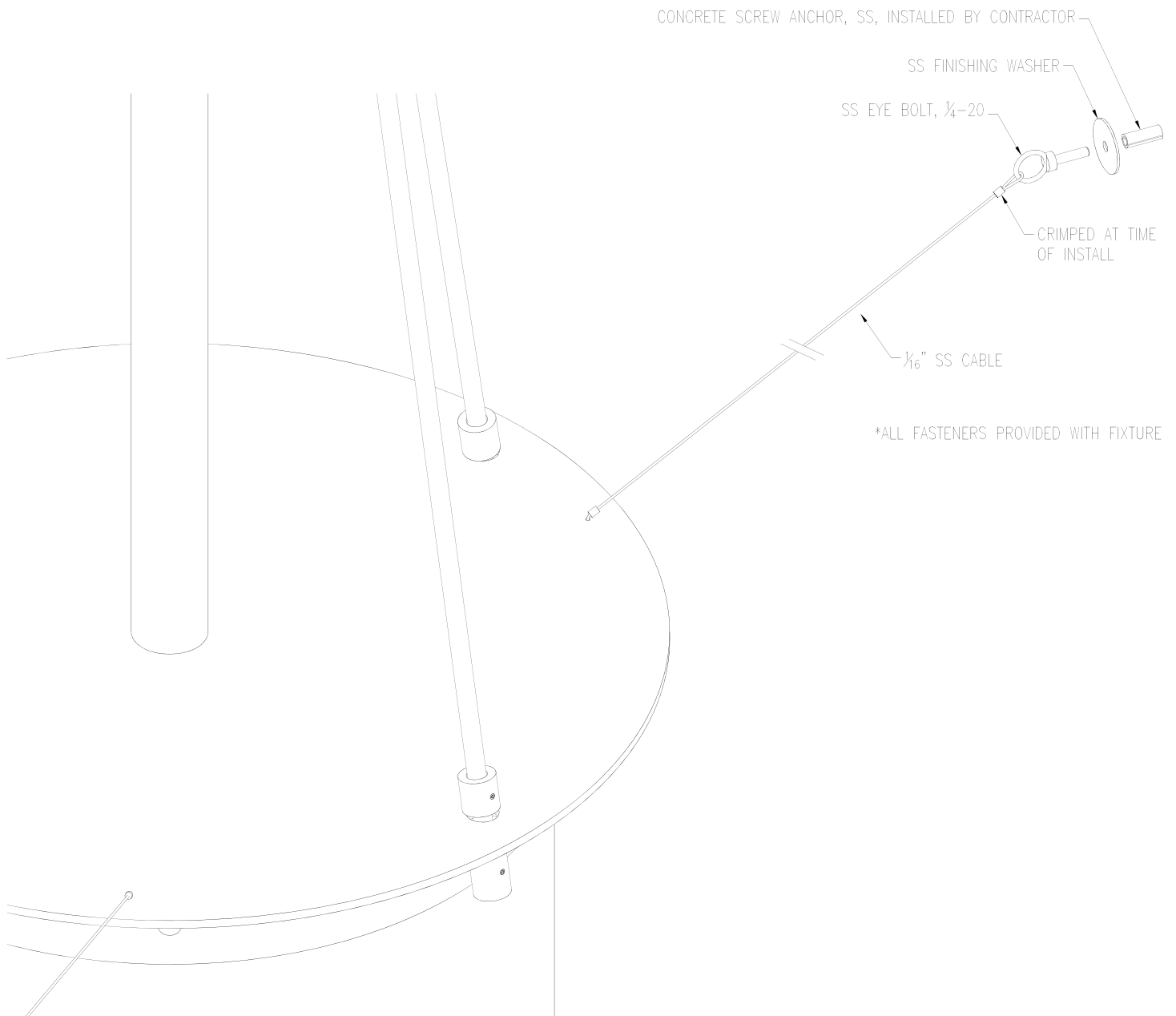
QTY:

DATE: 11-14-11

APPROVAL:

REV: B 4-26-12

# SUPPORT DETAIL



**LUKAS**  
LIGHTING

46-20 22ND STREET | LONG ISLAND CITY, NY 11106  
TEL: 1.800.841.4011 | FAX: 718.706.0596  
INFO@LUKASLIGHTING.COM | WWW.LUKASLIGHTING.COM

TYPE: L1

LUKAS PART No: CL4913

PROJECT: RESIDENCE INN

SPECIFIER: MARRIOTT

SCALE:

DWG No:

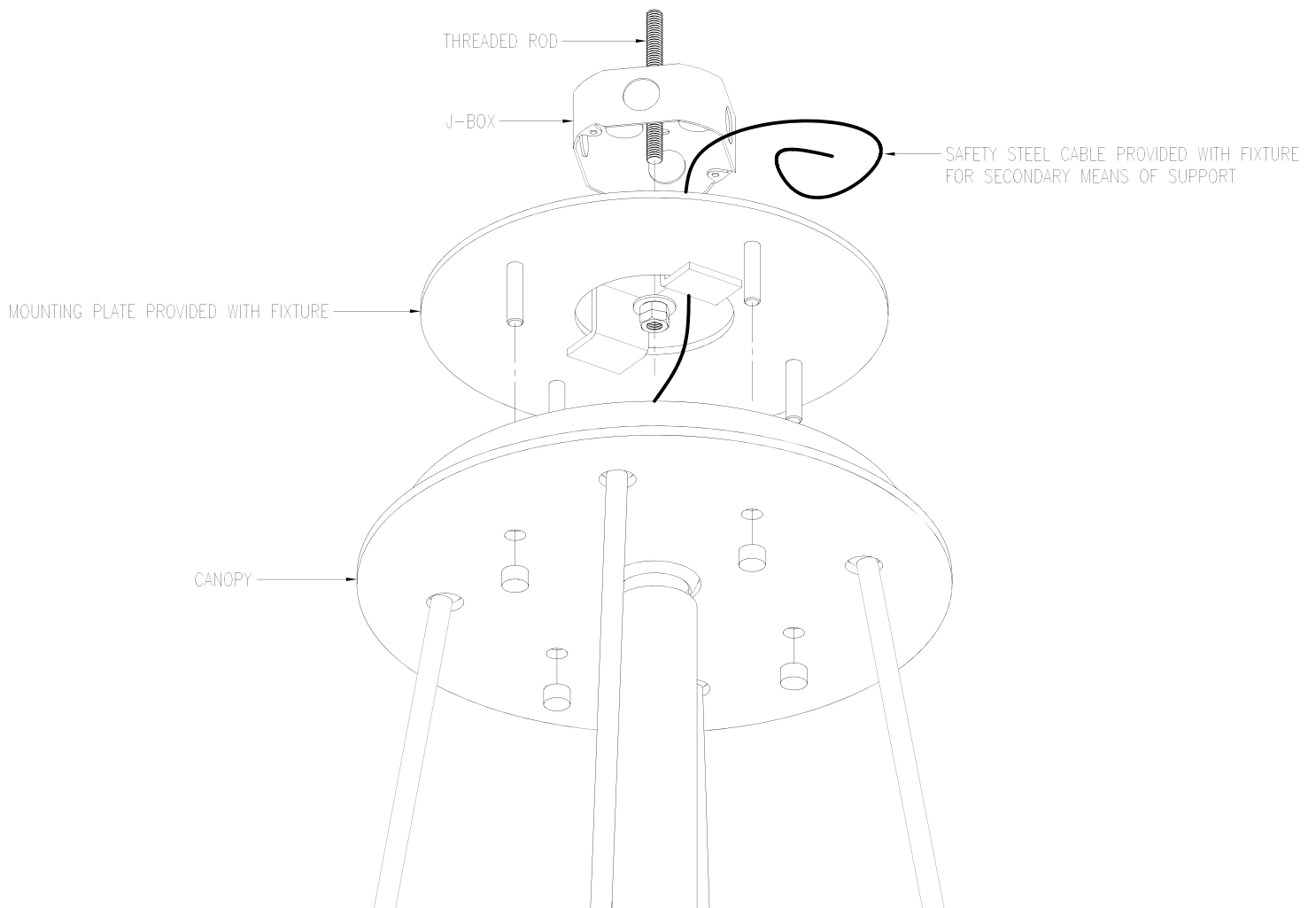
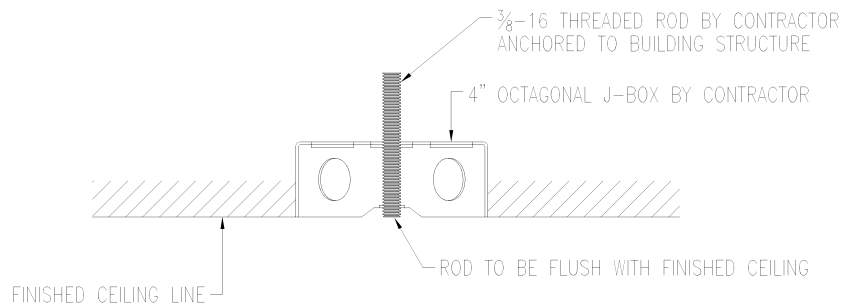
QTY:

DATE: 11-14-11

APPROVAL:

REV: B 4-26-12

# MOUNTING DETAIL



**LUKAS**  
LIGHTING

46-20 22ND STREET | LONG ISLAND CITY, NY 11106  
TEL: 1.800.841.4011 | FAX: 718.706.0596  
INFO@LUKASLIGHTING.COM | WWW.LUKASLIGHTING.COM

TYPE: L1

LUKAS PART No: CL4913

PROJECT: RESIDENCE INN

SPECIFIER: MARRIOTT

SCALE: 1:16

DWG No:

QTY:

DATE: 11-14-11

APPROVAL:

REV: B 4-26-12



## NHIC-6LMRAT

6" IC Air-Tight LED Diamond/Onyx/Cobalt/Opal Series Dedicated New Construction Housing

### PRODUCT DESCRIPTION

Dedicated New Construction housing for use in insulated ceilings can be in direct contact with insulation.\* Air-tight construction provides energy savings by reducing the flow of air through the ceiling. The housing is dedicated and labeled for use with Nora Diamond, Cobalt, Onyx and Opal series LED fixtures

### FEATURES

- IC rated for direct contact with insulation
- Quick connect provided for electrical connection to the LED Trim Module
- ASTM E283 for Air-Tight
- Energy Star Rated
- Exceeds California Title 24 high efficacy requirements
- cULus Listed for Damp Location and Feed Through
- cULus Listed for Wet Location and Feed Through (Only with designated trims)
- Available with 277V Step-down transformer
- Can be prewired for 0-10V dimming

### CONSTRUCTION

#### Plaster Frame

High quality 0.040 steel die cut one piece frame

#### Housing

0.040 steel housing adjusts to maximum ceiling thickness of 1-3/4" (45mm). Spring brackets accept torsion wing trim springs.

#### Mounting

Two bar hangers are included adjustable to 24-1/2". Hanger bars have T-Bar slot and alignment feet. Bar hangers are parallel to junction box, but can be repositioned 90° perpendicular to junction box if desired. Insulation may be blown directly onto the surface of the fixture.

#### Air Flow Restriction

Meets ASTM E283 Air-Tight Requirements.

### ELECTRICAL

#### Junction Box

Plaster frame integrated 15 cubic inch 0.064" thick galvanized steel, with seven 1/2" NPT knockouts, four Romex® pryouts, and snap on covers. Electrical connections are made through junction box wrap. Electrical grounding automatic when feeding with grounded steel EMT pipe or flex. Green wire provided installs with ground wire fed through PVC pipe conduit.

#### Compatible with:

NLEDC - Diamond Series  
NLCBC - Cobalt Series  
NL0P - Opal Series  
NOX - Onyx Series

#### DIMMING:

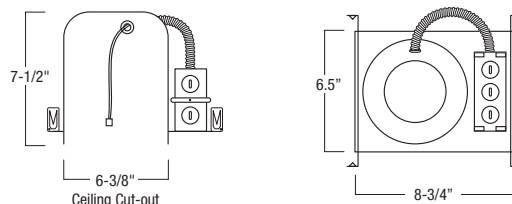
See compatible Diamond/Onyx/Cobalt/Opal for compatible dimmers

#### Step Down Transformer (Converts 277V input to 120V)

Optional 50W step down transformer installed into Air Tight New Construction housing (NHIC-6LMRAT/277) (For use with Nora Diamond, Cobalt, Onyx and Opal Series LED Products)

Source: 11W - 16.6W LED

### PRODUCT IMAGES & DIMENSIONS



Cut-out: 6-3/8"  
ID: 6"  
OD: 7-1/8"

Housing Length: 8-3/4"  
Housing Width: 6.5"  
Housing Height: 7-1/2"

### EMERGENCY

90-minute battery is installed on frame and includes remote mounted test switch. For use only with Cobalt EM Series LED Down Lights specified specifically

### LABELS AND LISTINGS

Title 24 Compliant  
cULus Listed for Damp Location & Feed Through  
cULus Listed for Wet Location & Feed Through (Only with designated trims)  
WSEC ASTM E283 for Air-Tight  
Energy Star Rated  
RoHS Compliant

\*Not to be used in direct contact with spray foam insulation.



### Housing

**NHIC-6LMRAT:** 6" IC Air Tight Dedicated New Construction Housing

**NHIC-6LMRAT/277:** 6" IC Air Tight Dedicated New Construction Housing includes installed 50W step down transformer

**NHIC-6LMRAT/4W:** 6" IC Air Tight Dedicated Housing Pre-wired for 0-10V dimming Cobalt Series

**NHIC-6LMRAT/EM:** 6" IC Air Tight Dedicated Housing Pre-wired for Emergency Cobalt Series - Includes EM battery and remote test switch

**NHIC-6LMRAT/6WEM:** 6" IC Air Tight Dedicated Housing Pre-wired for Emergency and 0-10V dimming Cobalt Series - Includes EM battery and remote test switch

## ARCHITECTURAL LED

### LED Commercial Downlight

#### Product Specifications

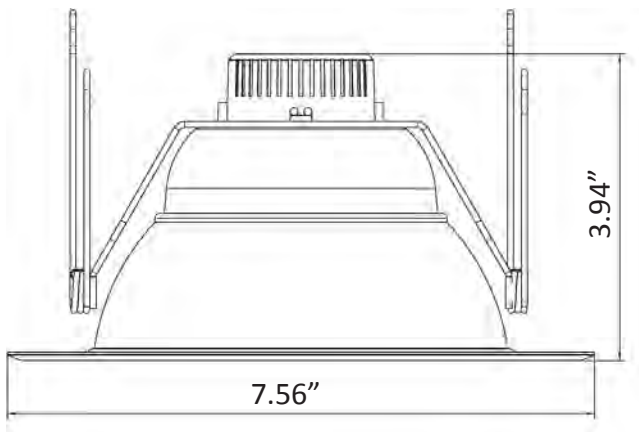
|               |                             |
|---------------|-----------------------------|
| Model         | IL-D536                     |
| CCT           | 3000, 5000                  |
| Description   | 6" LED Commercial Dpwnlight |
| Dimensions    | 7.56" D x 3.94" H           |
| Dimming       | Yes                         |
| CRI           | >80                         |
| Finishes      | White                       |
| Power         | 20W                         |
| Input Voltage | 120V AC                     |
| Suitable      | Dry, damp, wet locations    |
| Lumens        | 1550, 1650                  |
| Rated Life    | 50,000 hours                |
| Certification | ETL                         |
| Warranty      | 5 year                      |

|             |                    |      |
|-------------|--------------------|------|
| Cataloge #  | IL-D536-LED-20-30K | Type |
| Project     | Residence Inn      | Z85  |
| Comments    |                    | Date |
| Prepared by |                    |      |



IL-D536

#### Dimensional Drawings:



Ordering Information: Use there Ordering format-- Use our squares if you can

Example: IL-D536-LED-20-30

|         |         |         |         |                    |         |        |  |
|---------|---------|---------|---------|--------------------|---------|--------|--|
|         |         |         |         |                    |         |        |  |
| Series  | Source  | Wattage | Voltage | CCT                | Finish  | Option |  |
| IL-D536 | LED=LED | 20=20W  | 120V    | 30=3000<br>50=5000 | W=White |        |  |
| Size    |         |         |         |                    |         |        |  |

\*Consult Factory regarding availability.

**PHILIPS**  
**bodine**

Emergency Drivers

LED

BSL17C-C2



Project: **Residence Inn**

Type: **Z91**

Model No: **BLS17C** Qty:

Date:

Notes:

**Emergency LED Driver**  
**Listed for field installation**  
**Class 2 output**  
**7.5 Watts output power**

Product order number: BSL17CC2T1U (metal case with conduit on both ends)  
See back page for additional model configurations and order numbers

**Specifications**

**UL Listed**

Listed to UL924 and CSA 22.2 No. 141  
For Field or Factory Installation  
(Indoor and Damp)

**Illumination Time**

90 Minutes

**Full Warranty**

5 Years (NOT pro-rata)

**Universal Input Voltage**

120-277 VAC, 60 Hz

**AC Input Power**

3.0 (Maximum)

**Output Voltage**

15.0 - 50.0 VDC

**Output Power**

7.5 W (Maximum),

**Test Switch/Charging Indicator Light**

2 W - ITS (2-Wire illuminated test switch)

**Battery**

High-Temperature, Maintenance-Free  
Nickel-Cadmium Battery  
7- to 10-Year Life Expectancy

**Recharge Time**

24 Hours

**Temperature Rating**

Ambient : 0°C to +50°C (32°F to 122°F)  
Case: Tc (max): 65°C

**Dimensions**

12.0" x 2.4" x 1.5"  
(304 mm x 60 mm x 38 mm)  
Mounting Center 11.5" (292 mm)

**Weight**

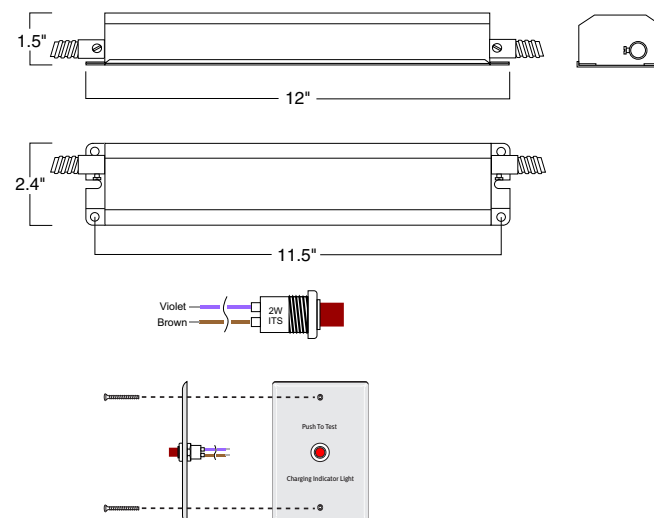
4.3 lbs. (1.95 kg)

**Benefits:**

- Listed for field or factory installation - UL 924 and CSA C22.2 No. 141 Emergency Lighting Compliant
- Smart Charger Technology for low energy consumption
- Meets CEC Title 20 (California Energy Commission) efficiency standards
- Class 2 output - UL 1310 Certified, CSA 22.2 No 223-M91 compliant
- Controlled power for predictable discharge
- Emergency mode initial lumen output of up to 975 lumens
- 15-50 VDC for wide range of LED loads
- Universal input (120 through 277 VAC, 50/60 Hz)
- RoHS Compliant

**Dimensions**

12.0" x 2.4" x 1.5" (mounting center - 11.5")



A Test/Monitor Plate with an illuminated test switch/charging indicator light is provided.





# BSL17C-C2

## Emergency LED Driver, Class 2 Output, 7.5 Watts Output Power

### APPLICATION

The BSL17C-C2 is UL Listed for factory or field installation and allows the same LED luminaire to be used for normal and emergency operation. The BSL17C-C2 emergency LED driver works in conjunction with an AC LED driver that has an output current not to exceed 3.0 A, to convert new or existing LED fixtures into emergency lighting. The emergency driver consists of a high-temperature nickel-cadmium battery, charger and electronic circuitry in one compact case. The BSL17C-C2 can be used with an LED lighting load of up to 7.5 Watts. If used in an emergency-only fixture, no AC driver is necessary. The BSL17C-C2 is suitable for indoor and damp locations and for sealed & gasketed fixtures, including fixtures rated for wet locations. Neither the BSL17C-C2 nor the BSL17C-C2 is suitable for air handling heated air outlets and wet or hazardous locations. For more information about specific LED and AC driver compatibility, please call the factory.

### OPERATION

When AC power fails, the BSL17C-C2 immediately switches to the emergency mode, operating the LEDs at a reduced lumen output for a minimum of 90 minutes. When AC power is restored, the emergency driver automatically returns to the charging mode.

### INSTALLATION

The BSL17C-C2 does not affect normal fixture operation and may be used with either a switched or unswitched fixture. If a switched fixture is used, an unswitched hot lead must be connected to the emergency driver. The emergency driver must be fed from the same branch circuit as the AC driver. The BSL17C-C2 may be installed on top of the fixture and the BSL17C-C2 may be installed on top of or inside the fixture. Installation is not recommended with fixtures where the ambient temperature may fall below 0° C.

### CODE COMPLIANCE

For detailed information regarding standards and code compliance for emergency lighting see product page or the Codes and Standards section on the web site.

### EMERGENCY ILLUMINATION

The BSL17C-C2 operates an LED load of up to 7.5 Watts.

### SPECIFICATION

Emergency lighting shall be provided by using an LED fixture equipped with a Philips Bodine BSL17C-C2 emergency driver. This emergency driver shall consist of a high-temperature, maintenance-free nickel-cadmium battery, charger and electronic circuitry contained in

one 12" x 2 3/8" x 1 1/2" metal case. The BSL17C-C2 comes with an illuminated test switch (ITS) to monitor charger and battery and installation hardware shall be provided. The emergency driver shall be capable of delivering up to 7.5 Watts to an LED load (15-50VDC) for a minimum of 90 minutes. The BSL17C-C2 shall have a 15.0 Watt-hour battery capacity and shall comply with emergency standards set forth by the current NEC. This device complies with Part 15 of the FCC Rules and meets CEC Title 20 (California Energy Commission) efficiency standards. The emergency driver shall be UL Listed for field or factory installation.

### INSTALLATION OPTIONS AND ORDERING CODES

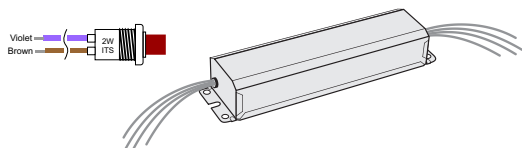
The BSL17C-C2 model can be ordered in several mounting configurations and test switch/LED kits. Please see the ordering codes below to determine which configuration best meet your requirements.

### WARRANTY

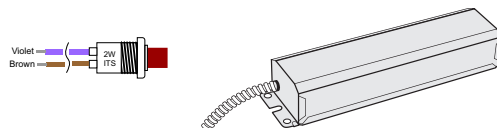
Model BSL17C-C2 is warranted for five (5) full years from date of manufacture. Please see detailed warranty information on our web site.

#### Optional Configurations (with order numbers)

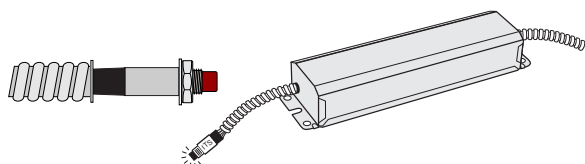
BSL17C-C2 (Order Number BSL17C2U)  
Includes Loose 2W-ITS Parts Kit



BSL17C-C2 Type 1 (Order Number BSL17CC2SF)  
Includes Loose 2W-ITS Parts Kit

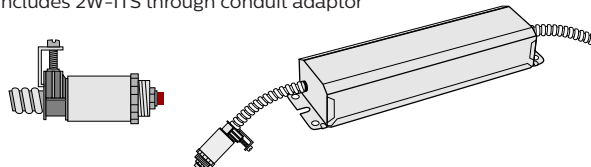


BSL17C-C2 Type 1 Option 6 (Order Number BSL17CC2T1O6U4W)  
Includes 4W-ITS exiting through conduit



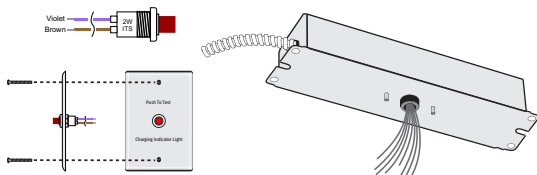
4 W-ITS exits through conduit adaptor. All other wires through the other conduit.

BSL17C-C2 Type 1 Option 7 (Order Number BSL17CC2T1O7)  
Includes 2W-ITS through conduit adaptor

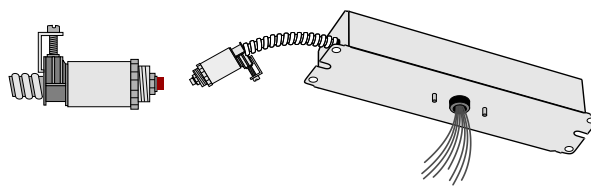


ITS exits unit through conduit adaptor. All other wires through the other conduit.

BSL17C-C2 Type 2 (Order Number BSL17CC2T2U)  
Includes 2W-ITS on Wall Plate



BSL17C-C2 Type 2 Option 7 (Order Number BSL17CC2T2O7)  
Includes 2W-ITS through conduit adaptor



2W-ITS exits through conduit adaptor. All other wires through lid. Studs are threaded so unit can be mounted on a J-box plate.

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Document order number: L2300261 17.1128



Philips Emergency Lighting  
236 Mt. Pleasant Rd.  
Collierville, TN 38017  
Tech Support: 888.263.4638  
Sales: 800.223.5728

philips.com/bodine

# NHM-612 (1250LM, 120/277V)

# NHM-620 (2000LM, 120/277V)

## 6" LED Marquise New Construction Housing

### PRODUCT DESCRIPTION

Six inch thermally protected universal line voltage new construction housing.

### CONSTRUCTION

#### Plaster Frame

High quality 0.032 steel die cut one piece frame. Bar hanger brackets on all four sides provide two possible position for installation.

#### Housing

0.040 steel housing with riveted cap adjusts to maximum ceiling thickness of 1-3/4" (45mm). Spring brackets accept torsion wing trim springs; slots on socket plate surface accept standard coil springs.

#### Minimum Clearance

Non-IC housings require minimum clearance of 3" from thermal insulation and 1/2" from adjacent building components.

#### Bar Hangers

Two 13-3/4" to 24-1/2" adjustable bar hangers with captive nails are included on frame. Bar hangers are parallel to junction box, but can be repositioned 90° perpendicular to junction box if desired. "L" Shaped bar hanger foot to align to bottom of construction joist. A T-Bar notch allow for easy installation in a suspended ceiling. Frame may also be supported with aircraft structural cable for drop panel ceilings or any other application requiring direct support from a structural ceiling.

#### Junction Box

Prewired 25 cubic inch 0.064" thick galvanized steel, with five 1/2", two 3/4" knockouts, four Romex® pryouts, and snap on covers. All leads are #18AWG wire, the ground wire is connected to the bottom, and quick connectors are supplied on all leads. Through branch circuit wiring, (4-in, 4-out).

#### Dimming

- 850 & 1250 Lumen Triac dimming standard
- Comfort Dim requires ELV dimmer
- 2000 Lumen 0-10V dimming standard
- Consult factory for optional 850 & 1250LM 0-10V and 2000LM triac dimming

#### Quick Connect Feature

Housing contains three UL approved quick connections that allow insertion of 1/4" stripped solid or tinned standard conductors to be inserted into the connector. Connectors are pre-attached to fixture power, common, and ground circuits.

#### Thermal Protector

External thermal device is located on the junction box.

#### Trim

Compatible with NRM-61 Series.

### EMERGENCY

90-minute battery back up must be ordered separately and installed apart from the housing in an accessible location.

#### DRIVER

- CREE LMD125 for 120V 850/1250 Lumen. ERP ELM03W-0440-34 for 277V 850/1250Lumen
- CREE LMD300 for 120/277 2000LM

#### Wiring

Standard flex whip carries wire lead from junction box into housing. Wire leads extend from housing and thermal device to the luminary disconnect.

### 6" LED Marquise New Construction Housing

| Catalog No. | Lumen     | Driver           | Voltage                           | Emergency         |
|-------------|-----------|------------------|-----------------------------------|-------------------|
| NHM-6       | 12=1250lm | (Blank)=Standard | LE1=120V (1250LM), 0-10V (2000LM) | EM=Emergency Pack |
|             | 20=2000lm | C=Comfort Dim*   | LE2=277V, 0-10V                   | with Test Switch  |
|             |           |                  | LE3= 120V Triac Dimming           |                   |
|             |           |                  | LE4= 120V, 0-10V Dimming          |                   |

\* Comfort Dim requires ELV dimming

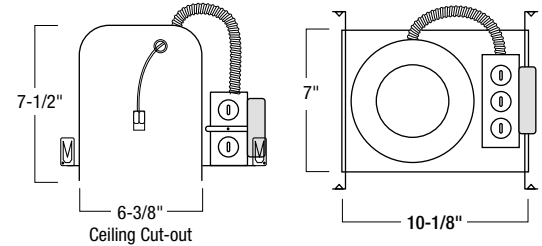
**NORALIGHTING.**

Type **Z91**

Project **Residence Inn**

Catalog No. **NHM-620-LE1-EM**

Lamp/Wattage



Cut-out: 6-3/8"  
ID: 6"

Housing Length: 10-1/8"  
Housing Width: 7"  
Housing Height: 7-1/2"



#### Dimming

- 850 & 1250 Lumen Triac dimming standard
- Comfort Dim requires ELV dimmer
- 2000 Lumen 0-10V dimming standard
- Consult factory for optional 850 & 1250LM 0-10V and 2000LM triac dimming

#### Bodine Emergency Lighting Equipment: BSL17-C2/BSL17C-C2 (850/1250lm)

- Up to 7.0W max emergency illumination with LEDs.
- Illumination Time: 90min
- Dual Input Voltage: 120/277 VAC, 60Hz
- Output Voltage: 15.0-50.0 VDC
- AC Input Current: 45 mA
- Output Current: 470mA max
- Dimension: 12" x 2.4" x 1.5"

#### Bodine Emergency Lighting Equipment: BSL17C-C2P (2000/3000lm)

- Up to 7.0W max emergency illumination with LEDs.
- Illumination Time: 90min
- Dual Input Voltage: 120/277 VAC, 60Hz
- Output Voltage: 15.0-50.0 VDC
- AC Input Current: 280 mA
- Output Current: 270mA max
- Dimension: 12" x 2.4" x 1.5"

#### Labels and Listings

cULus Listed for Damp Location w/ Feed Through  
cULus Wet Listed (Only with designated trims)  
Meets or exceeds ASTM-283 Air-Tight Requirements  
Title 24  
Energy Star

NHM-612LE1EM: 6" Marquise LED Marquise New Construction 1250 Lumen, 120V with Emergency Housing

**NORALIGHTING.**

6505 Gayhart St., Commerce, CA 90040  
www.noralighting.com • Specifications subject to change without notice. © 2011  
Phone: 800.686.6672 • FAX: 800.500.9955 • e-mail: nora@noralighting.com

**NHM-612 (1250LM, 120/277V)**  
**NHM-620 (2000LM, 120/277V)**  
**6" LED Marquise New Construction Housing**

|              |
|--------------|
| Type         |
| Project      |
| Catalog No.  |
| Lamp/Wattage |

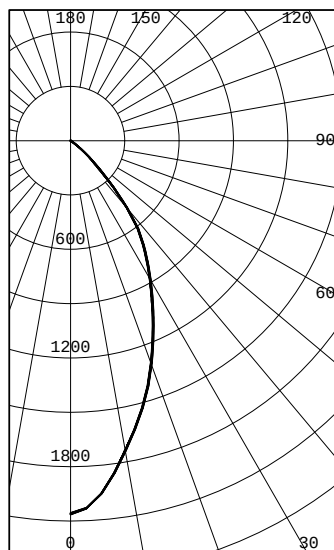
**NHM-620LE1 / NRM-611L2030DW**

|                    |                |                 |                   |                   |           |         |
|--------------------|----------------|-----------------|-------------------|-------------------|-----------|---------|
| Voltage: 120.0 VAC | Power: 25.21 W | Frequency: 60Hz | Test Temp: 24.8°C | Current: 0.2126 A | PF: 0.988 | SC: 0.8 |
|--------------------|----------------|-----------------|-------------------|-------------------|-----------|---------|

COEFFICIENTS OF UTILIZATION CONAL CAVITY METHOD  
EFFECTIVE FLOOR CAVITY REFLECTANCE = 0.20

| CC   | 90   |      |      |      | 80   |      |      |      | 70   |      |      |      | 50   |      |      | 30   |      |      | 10   |      |      | 0    |
|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|
| WALL | 70   | 50   | 30   | 10   | 70   | 50   | 30   | 10   | 70   | 50   | 30   | 10   | 50   | 30   | 10   | 50   | 30   | 10   | 50   | 30   | 10   | 0    |
| RCR  |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      | 0    |
| 0    | 1.22 | 1.22 | 1.22 | 1.22 | 1.19 | 1.19 | 1.19 | 1.19 | 1.16 | 1.16 | 1.16 | 1.16 | 1.11 | 1.11 | 1.11 | 1.06 | 1.06 | 1.06 | 1.02 | 1.02 | 1.02 | 1.00 |
| 1    | 1.16 | 1.13 | 1.11 | 1.09 | 1.14 | 1.11 | 1.09 | 1.07 | 1.12 | 1.10 | 1.07 | 1.05 | 1.05 | 1.04 | 1.02 | 1.02 | 1.00 | 0.99 | 0.98 | 0.97 | 0.96 | 0.95 |
| 2    | 1.11 | 1.07 | 1.03 | 0.99 | 1.09 | 1.05 | 1.01 | 0.98 | 1.07 | 1.03 | 1.00 | 0.97 | 1.00 | 0.97 | 0.95 | 0.97 | 0.95 | 0.93 | 0.94 | 0.93 | 0.91 | 0.89 |
| 3    | 1.06 | 1.00 | 0.95 | 0.91 | 1.04 | 0.98 | 0.94 | 0.90 | 1.02 | 0.97 | 0.93 | 0.90 | 0.95 | 0.91 | 0.88 | 0.92 | 0.90 | 0.87 | 0.90 | 0.88 | 0.86 | 0.84 |
| 4    | 1.01 | 0.94 | 0.88 | 0.85 | 1.00 | 0.93 | 0.88 | 0.84 | 0.98 | 0.92 | 0.87 | 0.84 | 0.90 | 0.86 | 0.83 | 0.88 | 0.84 | 0.82 | 0.86 | 0.83 | 0.81 | 0.79 |
| 5    | 0.97 | 0.88 | 0.82 | 0.78 | 0.95 | 0.87 | 0.82 | 0.78 | 0.93 | 0.86 | 0.81 | 0.78 | 0.85 | 0.80 | 0.77 | 0.83 | 0.79 | 0.76 | 0.82 | 0.78 | 0.76 | 0.74 |
| 6    | 0.92 | 0.83 | 0.77 | 0.73 | 0.91 | 0.82 | 0.77 | 0.73 | 0.89 | 0.82 | 0.76 | 0.73 | 0.80 | 0.76 | 0.72 | 0.79 | 0.75 | 0.72 | 0.78 | 0.74 | 0.71 | 0.70 |
| 7    | 0.87 | 0.78 | 0.72 | 0.68 | 0.86 | 0.77 | 0.72 | 0.68 | 0.85 | 0.77 | 0.71 | 0.67 | 0.75 | 0.71 | 0.67 | 0.74 | 0.70 | 0.67 | 0.73 | 0.69 | 0.66 | 0.65 |
| 8    | 0.83 | 0.73 | 0.67 | 0.64 | 0.82 | 0.73 | 0.67 | 0.63 | 0.81 | 0.72 | 0.67 | 0.63 | 0.71 | 0.66 | 0.63 | 0.70 | 0.66 | 0.62 | 0.69 | 0.65 | 0.62 | 0.61 |
| 9    | 0.78 | 0.69 | 0.63 | 0.59 | 0.77 | 0.68 | 0.63 | 0.59 | 0.76 | 0.68 | 0.62 | 0.59 | 0.67 | 0.62 | 0.58 | 0.66 | 0.61 | 0.58 | 0.65 | 0.61 | 0.58 | 0.57 |
| 10   | 0.74 | 0.64 | 0.58 | 0.55 | 0.73 | 0.64 | 0.58 | 0.55 | 0.72 | 0.64 | 0.58 | 0.55 | 0.63 | 0.58 | 0.54 | 0.62 | 0.57 | 0.54 | 0.61 | 0.57 | 0.54 | 0.53 |

## INTENSITY (CANDLEPOWER) SUMMARY



| ANGLE | MEAN CP |
|-------|---------|
| 0     | 2059    |
| 5     | 1957    |
| 10    | 1740    |
| 15    | 1529    |
| 20    | 1305    |
| 25    | 1078    |
| 30    | 877     |
| 35    | 700     |
| 40    | 485     |
| 45    | 244     |
| 50    | 105     |
| 55    | 32      |
| 60    | 2       |
| 65    | 1       |
| 70    | 0       |
| 75    | 0       |
| 80    | 0       |
| 85    | 0       |
| 90    | 0       |

## ZONAL LUMENS & PERCENTAGES

| ZONE   | LUMENS | % LUMINAIRE |
|--------|--------|-------------|
| 0-30   | 1100   | 62.30       |
| 0-40   | 1530   | 86.66       |
| 0-60   | 1764   | 99.93       |
| 0-90   | 1766   | 100.00      |
| 40-90  | 236    | 13.34       |
| 60-90  | 1      | 0.07        |
| 90-180 | 0      | 0.00        |
| 0-180  | 1766   | 100.00      |

## LUMINACE SUMMARY CD./SQ.M.

| ANGLE | MEAN CD/SQ M |
|-------|--------------|
| 45    | 20637        |
| 55    | 3325         |
| 65    | 142          |
| 75    | 7            |
| 85    | 0            |



## Marquise Series

### NRM-6

## 6" LED Recessed Downlight

Source: LED 11 Watts @ 850 Source Lumens = 663 Delivered Lumens  
LED 16 Watts @ 1250 Source Lumens = 1025 Delivered Lumens  
**LED 25 Watts @ 2000 Source Lumen = 1882 Delivered Lumens**

### PRODUCT DESCRIPTION

Nora Lighting's 6" recessed downlight fixture solution with thermal management system combined in a single compact unit. Cree True White LED ceramic package and Unitized Thermal Management (UTM) system. Available in New construction and Remodel style. Outboard mounted driver allows for cooler operation and extends life.

### FEATURES

- 5 Year Limited Warranty
- Cree platform
- 90+ CRI True White (Registered)
- Dimmable (850 & 1250 Triac; 2000 0-10V)
- 50,000 hour life
- Title 24 Compliant
- LED 11W @ 850 Source Lumens = 663 Delivered Lumens
- LED 16W @ 1250 Source Lumens = 1025 Delivered Lumens
- LED 25W @ 2000 Source Lumens = 1882 Delivered Lumens
- Available in 2700K, 3000K, 3500K, 4000K and Comfort Dim, 91CRI

### Trim

Aluminum spun reflector with deep set diffused lens for excellent visual comfort while providing high lumen output. Available in 2700K, 3000K, 3500K, 4000K or Comfort Dim color temp. to accommodate different appearances.

### Construction

Scientifically and specifiable "Unitized Thermal Management" (UTM) provides exceptional cool operation exceeding all industry standards.

### Mounting

Trim includes torsion springs to mount trim securely to housing.

### ELECTRICAL

**Voltage:** 120VAC

**Current:** 91mA

**Power Consumption:** 850lm=11W / 250lm=16W / 2000lm=25W

**Light Source:** Cree True White Ceramic LED package Platform

**CRI:** 91 CRI

**LED Driver:** CREE LMD125 for 120V / ERP for 277V (non-dimmable)

**Operating Temperature:** 0°C to 75°C ambient temperature

**Life Expectancy:** 50,000 hours

### Bodine Emergency Lighting Equipment: BSL17-C2/BSL17C-C2 (850/1250lm)

- Up to 7.0W max emergency illumination with LEDs.
- Illumination Time: 90min
- Dual Input Voltage: 120/277 VAC, 60Hz
- Output Voltage: 15.0-50.0 VDC
- AC Input Current: 45 mA
- Output Current: 470mA max
- Dimension: 12" x 2.4" x 1.5"

### Bodine Emergency Lighting Equipment: BSL17C-C2P (2000/3000lm)

- Up to 7.0W max emergency illumination with LEDs.
- Illumination Time: 90min
- Dual Input Voltage: 120/277 VAC, 60Hz
- Output Voltage: 15.0-50.0 VDC
- AC Input Current: 280 mA
- Output Current: 270mA max
- Dimension: 12" x 2.4" x 1.5"

### Compatible Housing

| Catalog No.                           | Description                                                    | Driver                                    | Voltage                           | Emergency                             |
|---------------------------------------|----------------------------------------------------------------|-------------------------------------------|-----------------------------------|---------------------------------------|
| <input type="checkbox"/> NHM-612      | 6" 1250lm New Const                                            | <input type="checkbox"/> (Blank)=Standard | <input type="checkbox"/> LE1=120V | <input type="checkbox"/> EM=Emergency |
| <input type="checkbox"/> NHRM-612     | 6" 1250lm Remodel                                              | <input type="checkbox"/> C=Comfort Dim    | <input type="checkbox"/> LE2=277V |                                       |
| <input type="checkbox"/> NHM-620      | 6" 2000lm New Const                                            |                                           |                                   |                                       |
| <input type="checkbox"/> NHMICD-620   | 6" Marquise 2000 Lumen IC New Construction Double Wall Housing |                                           |                                   |                                       |
| <input type="checkbox"/> NHRM-620     | 6" 2000lm Remodel                                              |                                           |                                   |                                       |
| <input type="checkbox"/> NHMIC-685    | 6" 850lm IC New Const                                          |                                           |                                   |                                       |
| <input type="checkbox"/> NHRMIC-685   | 6" 850lm IC Remodel                                            |                                           |                                   |                                       |
| <input type="checkbox"/> NHMICD-612   | 6" 1250lm IC Double Wall New                                   |                                           |                                   |                                       |
| <input type="checkbox"/> NFBIC-6L12AT | 6" Marquise 1250 Lumen IC Dedicated Fire Box                   |                                           |                                   |                                       |
| <input type="checkbox"/> NFBIC-6L85AT | 6" Marquise 850 Lumen IC Dedicated Fire Box                    |                                           |                                   |                                       |

# NORALIGHTING.

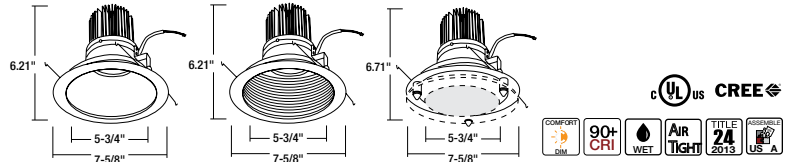
Type Z91

Project Residence Inn

Catalog No. NRM-618-L-20-30-EM-DW

Lamp/Wattage 25W

### DIMENSIONS



### Optics

- Cree True White® Technology
- Flat frosted shatterproof acrylic composite lens
- 90+ CRI
- 97 LPW LEDs producing high efficiency fixture performance
- LM-80 data
- Dimmable

### Dimming

Marquise Series Dimming: 850 and 1250 lumen units require triac style dimmers. 2000 Lumen require 0-10V dimming protocol. See Dimmer Compatibility Chart under Resource section in the Nora I NSpec Lighting Website.

### Comfort Dim

Comfort Dim color tunes the temperature from a bright 2700K, to a romantic and comfortable 1800K on a gradual, even curve.

Comfort Dim is available in 3 different lumen levels:

- 850 and 1250 Lumens for lower ceiling heights in commercial and residential applications. (Sapphire and Marquise Series)
- 2000 Lumens for light commercial and residential high veiling applications. 2000 Lumen available on 6" Marquise.

### Labels and Listings

Title 24 Compliant  
cULus Listed for Wet Location  
WSEC ASTM E283 for Air-Tight  
5 Year Limited Warranty

### 6" LED with Reflector Trim

| Catalog No.                             | Source       | Lumen                                   | Color Temp                               |
|-----------------------------------------|--------------|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> NRM-611        | <b>L=LED</b> | <input type="checkbox"/> 85=850         | <input type="checkbox"/> 27=2700K        |
| <input type="checkbox"/> NRM-612        |              | <input type="checkbox"/> 12=1250        | <input type="checkbox"/> <b>30=3000K</b> |
| <input type="checkbox"/> <b>NRM-618</b> |              | <input type="checkbox"/> <b>20=2000</b> | <input type="checkbox"/> 35=3500K        |
|                                         |              |                                         | <input type="checkbox"/> 40=4000K        |
|                                         |              |                                         | <input type="checkbox"/> CD=Comfort Dim  |

**\*EM: BSL17-C2/BSL17C-C2 Emergency LED Drive Class 2 Output  
Compatible with CREE LMH Module.**

### Deco Glass Options

- ☐ NTG-6B/120: 6" Tempered Clear Glass with Frosted Center and 3-1/8" Open Center
- ☐ NTG-6B/80: 6" Tempered Blue Glass with 3-1/8" Open Center
- ☐ NTG-6CF: 6" Tempered Clear Glass with Frosted Center
- ☐ NTG-6FC: 6" Tempered Frosted Glass with Clear Center
- ☐ NTG-6HC: 6" Tempered Clear Glass with Frosted Center and 3-1/8" Open Center

### Finish

| 611/618 Refelctor & Flange                                           | 612 Baffle & Flange Finishes                                  |
|----------------------------------------------------------------------|---------------------------------------------------------------|
| <input type="checkbox"/> BW = Specular Black Reflector, White Flange | <input type="checkbox"/> BW = Black Baffle / White Flange     |
| <input type="checkbox"/> BZ = Bronze Reflector, Bronze Flange        | <input type="checkbox"/> BZ = Bronze Baffle and Flange        |
| <input type="checkbox"/> CO = Copper Reflector, Copper Flange        | <input type="checkbox"/> CO = Copper Baffle and Flange        |
| <input type="checkbox"/> DW = Diffused Clear Reflector, White Flange | <input type="checkbox"/> NN = Natural Metal Baffle and Flange |
| <input type="checkbox"/> HZW = Haze Reflector, White Flange          | <input type="checkbox"/> WW = White Baffle and Flange         |
| <input type="checkbox"/> NN = Natural Metal Reflector & Flange       |                                                               |
| <input type="checkbox"/> <b>WW = White Reflector, White Flange</b>   |                                                               |

Create a complete trim / housing catalog numbers: Example: NRM-611L8527BZBZ / NHM-685LE1EM

# NORALIGHTING.

6505 Gayhart St., Commerce, CA 90040  
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Phone: 800.686.6672 • FAX: 800.500.9955 • e-mail: nora@noralighting.com

## Marquise Series

### 6" Dedicated LED with Reflector Trim

Source: LED 10.6 Watts @ 850 Source Lumens = 663 Delivered Lumens  
LED 15.75 Watts @ 1250 Source Lumens = 1025 Delivered Lumens  
LED 24.32 Watts @ 2000 Source Lumen = 1744 Delivered Lumens

**NORALIGHTING.**

Type

Project

Catalog No.

Lamp/Wattage

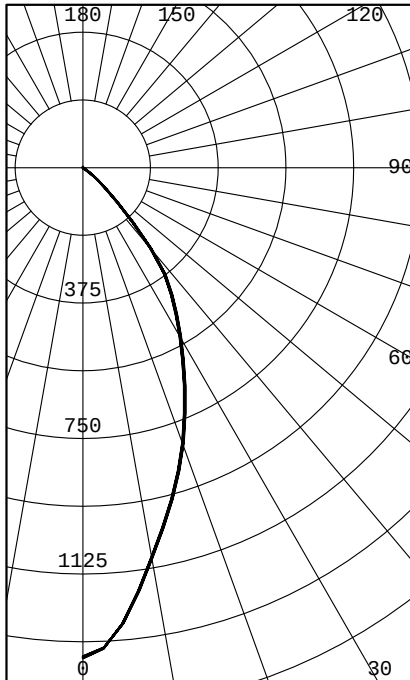
#### NHM-612LE1 / NRM-611L1230DW

|                    |                |                 |                   |                   |           |         |
|--------------------|----------------|-----------------|-------------------|-------------------|-----------|---------|
| Voltage: 120.1 VAC | Power: 15.52 W | Frequency: 60Hz | Test Temp: 24.8°C | Current: 0.1317 A | PF: 0.983 | SC: 0.7 |
|--------------------|----------------|-----------------|-------------------|-------------------|-----------|---------|

COEFFICIENTS OF UTILIZATION CONAL CAVITY METHOD  
EFFECTIVE FLOOR CAVITY REFLECTANCE = 0.20

| CC   | 90   |      |      |      | 80   |      |      |      | 70   |      |      |      | 50   |      |      | 30   |      |      | 10   |      |      | 0    |
|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|------|
| WALL | 70   | 50   | 30   | 10   | 70   | 50   | 30   | 10   | 70   | 50   | 30   | 10   | 50   | 30   | 10   | 50   | 30   | 10   | 50   | 30   | 10   | 0    |
| RCR  |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |      |
| 0    | 1.22 | 1.22 | 1.22 | 1.22 | 1.19 | 1.19 | 1.19 | 1.19 | 1.16 | 1.16 | 1.16 | 1.16 | 1.11 | 1.11 | 1.11 | 1.06 | 1.06 | 1.06 | 1.02 | 1.02 | 1.02 | 1.00 |
| 1    | 1.16 | 1.13 | 1.11 | 1.09 | 1.14 | 1.12 | 1.09 | 1.07 | 1.12 | 1.10 | 1.07 | 1.05 | 1.05 | 1.04 | 1.02 | 1.02 | 1.00 | 0.99 | 0.98 | 0.97 | 0.96 | 0.95 |
| 2    | 1.11 | 1.07 | 1.03 | 0.99 | 1.09 | 1.05 | 1.02 | 0.98 | 1.07 | 1.03 | 1.00 | 0.97 | 1.00 | 0.97 | 0.95 | 0.97 | 0.95 | 0.93 | 0.95 | 0.93 | 0.91 | 0.90 |
| 3    | 1.06 | 1.00 | 0.95 | 0.91 | 1.04 | 0.99 | 0.94 | 0.91 | 1.03 | 0.97 | 0.93 | 0.90 | 0.95 | 0.92 | 0.89 | 0.93 | 0.90 | 0.87 | 0.90 | 0.88 | 0.86 | 0.85 |
| 4    | 1.02 | 0.94 | 0.89 | 0.85 | 1.00 | 0.93 | 0.88 | 0.85 | 0.98 | 0.92 | 0.88 | 0.84 | 0.90 | 0.86 | 0.83 | 0.88 | 0.85 | 0.82 | 0.86 | 0.84 | 0.81 | 0.80 |
| 5    | 0.97 | 0.89 | 0.83 | 0.79 | 0.95 | 0.88 | 0.82 | 0.79 | 0.94 | 0.87 | 0.82 | 0.78 | 0.85 | 0.81 | 0.78 | 0.83 | 0.80 | 0.77 | 0.82 | 0.79 | 0.76 | 0.75 |
| 6    | 0.93 | 0.84 | 0.78 | 0.74 | 0.91 | 0.83 | 0.78 | 0.74 | 0.90 | 0.82 | 0.77 | 0.73 | 0.81 | 0.76 | 0.73 | 0.79 | 0.75 | 0.72 | 0.78 | 0.75 | 0.72 | 0.71 |
| 7    | 0.87 | 0.79 | 0.73 | 0.69 | 0.86 | 0.78 | 0.72 | 0.69 | 0.85 | 0.77 | 0.72 | 0.68 | 0.76 | 0.71 | 0.68 | 0.75 | 0.71 | 0.67 | 0.74 | 0.70 | 0.67 | 0.66 |
| 8    | 0.84 | 0.74 | 0.68 | 0.64 | 0.82 | 0.73 | 0.68 | 0.64 | 0.81 | 0.72 | 0.67 | 0.64 | 0.72 | 0.67 | 0.64 | 0.71 | 0.66 | 0.63 | 0.70 | 0.66 | 0.63 | 0.62 |
| 9    | 0.79 | 0.70 | 0.64 | 0.59 | 0.78 | 0.69 | 0.63 | 0.59 | 0.77 | 0.68 | 0.63 | 0.59 | 0.67 | 0.63 | 0.59 | 0.67 | 0.62 | 0.59 | 0.66 | 0.62 | 0.59 | 0.57 |
| 10   | 0.75 | 0.65 | 0.59 | 0.56 | 0.74 | 0.65 | 0.59 | 0.55 | 0.73 | 0.64 | 0.59 | 0.55 | 0.64 | 0.59 | 0.55 | 0.63 | 0.58 | 0.55 | 0.62 | 0.58 | 0.55 | 0.54 |

## INTENSITY (CANDLEPOWER) SUMMARY



| ANGLE | MEAN CP |
|-------|---------|
| 0     | 1356    |
| 5     | 1267    |
| 10    | 1097    |
| 15    | 951     |
| 20    | 809     |
| 25    | 667     |
| 30    | 539     |
| 35    | 428     |
| 40    | 292     |
| 45    | 134     |
| 50    | 54      |
| 55    | 18      |
| 60    | 1       |
| 65    | 0       |
| 70    | 0       |
| 75    | 0       |
| 80    | 0       |
| 85    | 0       |
| 90    | 0       |

## ZONAL LUMENS & PERCENTAGES

| ZONE   | LUMENS | % LUMINAIRE |
|--------|--------|-------------|
| 0-30   | 686    | 63.49       |
| 0-40   | 949    | 87.81       |
| 0-60   | 1081   | 99.99       |
| 0-90   | 1081   | 100.00      |
| 40-90  | 132    | 12.19       |
| 60-90  | 0      | 0.01        |
| 90-180 | 0      | 0.00        |
| 0-180  | 1080   | 100.00      |

## LUMINACE SUMMARY CD./SQ.M.

| ANGLE | MEAN CD/SQ M |
|-------|--------------|
| 45    | 11335        |
| 55    | 1924         |
| 65    | 2            |
| 75    | 0            |
| 85    | 0            |

**NORALIGHTING.**

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Phone: 800.686.6672 • FAX: 800.500.9955 • e-mail: nora@noralighting.com

## Aluminum LED 25W Bollard Light

Outdoor



IL-C13BS

### Product Specifications

#### Features :

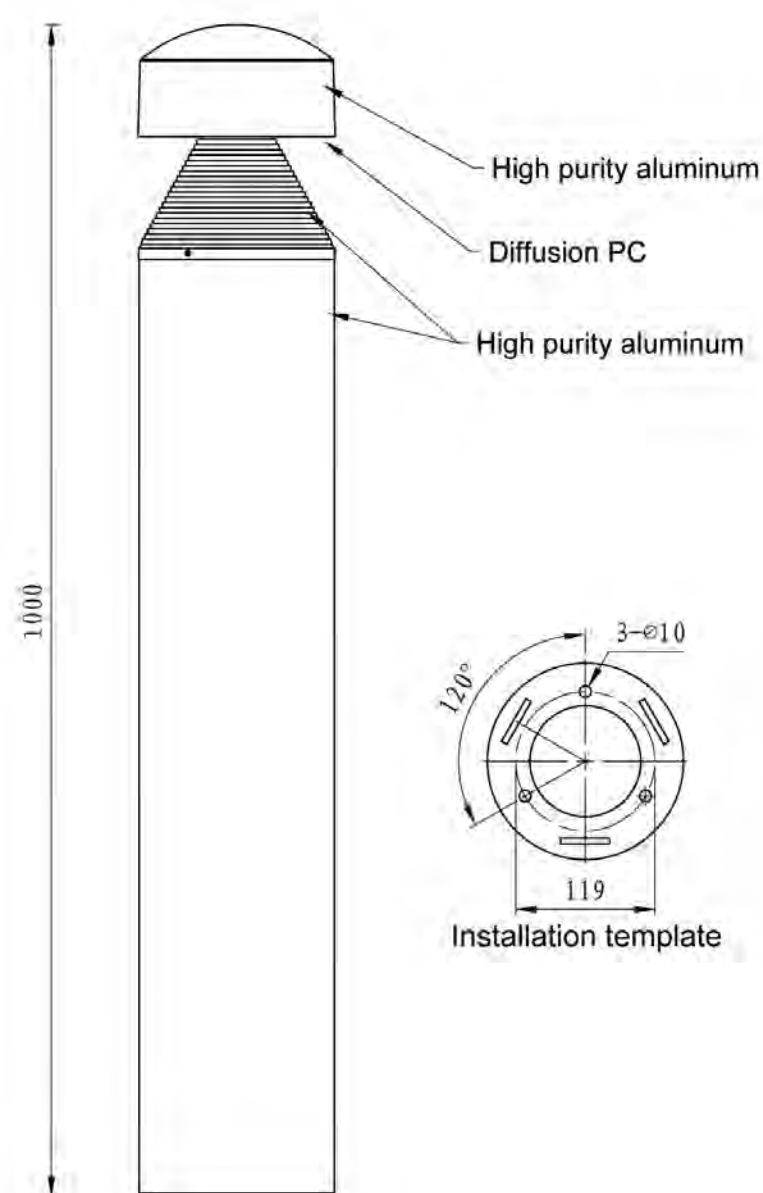
- Model IL-C13BS
- CCT 4000K
- Description 25W Aluminum Bollard Light
- Dimensions 39.37" H x 6.61" D
- CRI 75
- Finishes Bronze - Black finish available on request
- Power 25W
- Input Voltage 100-240V
- Suitable Outdoor
- Lumens 1500
- Power Factor 50-60Hz
- Certification IP65
- Warranty 3 years

[See ordering information on specification sheets for options.](#)

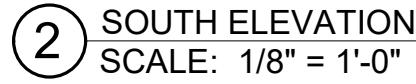
DOWNLOAD SPECIFICATION SHEET 

### DIMENSIONS

39.37" H x 6.61" D



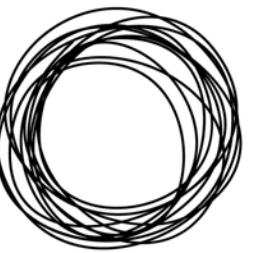




This architectural elevation drawing shows a long, multi-story building facade. The drawing includes various material and window annotations. On the left side, vertical dimensions are provided: 56'-2 1/8", 11'-2 5/8", and 13'-2 5/8". On the right side, horizontal dimensions and level markers are provided: ROOF BEARING 507' - 0", 04 - FF 497' - 10 7/8", 04 - BEARING 495' - 9 3/8", 03 - FF 486' - 8 1/4", 03 - BEARING 484' - 6 3/4", 02 - FF 475' - 5 5/8", 02 - BEARING 473' - 4 1/8", and 01 - FF 462' - 3". The facade features a mix of materials including light-colored siding, dark stone veneer, and dark blue panels. Windows are shown in various sizes and configurations, some with shutters. The roof is dark and appears to be shingled. The drawing is a detailed technical representation of the building's exterior.

① WEST ELEVATION  
SCALE: 1" = 10'-0"

chasen b. garrett  
ARCHITECTS, PLLC  
405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175



**RESIDENCE INN - #11090**  
KMG HOTELS  
16875 NORTH OUTER 40 ROAD - CHESTER  
**EXTERIOR ELEVATION**



DATE: 07/13/2018

# A201





2 EAST ELEVATION  
SCALE: 1" = 10'-0"

| EXTERIOR MATERIAL FINISH SCHEDULE |                            |                       |              |                                                                                                           |  |
|-----------------------------------|----------------------------|-----------------------|--------------|-----------------------------------------------------------------------------------------------------------|--|
| MARK                              | MATERIAL                   | LOCATION              | MANUFACTURER | FINISH DESCRIPTION                                                                                        |  |
| AL1                               | WINDOWS/STOREFRONTS        | REFER TO DRAWINGS     | VARIES       | ALUMINUM FRAME - PRE-FINISHED WHITE                                                                       |  |
| AS1                               | ASPHALT SHINGLES           | TYPICAL ROOF          | CERTAINTED   | LANDMARK - WEATHERED WOOD                                                                                 |  |
| MR1                               | STANDING SEAM METAL ROOF   | UPPER LOW SLOPE ROOFS | PACCLAD      | SNAP CLAD STANDING SEAM METAL ROOFING - GRAPHITE COLOR                                                    |  |
| PT1                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                      |  |
| PT2                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "ZIRCON" SW-7667                           |  |
| PT3                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "SMOKY AZURITE" SW-9148                    |  |
| PT4                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH STONE                                                       |  |
| S1                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006   |  |
| S1a                               | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE SIDING - SMOOTH - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                                           |  |
| S2                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 10 3/4" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "ZIRCON" SW-7667   |  |
| S3                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "SMOKY AZURITE" SW-9148 |  |
| S4                                | FIBER CEMENT SIDING SOFFIT | ROOF SOFFITS          | JAMES HARDIE | HARDIESOFFIT PANELS - VENTED - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006          |  |
| ST1                               | MANUFACTURED STONE VENEER  | REFER TO DRAWINGS     | EL DORADO    | RIVER ROCK "RIO GRANDE"                                                                                   |  |



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

| PLAN STATUS |                 | DATE       |
|-------------|-----------------|------------|
| DESCRIPTION | ARB SUBMITTAL   | 02/26/2018 |
| DESCRIPTION | ARB SUBMITTAL 2 | 04/18/2018 |
| DESCRIPTION | ARB SUBMITTAL 3 | 06/08/2018 |
| DESCRIPTION | PLANNING        | 07/13/2018 |

**chasen b. garrett**  
ARCHITECTS, PLLC  
405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175

**RESIDENCE INN - #11090**  
KMG HOTELS  
16875 NORTH OUTER 40 ROAD - CHESTERFIELD, MO  
**EXTERIOR ELEVATIONS**

07/13/2018  
CHASEN B. GARRETT  
2014010812  
ARCHITECT  
CHASEN B. GARRETT - ARCHITECT  
MO# A-2014010812  
DATE: 07/13/2018  
SHEET NUMBER: **A202**





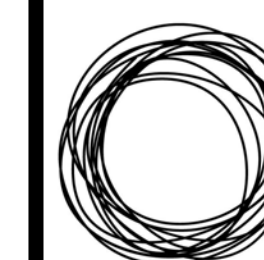
NORTHWEST RENDERING



SOUTHWEST RENDERING

[illegible]

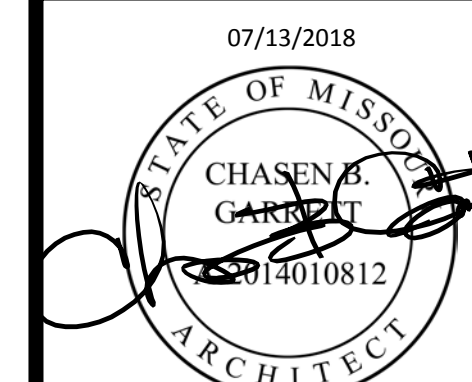
**chasen b. garrett**  
ARCHITECTS, PLLC  
405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175



RESIDENCE INN - #11090

16875 NORTH OUTER 40 ROAD - CHESTERFIELD, MO

## EXTERIOR RENDERINGS



CHASEN B. GARRETT - ARCHITECT  
MO# A-2014010812

DATE: 07/13/2018

SHEET NUMBER:

A203









2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

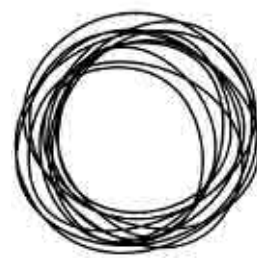
| EXTERIOR MATERIAL FINISH SCHEDULE |                            |                       |              |                                                                                                           |  |
|-----------------------------------|----------------------------|-----------------------|--------------|-----------------------------------------------------------------------------------------------------------|--|
| MARK                              | MATERIAL                   | LOCATION              | MANUFACTURER | FINISH DESCRIPTION                                                                                        |  |
| AL1                               | WINDOWS/STOREFRONTS        | REFER TO DRAWINGS     | VARIES       | ALUMINUM FRAME - PRE-FINISHED WHITE                                                                       |  |
| AS1                               | ASPHALT SHINGLES           | TYPICAL ROOF          | CERTAINTED   | LANDMARK - WEATHERED WOOD                                                                                 |  |
| MR1                               | STANDING SEAM METAL ROOF   | UPPER LOW SLOPE ROOFS | PACCLAD      | SNAP CLAD STANDING SEAM METAL ROOFING - GRAPHITE COLOR                                                    |  |
| PT1                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                      |  |
| PT2                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "ZIRCON" SW-7667                           |  |
| PT3                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "SMOKY AZURITE" SW-9148                    |  |
| PT4                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH STONE                                                       |  |
| S1                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006   |  |
| S1a                               | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE SIDING - SMOOTH - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                                           |  |
| S2                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 10 3/4" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "ZIRCON" SW-7667   |  |
| S3                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "SMOKY AZURITE" SW-9148 |  |
| S4                                | FIBER CEMENT SIDING SOFFIT | ROOF SOFFITS          | JAMES HARDIE | HARDIE SOFFIT PANELS - VENTED - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006         |  |
| ST1                               | MANUFACTURED STONE VENEER  | REFER TO DRAWINGS     | EL DORADO    | RIVER ROCK "RIO GRANDE"                                                                                   |  |



1 WEST ELEVATION  
SCALE: 1" = 10'-0"

| PLAN STATUS |                 | DATE       |
|-------------|-----------------|------------|
| DESCRIPTION | ARB SUBMITTAL 1 | 02/26/2018 |
| DESCRIPTION | ARB SUBMITTAL 2 | 04/18/2018 |
| DESCRIPTION | ARB SUBMITTAL 3 | 06/08/2018 |
| DESCRIPTION | PLANNING        | 07/13/2018 |
| DESCRIPTION | PLANNING 2      | 07/23/2018 |

chasen b. garrett  
ARCHITECTS, PLLC  
405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175



RESIDENCE INN - #11090  
KMG HOTELS  
16875 NORTH OUTER 40 ROAD - CHESTERFIELD, MO  
EXTERIOR ELEVATIONS



DATE: 07/23/2018  
SHEET NUMBER: A201





2 EAST ELEVATION  
SCALE: 1" = 10'-0"

| EXTERIOR MATERIAL FINISH SCHEDULE |                            |                       |              |                                                                                                           |  |
|-----------------------------------|----------------------------|-----------------------|--------------|-----------------------------------------------------------------------------------------------------------|--|
| MARK                              | MATERIAL                   | LOCATION              | MANUFACTURER | FINISH DESCRIPTION                                                                                        |  |
| AL1                               | WINDOWS/STOREFRONTS        | REFER TO DRAWINGS     | VARIES       | ALUMINUM FRAME - PRE-FINISHED WHITE                                                                       |  |
| AS1                               | ASPHALT SHINGLES           | TYPICAL ROOF          | CERTAINTED   | LANDMARK - WEATHERED WOOD                                                                                 |  |
| MR1                               | STANDING SEAM METAL ROOF   | UPPER LOW SLOPE ROOFS | PACCLAD      | SNAP CLAD STANDING SEAM METAL ROOFING - GRAPHITE COLOR                                                    |  |
| PT1                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                      |  |
| PT2                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "ZIRCON" SW-7667                           |  |
| PT3                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH SHERWIN WILLIAMS "SMOKY AZURITE" SW-9148                    |  |
| PT4                               | FIBER CEMENT SIDING TRIM   | TRIM                  | JAMES HARDIE | HARDIE SIDING TRIM - PAINT/PREFINISH TO MATCH STONE                                                       |  |
| S1                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006   |  |
| S1a                               | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE SIDING - SMOOTH - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006                                           |  |
| S2                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 10 3/4" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "ZIRCON" SW-7667   |  |
| S3                                | FIBER CEMENT SIDING        | REFER TO DRAWINGS     | JAMES HARDIE | HARDIE PLANK LAP SIDING 6" EXPOSURE - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "SMOKY AZURITE" SW-9148 |  |
| S4                                | FIBER CEMENT SIDING SOFFIT | ROOF SOFFITS          | JAMES HARDIE | HARDIE SOFFIT PANELS - VENTED - SELECT CEDARMILL TEXTURE - SHERWIN WILLIAMS "EXTRA WHITE" SW-7006         |  |
| ST1                               | MANUFACTURED STONE VENEER  | REFER TO DRAWINGS     | EL DORADO    | RIVER ROCK "RIO GRANDE"                                                                                   |  |



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

| PLAN STATUS |                 | DATE       |
|-------------|-----------------|------------|
| DESCRIPTION | ARB SUBMITTAL   | 02/26/2018 |
| A#          | ARB SUBMITTAL 2 | 04/18/2018 |
|             | ARB SUBMITTAL 3 | 06/08/2018 |
|             | PLANNING        | 07/13/2018 |
|             | PLANNING 2      | 07/23/2018 |

chasen b. garrett

ARCHITECTS, PLLC

405 GARRISON AVE. SUITE 103  
FORT SMITH, ARKANSAS 72901  
479.652.0175

RESIDENCE INN - #11090  
KMG HOTELS  
16875 NORTH OUTER 40 ROAD - CHESTERFIELD, MO  
EXTERIOR ELEVATIONS

07/23/2018

CHASEN B. GARRETT - ARCHITECT  
MO# A-2014010812

DATE:  
07/23/2018  
SHEET NUMBER:  
A202



**FINANCE AND ADMINISTRATION COMMITTEE**

Chair: Councilmember McGuinness

Vice-Chair: Councilmember Moore

There are no action items from the Finance and Administration Committee for this meeting.

**If you have any questions or require additional information please contact Finance Director Chris DesPlanques or me prior to Monday's meeting.**

**PARKS, RECREATION AND ARTS COMMITTEE**

Chair: Councilmember Hurt

Vice Chair: Councilmember Mastorakos

There are no action items from the Parks, Recreation and Arts Committee for this meeting.

**If you have any questions or require additional information, please contact Director of Parks, Recreation and Arts, Tom McCarthy or me prior to Monday's meeting.**



**PUBLIC HEALTH AND SAFETY COMMITTEE**

Chair: Councilmember Flachsbart

Vice Chair: Councilmember DeCampi

There are no action items from the Finance and Administration Committee for this meeting.

**If you have any questions or require additional information, please contact Chief Ray Johnson or me prior today's meeting.**

## **CITY ADMINISTRATOR'S REPORT**

### **Bill No. 3211 – Annual Renewal, Conflict of Interest (Second Reading)**

As has been the City's annual practice since 1991, the City Clerk has prepared this bill to formally re-adopt the City's Conflict of Interest procedure in accordance with Missouri Statute 105.485. Once passed and signed, the City Clerk will forward the Ordinance to the Missouri Ethics Commission.

**Bid Recommendation – Metro St. Louis Cooperative Salt Deicing Salt Program (Roll Call Vote)** Recommendation to approve a one-year price extension for the purchase of deicing salt from Compass Minerals, and accept the low bid for salt delivery from Beelman Logistics LLC.

**Contract renewal, Gamble & Schlemmeier, Ltd. and associated budget amendment (Roll Call Vote).** The City's governmental services contract with Gamble Schlemmeier Ltd. expires as of September. Accordingly, I am requesting that Council authorize me to enter into a new twelve month contract at the same rate of \$40,000, which is to be funded by a budget amendment from the General Fund – Fund Reserves.

**If you have any questions or require additional information, please contact me prior to Monday's meeting.**



# Memorandum

## Department of Public Works



**TO:** Michael O. Geisel, P.E.  
City Administrator

**FROM:** James A. Eckrich, P.E. *JA*  
Public Works Dir. / City Engineer

**DATE:** July 19, 2018

**RE:** Metro St. Louis Cooperative Deicing Salt Program

*Please forward to PPW for review and concurrence of your recommendation to extend the Compass Materials procurement bid.*  
*MO Geisel*

As you know, the City of Chesterfield coordinates the purchase and delivery of deicing salt for all members of the St. Louis Metro APWA Salt Cooperative (Coop). The Coop is comprised of 51 cities and seven school districts which combine their purchasing power to obtain the best price possible for deicing salt.

The City of Chesterfield, on behalf of the Coop, most recently opened bids for the purchase of deicing salt on June 17, 2015. At that time, Compass Minerals provided the low bid at a cost of \$49.23 per ton. This was significantly lower than the Coop paid in 2014, which was \$62.63 per ton, and even more significantly lower than the next lowest 2015 bid, which was \$71.17 per ton. Compass Minerals has served the Coop well and is willing to extend its 2015 prices again for an additional year. Accordingly, **I recommend that we accept this price extension and once again purchase salt from Compass Minerals.**

Unfortunately, Beelman Logistics was unwilling to extend its 2015 prices for delivery (\$8.62 / ton to Chesterfield). Accordingly, the Department of Public Works publicly advertised for bids for salt hauling and unloading. A public bid opening was held on July 11, 2018. Beelman Logistics submitted the one and only bid received, with the prices contained on the attached Bid Form. All prices have been raised, as expected, with the price to the City of Chesterfield increasing to \$11.45 per ton. The City Staff did contact Lange Stegmann, who has also provided this service in the past. A representative from Lange Stegmann stated that they were aware of the bid, but were unable to provide this service for the Coop in 2018 / 2019.

**It is my recommendation that the City of Chesterfield approve the one year extension for salt by Compass Minerals, and the low bid for salt delivery by Beelman Logistics LLC. Once approved, City Staff will execute the documents necessary to initiate the 2018/2019 salt purchase on behalf of the Coop.**

The City of Chesterfield Staff is currently in the process of obtaining the orders for salt, which will comprise the two salt deliveries, one of which will occur in late 2018 (fall) and one in early 2019 (winter). Due to the mild 2017/2018 winter, the City of Chesterfield's salt dome is full, and we will not order any salt for the fall order. We do anticipate the need for additional salt, and will plan to place an order for 3,000 tons of salt for the winter delivery. This will result in a total cost to the City of Chesterfield of \$182,040 which is well within budget (\$275,300). If you have questions or need additional information, please let me know.

### **Action Recommended**

This matter should be forwarded to City Council for its consideration of approval of the salt extension with Compass Minerals, and the delivery contract with Beelman Logistics LLC.





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690 Chesterfield Pkwy W • Chesterfield MO 63017-0760  
Phone: 636-537-4000 • Fax 636-537-4798 • [www.chesterfield.mo.us](http://www.chesterfield.mo.us)

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Date: July 17, 2018

To: Jim Eckrich, Public Works Director

From: Mike O'Connor, Superintendent of Maintenance

Re: Bids for St. Louis Metro APWA Salt Co-op Hauling

We recently advertised for bid for “Unloading and Hauling” of road salt for the “St. Louis Metro APWA Salt Cooperative”. We also sent invitations to bid to all firms we are aware of that perform this type of service.

On July 11, 2018 we publicly opened sealed bids for this service. Beelman Logistics, LLC was the only bidder to respond to our request for bids. Beelman’s price for unloading barges onto the delivery trucks, and management of delivery is \$3.32 per ton.

The delivery pricing to the individual municipalities and other entities are attached. All trucking cost has increase since our last bids were received in 2014, which is to be expected. Please note that municipalities and schools which require tandem trucks for deliveries have substantially increased. This is due to the fact that Beelman does not own tandem dump trucks and has to contract these deliveries with other trucking companies.

We have been using Beelman Logistics to perform the salt deliveries for several years and they have perform in an acceptable manner. I recommend we continue to use Beelman Logistics LLC for the “Unloading and Hauling of salt for the St. Louis Metro APWA Salt Cooperative”, for the upcoming season.

## 2018 Bid Form

To: The City of Chesterfield

**Hauling of Snow and Ice Control Salt per Bid Specifications.** The following bid for hauling of snow and ice control salt is submitted in response to your invitation to bid dated July 11, 2018. Bid proposal for unloading salt from barges at a St. Louis Mississippi River port facility and loading into trucks including managing and administration cost : \$ 3.32 per ton.

It is understood that the cost for hauling will be different to each Municipality. Please submit the cost of delivery per ton, from your unloading facility to each of the following locations. This cost will be added to your bid for the administration and unloading bid, which should be the same for every city.

Name & location of unloading facility:

Beelman River Terminal

210 Bremen Ave

Venice, IL 62090

City of Delivery:

|                      |               |                  |               |
|----------------------|---------------|------------------|---------------|
| Arnold               | \$ 6.54 /ton  | Fenton           | \$ 6.72 /ton  |
| Ballwin              | \$ 7.43 /ton  | Ferguson         | \$ 5.48 /ton  |
| Bel-Nor              | \$ 5.89 /ton  | Frontenac*       | \$ 11.05 /ton |
| Bel-Ridge*           | \$ 9.90 /ton  | Glendale         | \$ 5.83 /ton  |
| Berkeley*            | \$ 10.20 /ton | Green Park       | \$ 5.13 /ton  |
| Black Jack*          | \$ 9.90 /ton  | Greendale        | \$ 5.83 /ton  |
| Breckenridge Hills*  | \$ 9.45 /ton  | Hazelwood        | \$ 5.83 /ton  |
| Brentwood            | \$ 5.93 /ton  | Ladue            | \$ 5.89 /ton  |
| Bridgeton            | \$ 6.54 /ton  | Manchester       | \$ 7.43 /ton  |
| Charlack*            | \$ 10.45 /ton | Maplewood*       | \$ 9.65 /ton  |
| Chesterfield         | \$ 8.13 /ton  | Maryland Heights | \$ 6.54 /ton  |
| Clayton              | \$ 5.30 /ton  | Normandy*        | \$ 9.30 /ton  |
| Cool Valley*         | \$ 10.10 /ton | Northwoods*      | \$ 8.75 /ton  |
| Crestwood            | \$ 5.66 /ton  | Olivette*        | \$ 10.50 /ton |
| Creve Coeur*         | \$ 11.75 /ton | Overland*        | \$ 10.80 /ton |
| Des Peres            | \$ 6.36 /ton  | Pagedale*        | \$ 10.45 /ton |
| Ellisville           | \$ 8.49 /ton  | Pasadena Hills   | \$ 5.55 /ton  |
| Fairview Heights, IL | \$ 5.25 /ton  | Pine Lawn        | \$ 5.35 /ton  |



|                      |         |      |
|----------------------|---------|------|
| Richmond Heights     | \$5.75  | /ton |
| Rock Hill*           | \$9.90  | /ton |
| St. Ann              | \$6.01  | /ton |
| St. John*            | \$10.20 | /ton |
| St. Peters           | \$8.66  | /ton |
| Shrewsbury           | \$5.48  | /ton |
| Sunset Hills*        | \$11.10 | /ton |
| Town & Country*      | \$11.55 | /ton |
| University City*     | \$9.01  | /ton |
| Village of Hillsdale | \$5.54  | /ton |
| Vinita Park*         | \$10.54 | /ton |
| Webster Groves       | \$5.66  | /ton |
| Wildwood*            | \$15.30 | /ton |
| Winchester           | \$8.13  | /ton |
| Woodson Terrace*     | \$11.65 | /ton |

|                     |          |      |
|---------------------|----------|------|
| Ferguson Florissant |          |      |
| School District*    | \$ 9.30  | /ton |
| Francis Howell      |          |      |
| School District*    | \$ 12.85 | /ton |
| Kirkwood            |          |      |
| School District*    | \$ 10.20 | /ton |
| Lindbergh           |          |      |
| School District*    | \$ 10.25 | /ton |
| Parkway             |          |      |
| School District*    | \$ 13.55 | /ton |
| Pattonville         |          |      |
| School District*    | \$ 11.25 | /ton |
| Rockwood            |          |      |
| School District*    | \$ 12.65 | /ton |

**NOTE:** \*Tandems only

**Exceptions:**

July 11, 2018  
**Date**

Net 15 days from invoice date  
**Terms**

26-0599880  
**Federal Tax ID#**

Beelman Logistics, LLC  
**Company**

One Racehorse Drive  
**Address**

East St. Louis, IL 62205  
**City/State/Zip Code**

618-646-5315  
**Telephone**

jeffh@beelman.com  
**Email Address**

 sales manager  
**Signature & Title**



**Compass Minerals**  
9900 W. 109<sup>th</sup> Street, Suite 100  
Overland Park, KS 66210  
www.compassminerals.com  
913-344-9200

June 8, 2018

Mr. Michael O'Connor  
Superintendent of Maintenance Operations  
c/o City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, MO 63017

Dear Mr. O'Connor:

I hope this letter finds you well. Per your e-mail request, Compass Minerals agrees to renew the de-icing salt contract with the Metro St. Louis Salt Cooperative. The same price (\$49.23 per ton for barge delivery to St. Louis), terms and conditions as the 2017-2018 agreement would apply through March 31, 2019. If you accept, please provide your potential salt requirement for the upcoming winter season.

Please review this proposal, sign below and return to us if you wish to accept the offer. Our fax number is 913-338-7945. If you have any questions, my number is 913-344-9330.

Thank you,

Sean Lierz  
Senior Sales Manager-Highway Sales

*Sent to J.E. on 6/11/18*



# GAMBLE & SCHLEMEIER, LTD.

## Governmental Relations Services Contract

This agreement, made as of September 1, 2018, is by and between the **City of Chesterfield, Missouri** (hereinafter "Client"), and **Gamble & Schlemeier, Ltd.**, 213 East Capitol Avenue, Jefferson City, Missouri, 65101 (hereinafter "Gamble"). By this agreement it is intended that Gamble will provide to Client governmental relations services, as an independent contractor, as governed by the terms and conditions set forth below.

The parties to this agreement, in consideration of the mutual covenants and stipulations set out herein below, agree as follows:

### Term and Scope of Services

Gamble will provide to Client the following services:

**Governmental relations services before the Missouri legislature and executive branch related to the establishment and maintenance, on behalf of Client, of contacts with members of the Missouri General Assembly; monitoring of pertinent legislation affecting Client's municipal interests; and preparation of or lobbying on behalf of legislation proposed in Client's interest, which may include, without limitation, legislation affecting the St. Louis County municipal sales tax pooling requirements imposed by RSMo Section 66.620 and legislation directly related to a merger of St. Louis City and St. Louis County. Included in such services, during the legislative session, Gamble will provide to Client a written monthly summary of services performed and legislation monitored on behalf of Client for the previous month. This agreement shall be in effect from the date first above stated through August 30, 2019.**

### Payment

Client agrees to pay Gamble:

A total fee of **\$40,000**, which shall be due and payable, in 12 equal monthly installments, upon the 1<sup>st</sup> day of each month, beginning on September 1, 2018.

No expense reimbursement shall be made for, and Client, shall not be obligated for, any expenses associated with employee retirement benefits, taxes (FICA, withholding or FUTA), unemployment insurance, workers' compensation insurance benefits, health insurance, office equipment, office expenses or repairs, maintenance or utilities, or other direct expense of the services provided by Gamble as consultant under this agreement.

### Independent Contractor Status

Neither Gamble, nor any of its subcontractors, employees or agents shall be deemed to be employees of Client, it being understood that Gamble is an independent contractor for all purposes and at all times. Gamble shall be solely responsible for withholding or payment of all federal, state and local personal income taxes, social security taxes, unemployment and disability insurance, and all other payroll taxes and obligations with respect to Gamble or its employees. It is the intent of the parties to this agreement that Gamble is retained based upon its expertise in governmental affairs consulting. Therefore, Gamble shall have complete control and discretion in choosing the appropriate means, manner and methods for providing the services hereunder; Client shall exercise no supervisory or other control over the means, manner and method by which Gamble provides such services. Further, Client acknowledges

## GAMBLE & SCHLEMEIER, LTD.

that Gamble may and will be providing the same or similar services to other entities and Gamble acknowledges that Client may retain or employ additional management or governmental affairs consultants.

This instrument contains the entire agreement between the parties and no statement, promise or inducement made by either party or agent of either party that is not contained in this written agreement shall be valid or binding. This agreement may not be enlarged, modified or altered except in writing signed by the parties. This agreement shall inure to the benefit of and be binding only upon Gamble and Client. This agreement is entered into between the parties in the state of Missouri and shall be subject to interpretation and construction according to the internal laws of the state of Missouri.

IN WITNESS WHEREOF, the parties hereto have set their hands the day aforesaid.

Gamble:  
Gamble & Schlemeier, Ltd.

Client:  
City of Chesterfield, Missouri

\_\_\_\_\_  
Jorgen Schlemeier, authorized officer

\_\_\_\_\_



## **UNFINISHED BUSINESS**

There are no unfinished action items on the agenda for this meeting.

**If you have any questions or require additional information, please contact me prior to Monday's meeting.**

## **NEW BUSINESS**

I am unaware of any New Business items for this meeting's agenda.

**If you have any questions or require additional information, please contact me prior to Monday's meeting.**



## LEGISLATION

- A. Bill No. 3211** – An ordinance re-adopting the procedure established in Ordinance No. 605 of the City of Chesterfield as the procedure for disclosure of conflicts for certain municipal officials. **(Second Reading) City Administrator Recommends Approval.**
- B. Bill No. 3212** – An ordinance amending Ordinance 3010 to authorize replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Subdivision, a 17.4 acre tract of land zoned “LLR” Large Lot Residential District located west of Wilson Avenue and northwest of the intersection of Wilson Avenue and Clarkson Road.**(First & Second Reading) Planning & Public Works Committee recommends approval.**
- C. Bill No. 3213** – An ordinance pertaining to the acceptance of Harmony Meadow Court as a public street in the City of Chesterfield **(First Reading) Planning & Public Works Committee recommends approval.**

BILL NO. 3211

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE RE-ADOPTING THE PROCEDURE ESTABLISHED IN ORDINANCE NO. 605 OF THE CITY OF CHESTERFIELD AS THE PROCEDURE FOR DISCLOSURE OF CONFLICTS FOR CERTAIN MUNICIPAL OFFICIALS.**

**WHEREAS**, Missouri Statute 105.485 authorizes the City of Chesterfield to adopt an ordinance which establishes its own method of disclosing potential conflicts of interest; and,

**WHEREAS**, without such an ordinance, each official, officer or employee of the City, and each candidate for office shall be required to file a financial interest statement with the Missouri Ethics Commission, pursuant to subsection 2 of Section 105.485; and,

**WHEREAS**, the City Council originally adopted its own ordinance establishing a method of disclosing potential conflicts of interest with Ordinance No. 605, adopted August 19, 1991 and has renewed the ordinance at least biennially, and often annually, since 1991; and,

**WHEREAS**, the City Council finds it is in the best interest of the public to readopt Ordinance No. 605 as the procedure for disclosure of conflicts of interest for the City of Chesterfield;

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

**Section 1.** The City of Chesterfield hereby formally re-adopts the procedure set out in Ordinance No. 605 as the procedure for disclosure of potential conflicts of interest and substantial interests.

**Section 2.** All requirements as set out in Ordinance No. 605 are to remain in full force and effect..

**Section 3.** The City Clerk is directed to send a certified copy of this Ordinance to the Missouri Ethics Commission prior to September 15, 2018.

**Section 4.** This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
PRESIDING OFFICER

\_\_\_\_\_  
Bob Nation, MAYOR

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK

FIRST READING HELD: \_\_\_\_\_



BILL NO. 613

ORDINANCE NO. 605

**AN ORDINANCE OF THE CITY OF CHESTERFIELD, MISSOURI TO ESTABLISH A PROCEDURE TO DISCLOSE POTENTIAL CONFLICTS OF INTEREST AND SUBSTANTIAL INTERESTS FOR CERTAIN MUNICIPAL OFFICIALS.**

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. Declaration of Policy. The proper operation of municipal government requires that public officials and employees be independent, impartial and responsible to the people; that government decisions and policy be made in the proper channels of the governmental structure; that public office not be used for personal gain; and that the public have confidence in the integrity of its government. In recognition of these goals, there is hereby established a procedure for disclosure by certain officials and employees of private financial or other interests in matters affecting the City.

Section 2. Conflicts of Interest. All elected and appointed officials as well as employees of the City of Chesterfield must comply with Section 105.454 of the Missouri Revised Statutes and Ordinance 604 regarding conflicts of interest as well as any other state law governing official conduct. The Mayor and any members of the City Council who has a substantial personal or private interest as defined by state law and set out below in any bill shall disclose on the records of the City Council the nature of his or her interest and shall disqualify himself or herself from voting on any matters related to this interest.

Section 3. Substantial or Private Interest. Any member of the City Council as well as any appointed officials and employees shall have a substantial or private interest in any measure, bill or other ordinance proposed or pending before the City if that interest is an ownership by the individual, his or her spouse, or his or her dependent children, whether singularly or collectively, directly or indirectly of: (1) 10% or more of any business entity; or (2) an interest having a value of \$10,000 or more; or (3) the receipt of a salary, gratuity, or other compensation or remuneration of \$5,000 or more, per year from any individual, partnership, organization, or association within any calendar year.

Section 4. Disclosure Reports. Each elected official the City Administrator (as the chief administrative officer) and the Director of Finance (as the chief purchasing officer) and the general counsel (City Attorney) (if employed full-time) shall disclose the following information by May 1 if any such transactions were engaged in during the previous calendar year:

a. For such person, and all persons within the first degree of consanguinity or affinity of such person, the date and the identities of the parties to each transaction with a total value in excess of five hundred dollars, if any, that such person had with the political subdivision, other than compensation received as an employee or payment of any tax, fee or penalty due to the political subdivision, and other than transfers for no consideration to the political subdivision; and

b. The date and the identities of the parties to each transaction known to the person with a total value in excess of five hundred dollars, if any, that any business entity in which such person had a substantial interest, had with the political subdivision, other than payment of any tax, fee or penalty due to the political subdivision or transactions involving payment for providing utility service to the political subdivision, and other than transfers for no consideration to the political subdivision.

c. The City Administrator as the chief administrative officer and the Director of Finance as the chief purchasing officer also shall disclose by May 1 for the previous calendar year the following information:

1. The name and address of each of the employers of such person from whom income of one thousand dollars or more was receiving during the year covered by the statement;
2. The name and address of each sold proprietorship that he owned; the name, address and the general nature of the business conducted of each general partnership and joint venture in which he was a partner or participant; the name and address of each partner or coparticipant for each partnership or joint venture unless such names and addresses are filed by the partnership or joint venture with the Secretary of State; the name, address and general nature of the business conducted of any closely held corporation or limited partnership in which the person owned ten percent or more of any class of the outstanding stock or limited partnership units; and the name of any publicly traded corporation or limited partnership that is listed on a regulated stock exchange or automated quotation system in which the person owned two percent or more of any class of outstanding stock, limited partnership units or other equity interests;



3. The name and address of each corporation for which such person served in the capacity of a director, officer or receiver.

Section 5. Filing of Reports. The reports, in the attached format (See Exhibit "A" & "B"), shall be filed with the City Clerk and with the Secretary of State prior to January 1, 1993, and thereafter with the Ethics Commission. The reports shall be available for public inspection and copying during normal business hours.

Section 6. When Filed. The financial interest statements shall be filed at the following times, but no person is required to file more than one financial interest statement in any calendar year:

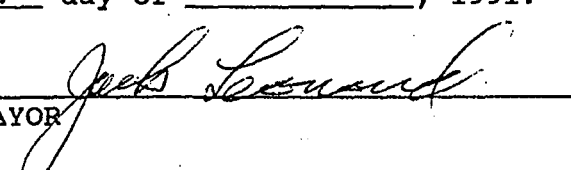
a. Each person appointed to office shall file the statement within thirty days of such appointment or employment;

b. Every other person required to file a financial interest statement shall file the statement annually not later than May 1 and the statement shall cover the calendar year ending the immediately preceding December 31; provided that any member of the City Council may supplement the financial interest statement to report additional interests acquired after December 31 of the covered year until the date of filing of the financial interest statement.

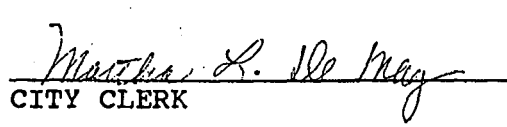
Section 7. Filing of Ordinance. The City Clerk is directed to send a certified copy of the Ordinance and any amendment that is adopted prior to January 1, 1993, to the Secretary of State's office within ten days of its adoption. The City Clerk shall send a certified copy of any Ordinance adopted on or after January 1, 1993, regarding this topic to the Missouri Ethics Commission within ten days of its adoption.

Section 8. This Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this 19<sup>th</sup> day of AUGUST, 1991.

  
MAYOR

ATTEST:

  
CITY CLERK

**AN ORDINANCE AMENDING ORDINANCE 3010 TO AUTHORIZE REPLACEMENT CONSTRUCTION AND MAINTENANCE ESCROWS FOR THE FALLING LEAVES ESTATES II SUBDIVISION, A 17.4 ACRE TRACT OF LAND ZONED “LLR” LARGE LOT RESIDENTIAL DISTRICT LOCATED WEST OF WILSON AVENUE AND NORTHWEST OF THE INTERSECTION OF WILSON AVENUE AND CLARKSON ROAD.**

**WHEREAS**, Fischer Family Investments LP has submitted for review and approval replacement construction and maintenance escrows for the Falling Leaves Estates II subdivision; and

**WHEREAS**, Fischer Family Investments LP has agreed to assume the remaining responsibilities with the construction and maintenance for the Record Plat of the Falling Leaves Estates II Subdivision; and

**WHEREAS**, at the August 09, 2018 Planning and Public Works Committee meeting, a motion to forward the Replacement Construction and Maintenance Escrows for the Falling Leaves Estates II Record Plat to City Council with a recommendation of approval passed by a voice vote of 4-0.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

Section 1. The Department of Planning and Development Services and the Department of Public Works, having reviewed the request by Fischer Family Investments LP for the replacement of construction and maintenance escrows for the Falling Leaves Estates II Subdivision Record Plat in accordance with the established procedures as set out by the Subdivision Ordinance of the City of Chesterfield, which dictate that the developer must establish escrow agreements, which are hereby amended to require that the construction escrow be one hundred twenty five thousand one hundred forty dollars and seven cents (\$125,140.07) as shown as Exhibit 1 and maintenance escrow be twelve thousand five hundred fourteen dollars and one cent (\$12,514.01) as shown as Exhibit 2.

Section 2. The cash deposit submitted as the construction and maintenance escrow for the Falling Leaves Estates II Subdivision by Fischer Family Investments LP be released.

Section 3. Said Replacement Escrows are hereby approved by the City of Chesterfield subject to be disbursed on the direction and the order of the Director of Planning and Development Services for the City of Chesterfield.



Section 4. This Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
PRESIDING OFFICER

\_\_\_\_\_  
Bob Nation, MAYOR

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK

FIRST READING HELD 08/20/2018



**SUBDIVISION IMPROVEMENT CONSTRUCTION DEPOSIT AGREEMENT**

THIS CONSTRUCTION DEPOSIT AGREEMENT made and entered into by  
Fischer Family Investments, LP  
\_\_\_\_\_, herein called DEVELOPER,  
St. Louis Bank  
\_\_\_\_\_, herein called ESCROW  
HOLDER (*strike through this party if cash deposited with City*), and the City of Chesterfield,  
Missouri, herein called CITY.

WITNESSETH:

WHEREAS, the DEVELOPER has submitted plans, information and data to the CITY  
for the creation and development of a subdivision to be known as  
Falling Leaves Estates II  
\_\_\_\_\_ in accordance with  
Ordinance No. 2981, the governing ordinance for the subdivision, and the Subdivision  
Regulations of the City of Chesterfield, and has requested approval of same; and

WHEREAS, the subdivision plans have been approved and the CITY has reasonably  
estimated and determined that the cost of construction, installation and completion of said  
improvements, all in accordance with the provisions of said governing ordinance and  
Subdivision Regulations, as amended, will be in the sum of  
One Hundred Twenty Five Thousand One Hundred Forty and 07/100 \_\_\_\_\_ DOLLARS  
(\$<sup>125,140.07</sup> \_\_\_\_\_), lawful money of the United States of America; and

WHEREAS, the DEVELOPER is seeking approval from the CITY of the record plat of  
the aforesaid subdivision as the same is provided in said governing ordinance and Subdivision  
Regulations; and

WHEREAS, the Subdivision Regulations provide inter alias that the commencement of  
said subdivision may be approved by the CITY upon the DEVELOPER submitting satisfactory  
construction and maintenance deposit agreements guaranteeing the construction and maintenance

2. That the CONSTRUCTION DEPOSIT will be held in escrow by the CITY or the ESCROW HOLDER, as applicable, until such time as releases are authorized by the Planning and Development Services Division. The CONSTRUCTION DEPOSIT may be subject to special audit of the CITY from time to time.



3. That the CONSTRUCTION DEPOSIT guarantees the construction, installation and completion of the improvements in the aforesaid subdivision in accordance with the plans and specifications for the said subdivision which have been filed with the CITY, which are made a part hereof by reference as if set forth herein word for word.

4. Pursuant to Revised Statutes of Missouri, 89.410, the amounts set out on Exhibit "A" are identified by separate line item and are subject to release of ninety five percent (95%) of said estimated costs within thirty (30) days of the completion of said specific component of work by DEVELOPER. The Developer shall notify CITY in writing when they consider the specific component ready for release of funds. Accordingly, the CITY may not allow for the reallocation of escrowed funds from one line item to another, without specific written agreement between the DEVELOPER and CITY indicating what specific component or components are being modified. ESCROW HOLDER shall not modify or expend funds from other than the identified line item component without written approval from CITY. Completion is when the particular item has had all documentation and certification filed in a complete and acceptable form and the specific items have been inspected and all identified deficiencies have been corrected and the work has been approved by the City.

5. That in the event the CITY should determine that the ESCROW SUM or any line item thereon as herein provided, is insufficient to complete the said Subdivision Improvements, or the specific line item, the CITY will so notify the DEVELOPER who shall deposit within thirty (30) days of said notice with the ESCROW HOLDER that additional sum of lawful money of the United States of America that will be required to complete the said specific component of the improvement and said additional sum will be subject to the terms of this Escrow Agreement. Failure to provide said sum shall cause for immediate cessation of all work on said subdivision until the additional amount is paid.

6. That the DEVELOPER guarantees that all required utilities and improvements will be installed, constructed and completed within two (2) years from the date of the approval of the said Subdivision Plat and the DEVELOPER shall certify the completion of all said improvements, along with the filing of all documentation and certification, all as provided in the governing ordinance for this subdivision and the Subdivision Regulations of the CITY.

7. That the ESCROW HOLDER, in accordance with paragraph 4 above, shall only release or disburse the ESCROW SUM, or portion thereof, upon receipt and in the amount set forth in a written authorization from the Planning and Development Services Division addressed to the ESCROW HOLDER, which authorization may be for the payment of labor and materials used in the construction, installation and completion of the said improvements, as the work progresses, as provided in the Subdivision Regulations or governing ordinance for this subdivision.

8. That in the event the DEVELOPER shall abandon the subdivision or fail to complete the subdivision improvements within two (2) years, from the date of the CITY'S approval of the said subdivision plat or subsequent extension period granted to this DEPOSIT AGREEMENT, whichever shall first occur, the CITY shall present to the ESCROW HOLDER a certified statement from the City Engineer estimating the cost for the completion of the subdivision improvements and require the ESCROW HOLDER to immediately perform on this agreement for completion of the specific components of the project or disburse said funds identified by the City Engineer's estimates directly to the CITY. The CITY may complete, or have completed by outside resources, the said improvements. The ESCROW HOLDER having disbursed the escrow sums therefore as ordered and directed by the CITY, and upon such disbursement shall be relieved of all liability under the terms of this agreement.

9. That in the event of any legal actions taken by the CITY against DEVELOPER or ESCROW HOLDER to enforce the provision of this agreement, the parties agree to pay a reasonable attorney's fee in addition to any other sums due under this agreement

10. That there shall be no assignment by DEVELOPER or ESCROW HOLDER under the terms of this agreement without written approval of the CITY.

11. That if DEVELOPER is unable to meet its obligation hereunder or to provide additional sums to complete the Subdivision improvements as may be determined by the CITY or if the DEVELOPER or ESCROW HOLDER shall go into receivership or file for bankruptcy protection, then in any such event the CITY may declare the DEVELOPER or ESCROW HOLDER (as the case may be) in default and may immediately order the payment of all remaining sums held by ESCROW HOLDER to be paid to the CITY without further legal process, to be used to complete the subdivision improvements as set out under the terms hereof.

12. That the ESCROW HOLDER will immediately inform the City of any changes of address for ESCROW HOLDER or DEVELOPER (known to ESCROW HOLDER) during the period of this Agreement. Failure to do so shall result in a breach of this Agreement and the CITY may declare the DEVELOPER or ESCROW HOLDER (as the case may be) in default and may immediately order the payment of all remaining sums held by ESCROW HOLDER to be paid to the CITY without further legal process, to be used to complete the subdivision improvements as set out under the terms hereof.

13. That no forbearance on the part of the CITY in enforcing any of its rights under this agreement, nor any extension thereof by CITY, shall constitute a waiver of any terms of this Agreement or a forfeiture of any such rights.

14. That the CITY hereby accepts this agreement as a satisfactory ESCROW AGREEMENT under the provisions and requirements of the governing ordinance for this



subdivision and any amendments or revisions thereto and the Subdivision Regulations of the CITY.

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and

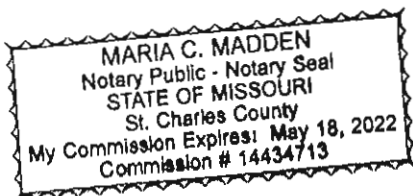
seals the 3rd day of July, 2018.

ATTEST: (SEAL)

Maria C. Madden

Type Name: Maria Madden

Title: Notary

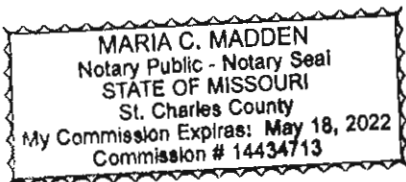


ATTEST: (SEAL)

Maria C. Madden

Type Name: Maria Madden

Title: Notary



DEVELOPER: Fischer Family Investments LP

BY: [Signature]

Type Name: John w. Fischer

Title: Manager

Firm Address:  
695 Trade Center Blvd  
Chesterfield Mo. 63005

ESCROW HOLDER: St. Louis Bank

BY: [Signature]

Type Name: Eric Kappelmann

Title: Senior Vice President

Firm Address:  
14324 South Outer Forty Road  
Town & Country Mo. 63017

CITY OF CHESTERFIELD, MISSOURI

BY \_\_\_\_\_

Director of Planning and Development Services

ATTEST: (SEAL)

APPROVED:

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor

NB: The signatures of the DEVELOPER and CREDIT HOLDER are to be acknowledged before a Notary Public. In the case of a partnership, all partners must sign. In the case of a corporation, the affidavits of the corporation act must be attached.

**BANK OFFICIAL'S ACKNOWLEDGMENT**

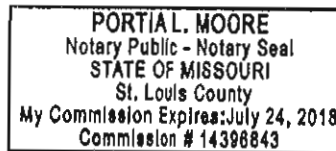
STATE OF MISSOURI     )  
                                  ) SS  
COUNTY OF ST. LOUIS    )

On this 5 day of June, 2018, before me appeared Eric Keppelmann, to me personally known, who, being by me duly sworn, did say that he/she is the SV P (title) of St. Louis Bank (name of bank), a Missouri (corporation, etc.) organized and existing under the laws of the United States of America, and that the seal affixed to the foregoing instrument is the Corporate Seal of said bank, and that said instrument was signed and sealed on behalf of said bank by authority of its Board of Directors, and said \_\_\_\_\_ (title) acknowledged said instrument to be the free act and deed of said bank.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in County and State aforesaid, the day and year first above written.

Portia L Moore  
Notary Public

My Commission Expires: 7-24-18



## EXHIBIT 1

Attach: Subdivision Deposit Spreadsheet



## CONSTRUCTION DEPOSIT

SUBDIVISION: **Falling Leaves Estates** DEVELOPER: **John Fischer**  
 PLAT: **Falling Leaves Estates II**  
 SUBDIVISION CODE: **189**  
 NO. LOTS: **4**  
 DATE OF PLAT APPROVAL: **T.B.D.**

| CATEGORY    | DATE OF<br>RELEASE | %<br>RELEASE | ORIGINAL<br>BALANCE | TOTAL<br>RELEASED | TOTAL %<br>RELEASED | CURRENT<br>BALANCE                                  | %<br>REMAINING |
|-------------|--------------------|--------------|---------------------|-------------------|---------------------|-----------------------------------------------------|----------------|
| SIDEWALKS   |                    |              | \$20,010.10         | \$0.00<br>\$0.00  | 0                   | \$20,010.10                                         | 100            |
| SAN. SEWER  |                    |              | \$38,374.97         | \$0.00<br>\$0.00  | 0                   | \$38,374.97                                         | 100            |
| WATER MAINS |                    |              | \$66,755.00         | \$0.00<br>\$0.00  | 0                   | \$66,755.00                                         | 100            |
| TOTALS      |                    |              | \$125,140.07        | \$0.00            | 0                   | \$125,140.07                                        | 100            |
|             |                    |              |                     |                   |                     | Retainage required PRIOR to release of Sewer Escrow | \$6,257.00     |
|             |                    |              |                     |                   |                     | Retainage required AFTER release of Sewer Escrow    | \$4,338.26     |

STANDARD FORM OF  
LETTER OF CREDIT



St. Louis Bank  
14323 South Outer Forty Rd  
Town and Country MO 63017

June 18, 2018

IRREVOCABLE LETTER OF CREDIT NO. 443051

City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, Missouri 63017

Dear Sir:

We hereby establish in favor of the CITY OF CHESTERFIELD, upon the application of and for the account of Fischer Family Investment, LP (the "Account Party") our transferable irrevocable standby letter of credit (the "Letter of Credit") in the amount of \$ 125,140.07 (the "Maximum Available Credit"), subject to the reduction as hereinafter set forth.

For information only: This letter of credit is issued with respect to: (check all that apply)

- |                                                                      |                                                          |
|----------------------------------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> Grading Surety                              | <input type="checkbox"/> Subdivision Maintenance Deposit |
| <input type="checkbox"/> Landscape Surety                            | <input type="checkbox"/> Tree Preservation Surety        |
| <input type="checkbox"/> Pavement Restoration Surety                 | <input type="checkbox"/> Other _____                     |
| <input checked="" type="checkbox"/> Subdivision Construction Deposit |                                                          |

as detailed on the accompanying agreements for Falling Leaves Estates II  
<<subdivision/development name>>, approval of same issued by you for the benefit of the Account Party (the "Approval").

Subject to all of the terms and conditions of this Letter of Credit, the Maximum Available Credit shall be made available by your draft(s) at sight drawn on us accompanied by this Letter of Credit and any amendments thereto for presentation and by the following documents:

1. Your signed certificate, in the form attached hereto as Exhibit A, dated not more than ten days prior to its presentation to us; or
2. Your signed certificate, in the form attached hereto as Exhibit B, dated not more than ten days prior to its presentation to us.

\*No draft will be paid if the amount thereof is in excess of the Maximum available Credit hereunder as of the date such draft is to be paid.

Multiple drawings may be presented under this Letter of Credit, which, in the aggregate and subject to the limitations set forth herein, shall not exceed the Maximum Available Credit then in effect and each such drawing honored by us hereunder shall reduce the Maximum Available Credit by the amount of such drawing. The draft(s) drawn under this Letter of Credit must be drawn and presented to our offices at 14323 South Outer Forty Rd, Town and Country MO 63017

Attention: Eric Kappelmann (or such other officer, department or address designated in writing by us to you at your address shown above or at such other address as you shall advise us of in writing) by hand delivery or by delivery by courier between 9:00 a.m. and 4:30 p.m. (St. Louis, Missouri time) on a Business day (as defined below). As used in this Letter of Credit, "Business day" shall mean any day other than a Saturday, Sunday or a day on which banking institutions in the State of Missouri are authorized or required by law to close.

We hereby agree that all drafts drawn under and in compliance with the terms of this Letter of Credit will be duly honored by us upon delivery of any of the certificate(s) specified above and if presented at our aforesaid office on or before the Expiration date (as defined below).

If demand for payment is made hereunder in strict conformity with the terms and conditions of this Letter of Credit before 11:00 a.m. (St. Louis, Missouri time) on any Business day, payment of the amount demanded shall be made in immediately available funds not later than 1:00 p.m. (St. Louis, Missouri time) on the next succeeding Business day.

Payment under this Letter of Credit to you shall be made by wire transfer or as agreed by the Chesterfield Department of Finance of immediately available funds per your instructions.

Only you or a transferee may make drawings under this Letter of Credit. Upon payment as provided above of the amount specified in a sight draft drawn hereunder, the Maximum Available Credit of the Letter of Credit shall be reduced by the amount of the payment.

If demand for payment does not conform to the terms and conditions of this Letter of Credit, we will promptly notify you thereof and of the reasons thereof, such notice to be promptly confirmed in writing to you, and we shall hold all documents at your disposal or return the same to you, if directed by you.

This Letter of Credit is effective immediately and expires on the earliest of (i) 4:00 p.m. (St. Louis, Missouri time) on June 4, 2020, except that unless such date may be extended as hereinafter provided, this letter of credit shall automatically and immediately be paid by wire transfer the balance of the Maximum Available Credit to the City of Chesterfield at the following account: to receiving bank Reliance Bank (ABA #081018888) for beneficiary City of Chesterfield, Account # 50044296, or (ii) when you have drawn and we have paid to you the Maximum Available Credit of this Letter of Credit or (iii) the day on which this Letter of Credit is surrendered to us for cancellation (collectively, the "Expiration Date"); provided, however, notwithstanding the termination by expiration of this Letter of Credit, our payment obligation shall survive such expiration with respect to any sight drafts accompanied by a certificate in the form of Exhibits A, or B, as the case may be, presented to us for payment prior to the expiration of this Letter of Credit; **and/or further provided that upon such expiration, or if automatically extended upon expiration of the last extension, we shall automatically and immediately transfer the balance of the Maximum Available Credit to the City of Chesterfield at the account set forth above or such**



other account subsequently designated by you, unless you authorize in writing a release of our obligations under this Letter of Credit or authorize a replacement of the Letter of Credit. It is a condition of this Letter of Credit that it shall be deemed automatically extended, without amendment, for one year (or such other date as the City and Account Party may agree in writing) from the present or any future Expiration date hereof, unless at least 75 days prior to any such date, we shall send you, in the form attached hereto as Exhibit C, notice that we elect not to consider this Letter of Credit renewed for such additional one-year period. Notwithstanding any automatic extensions, this letter of credit shall expire fully and finally not later than June 4, 2023.

Upon our receipt, from time to time, from you of a written reduction certificate in the form attached as Exhibit D, we are authorized to reduce the Maximum Available Credit hereunder by the amount stated in such certificate, any such reduction to be effective only at our close of business on the date on which we receive such written reduction certificate. Final reduction / release of the Letter of Credit shall be effective at our close of business on the date on which we receive a certificate in the form attached as Exhibit E.

This Letter of Credit shall be governed by the Uniform Customs and Practice for Documentary Credits, 2007 Revision, International Chamber of Commerce Commission Publication No. 600, but excluding the provisions of Article 32 thereof (the "UCPDC").

Any communications with respect to this Letter of Credit shall be in writing and shall be addressed to us at 14323 South Outer Forty Dr, Town and Country MO 63017, Attention: Eric Kappelmann, specifically referring thereon to Irrevocable Letter of Credit No. 443051.

You may transfer your rights under this Letter of Credit in their entirety (but not in part) to any transferee. Transfer of your rights under this Letter of Credit to any such transferee shall be effected only upon the presentation to us of this Letter of Credit accompanied by a transfer letter in the form attached hereto as Exhibit F, and we consent to such transfer without charges or fees of any kind. Upon such transfer, the transferee shall have no further rights to transfer this Letter of Credit.

This Letter of Credit sets forth in full our undertaking, and such undertaking shall not in any way be modified, amended, amplified or limited by reference to any document, instrument or agreement referred to herein (including, without limitation, the Approval, but excluding the UCPDC), and any such reference shall not be deemed to incorporate herein by reference any document, instrument or agreement. Exhibits A, B, C, D, E, F and G attached hereto are incorporated herein by reference as an integral part of this Letter of Credit.

Very truly yours,  
Eric Kappelmann  
Senior Vice President

By:

  
Authorized signer

EXHIBIT A  
TO LETTER OF CREDIT  
FORM OF CERTIFICATE FOR "A" DRAWING

\_\_\_\_\_  
  
\_\_\_\_\_  
  
\_\_\_\_\_  
  
\_\_\_\_\_

Attention: \_\_\_\_\_

Re: Your Letter of Credit No. \_\_\_\_\_  
In Favor of City of Chesterfield, Missouri

To Whom It May Concern:

The undersigned, a duly authorized official of City of Chesterfield, Missouri (the "Beneficiary"), hereby certifies to \_\_\_\_\_ (the "Bank"), with reference to Irrevocable Letter of Credit No. \_\_\_\_\_ (the "Letter of Credit"; any capitalized terms used herein and not defined shall have their respective meanings as set forth in the said Letter of Credit) issued by the Bank in favor of the Beneficiary, that:

1. The Account Party has failed to complete all of the required work or fulfill all obligations required by the City Code, permits, approved plans or agreements.
2. The draft in the sum of \$ \_\_\_\_\_ accompanying this Certificate is not in excess of the Maximum Available Credit under the Letter of Credit and shall result in a reduction of the Maximum Available Credit under the Letter of Credit.

Transfer the funds as stated above to the credit of the City of Chesterfield, Missouri to

[INSERT BANK Account # \_\_\_\_\_], Attention: Director of Finance.

IN WITNESS WHEREOF, the Beneficiary has executed and delivered this certificate this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services

EXHIBIT B  
TO LETTER OF CREDIT  
FORM OF CERTIFICATE FOR "B" DRAWING

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: Your Letter of Credit No. \_\_\_\_\_ in Favor of City of Chesterfield,  
Missouri

To Whom It May Concern:

The undersigned, a duly authorized official of City of Chesterfield, Missouri (the "Beneficiary"), hereby certifies to \_\_\_\_\_ (the "Bank"), with reference to Irrevocable Letter of Credit No. \_\_\_\_\_ (the "Letter of Credit"; any capitalized terms used herein and not defined shall have their respective meanings as set forth in the said Letter of Credit) issued by the Bank in favor of the Beneficiary, that:

1. Funds in the amount of the accompanying draft are now due for deposit in a special transit account for the payment per Work completion.
2. The draft in the sum of \$\_\_\_\_\_ accompanying this Certificate is not in excess of the Maximum Available Credit under the Letter of Credit and shall result in a reduction of the Maximum Available Credit under the Letter of Credit.

Transfer the funds as stated above to the credit of the City of Chesterfield, Missouri to

[INSERT BANK Account # \_\_\_\_\_], Attention: Director of Finance.

IN WITNESS WHEREOF, the Beneficiary has executed and delivered this certificate this  
\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services



EXHIBIT C  
TO LETTER OF CREDIT  
FORM OF NOTICE OF EXPIRATION

\_\_\_\_\_  
City of Chesterfield  
690 Chesterfield Parkway W  
Chesterfield, Missouri 63017

Attention: Director of Planning & Development Services

Re: Our Letter of Credit No. \_\_\_\_\_ in Favor of City of Chesterfield,  
Missouri

Amount: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

To Whom It May Concern:

Please consider this letter as the Bank's notification that the Bank does not intend to renew the above-reference letter of credit and, therefore, it will expire in full and finally on the above-mentioned date. All remaining amounts under the Letter of Credit shall be transferred to the City of Chesterfield per the terms of the Letter.

Very truly yours,

\_\_\_\_\_

By: \_\_\_\_\_  
Authorized Officer

cc:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXHIBIT D  
TO LETTER OF CREDIT  
FORM OF REDUCTION CERTIFICATE

City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, Missouri 63017

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: LETTER OF CREDIT NUMBER: \_\_\_\_\_

IN ORIGINAL AMOUNT OF: \$ \_\_\_\_\_

To Whom It May Concern:

This certificate authorizes reduction in the amount of \$\_\_\_\_\_ of the above letter of credit.  
The remaining maximum available credit for this letter of credit is \$\_\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services

cc

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXHIBIT E  
TO LETTER OF CREDIT  
FORM FOR FULL REDUCTION / RELEASE OF LETTER OF CREDIT

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: LETTER OF CREDIT NUMBER: \_\_\_\_\_

IN ORIGINAL AMOUNT OF: \$ \_\_\_\_\_

FINAL REDUCTION

To Whom It May Concern:

The City of Chesterfield hereby authorizes the final reduction of the letter of credit established for \_\_\_\_\_ . The letter of credit referenced above is hereby being surrendered.

Should you desire additional information, please contact \* \_\_\_\_\_ \*.

By: \_\_\_\_\_  
Director of Planning & Development Services

Enclosures: Letter of Credit

cc

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



EXHIBIT F  
TO LETTER OF CREDIT  
FORM FOR FULL TRANSFER OF LETTER OF CREDIT

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: Your Letter of Credit ("Letter of Credit") No. \_\_\_\_\_ in favor of City of  
Chesterfield, Missouri

To Whom It May Concern:

The undersigned, City of Chesterfield, Missouri ("Transferor") has transferred and assigned (and hereby confirms said transfer and assignment) all of its rights in and under the Letter of Credit to [\_\_\_\_\_] ("Transferee"). Transferor confirms that it no longer has any rights under or interest in the Letter of Credit and that you shall have no further responsibility to make payment under the Letter of Credit to Transferor.

Transferor hereby surrenders the Letter of Credit subject to the transfer to you and requests that you note the transfer of the Letter of Credit and deliver the Letter of Credit, amended or endorsed to reflect said transfer, to Transferee.

CITY OF CHESTERFIELD, MISSOURI [\_\_\_\_\_]

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services

Enclosures: Letter of Credit, if applicable

cc

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXHIBIT G  
TO LETTER OF CREDIT  
SIGHT DRAFT

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: Your Letter of Credit ("Letter of Credit") No. \_\_\_\_\_ in favor of City of  
Chesterfield, Missouri

To Whom It May Concern:

Pay on demand to \_\_\_\_\_ the sum of U.S. \$ \_\_\_\_\_. This  
draft is drawn under your Irrevocable Letter of Credit No. \_\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

-or-

\_\_\_\_\_  
[Insert Lender's name]

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_



**SUBDIVISION IMPROVEMENT MAINTENANCE DEPOSIT AGREEMENT**

THIS MAINTENANCE DEPOSIT AGREEMENT made and entered into by  
Fischer Family Investments, LP  
\_\_\_\_\_, herein called DEVELOPER,  
The St. Louis Bank  
\_\_\_\_\_, herein called CREDIT  
HOLDER (*strike through this party if cash deposited with City*), and the City of Chesterfield,  
Missouri, herein called CITY.

WITNESSETH:

WHEREAS, the DEVELOPER has submitted plans, information and data to the CITY  
for the creation and development of a subdivision to be known as  
Falling Leaves Estates II  
\_\_\_\_\_ in accordance with  
Ordinance No. 2981, the governing ordinance for the subdivision, and the Subdivision  
Regulations of the City of Chesterfield, and has requested approval of same; and

WHEREAS, the subdivision plans have been approved and the CITY has reasonably  
estimated and determined that the cost of maintenance of the required improvements, based on  
the cost of construction of said improvements, all in accordance with the provisions of said  
subdivision governing ordinance and Subdivision Regulations, as amended, will be in the sum  
of Twelve Thousand Five Hundred and Fourteen and 01/100 \_\_\_\_\_ DOLLARS  
(\$ \$12,514.01 \_\_\_\_\_), lawful money of the United States of America; and

WHEREAS, the DEVELOPER is seeking approval from the CITY of the record plat of  
the aforesaid subdivision as the same is provided in said governing ordinance and Subdivision  
Regulations; and



WHEREAS, the Subdivision Regulations provide inter alias that the commencement of said subdivision may be approved by the CITY upon the DEVELOPER submitting satisfactory construction and maintenance deposit agreements guaranteeing the construction and maintenance of the subdivision improvements in accordance with the approved plans, said governing ordinance and Subdivision Regulations.

NOW, THEREFORE, in consideration of the covenants, promises and agreement herein provided;

IT IS HEREBY MUTUALLY AGREED:

1. That the DEVELOPER has established a MAINTENANCE DEPOSIT in the amount of Twelve Thousand Five Hundred and Fourteen and 01/100 DOLLARS (\$\$12,514.01), lawful money of the United States of America by:  
(check one)

- ☐ Depositing cash with the City.
- ☒ Submitting a Letter of Credit in the form required by the CITY and issued by the CREDIT HOLDER.
- ☐ Submitting a \_\_\_\_\_ (*type of readily negotiable instrument acceptable to the CITY*) endorsed to the City.

Said deposit guarantees the DEVELOPER will perform his maintenance obligations regarding subdivision improvements, including, but not limited to; lots, streets, sidewalks, trees, common ground areas, erosion and siltation control, and storm drainage facilities, in Falling Leaves Estates II Subdivision, all in accordance with the approved plans, the governing ordinance for the subdivision and the Subdivision Regulations of

the City of Chesterfield, which by reference are made a part hereof, and in accordance with all ordinances of the CITY regulating same.

2. That the MAINTENANCE DEPOSIT will be held in escrow by the CITY or the CREDIT HOLDER, as applicable, until such time as releases are authorized by the Planning and Development Services Division.

3. That the DEVELOPER shall be responsible for, and hereby guarantees, the maintenance of the subdivision improvements, including, but not limited to, lots, streets, sidewalks, trees, common ground areas, erosion and siltation control, and storm and drainage facilities, until (1) expiration of twelve (12) months after occupancy permits have been issued on eighty percent (80%) of all of the lots in the subdivision plat(s), or (2) twelve (12) months after completion of the subdivision and acceptance / approval of all required improvements by the CITY, whichever is longer. In the case of landscaping, the maintenance period shall be twenty-four (24) months after installation is approved by the CITY. Maintenance shall include repair or replacement of all defects, deficiencies and damage to the improvements that may exist or arise, abatement of nuisances caused by such improvements, removal of mud and debris from construction, erosion control, grass cutting, removal of construction materials (except materials to be used for construction on the lot or as permitted by site plan), and snow removal. All repairs and replacement shall comply with CITY specifications and standards. Any maintenance of improvements accepted by the CITY for public dedication shall be completed under the supervision of and with the prior written approval of the Director of Planning and Development Services. The maintenance obligation for required improvements to existing public roads or other existing public infrastructure already maintained by a public governmental entity shall terminate on and after the date such improvements have been

inspected and accepted by the appropriate governmental entity and the deposit for same shall be released. Irrespective of other continuing obligations, the developer's snow removal obligations shall terminate on the date a street is accepted by the CITY for public maintenance.

4. That the maintenance deposit shall be retained by the CITY OR CREDIT HOLDER to guarantee maintenance of the required improvements and, in addition to being subject to the remedies of Section 02-12.G of the Unified Development Code and other remedies of the City Code, shall be subject to the immediate order of the Director of Planning and Development Services to defray or reimburse any cost to the CITY of maintenance or repair of improvements related to the subdivision which the developer fails or refuses to perform. Except in emergency circumstances or where action is otherwise required before written notice can be provided, the Director of Planning and Development Services shall provide the developer with a written demand and opportunity to perform the maintenance before having such maintenance performed by the CITY, or its agents. The Director of Planning and Development Services shall have the authority to require the maintenance deposit to be replaced or replenished by the developer, in any form permitted for an original deposit, where the amount remaining is determined to be insufficient or where the maintenance deposit was drawn upon by the CITY for maintenance.

5. That in determining the amount of MAINTENANCE DEPOSIT that shall continue to be held, portions of the deposit amount that were attributable to improvements that have been accepted by any third-party governmental entity or utility legally responsible for the maintenance of the improvement may be released upon such acceptance of the improvement by the entity. The Director of Planning and Development Services may approve such further releases if it is determined in his or her discretion, after inspection of the improvements, that



the total maintenance amount retained is clearly in excess of the amount necessary for completion of the maintenance obligation, after all reasonable contingencies are considered.

6. That in the event the CITY should determine that the MAINTENANCE DEPOSIT, or any line item thereon as herein provided, is insufficient, the CITY will so notify the DEVELOPER who shall, within thirty (30) days of said notice, deposit additional sums with the CITY or have the amount of the letter of credit or other banking instrument increased as will be required to maintain the said specific component of the improvement and said additional sum will be subject to the terms of this MAINTENANCE DEPOSIT AGREEMENT. Failure to provide said sum shall be cause for immediate cessation of all work on said subdivision until the additional amount is paid.

7. That the CREDIT HOLDER, in accordance with paragraphs 2, 4 and 5 above, shall only release or disburse the MAINTENANCE DEPOSIT, or portion thereof, upon receipt and in the amount set forth in a written authorization from the said Planning and Development Services Division addressed to the Credit Holder, which authorization may be for payment, as provided in the Subdivision Regulations or governing ordinance for this subdivision.

8. That upon expiration of the maintenance obligations established herein, the Director of Planning and Development Services shall cause a final inspection to be made of the required improvements. Funds shall then be released if there are no defects or deficiencies found and all other obligations including payment of all sums due, are shown to be satisfied on inspection thereof, or at such time thereafter as any defects or deficiencies are cured with the permission of, and within the time allowed by, the Director of Planning and Development Services. This release shall in no way be construed to indemnify or release any person from any

civil liability that may exist for defects or damages caused by any construction, improvement or development for which any deposit has been released.

9. That there shall be no assignment by DEVELOPER or CREDIT HOLDER under the terms of this agreement without written approval of the CITY.

10. That if DEVELOPER is unable to meet its obligation hereunder or to provide additional sums to guarantee maintenance of the Subdivision improvements as may be determined by the CITY or if the DEVELOPER shall abandon the subdivision or go into receivership or file for bankruptcy protection, then in any such event the CITY may declare the DEVELOPER in default and may immediately order the payment of all remaining sums held in the MAINTENANCE DEPOSIT to be paid to the CITY without further legal process, to be used to complete and maintain the subdivision improvements as set out under the terms hereof.

11. That the CREDIT HOLDER will immediately inform the City of any changes of address for CREDIT HOLDER or DEVELOPER (known to CREDIT HOLDER) during the period of this Agreement. Failure to do so shall result in a breach of this Agreement and the CITY may declare the DEVELOPER or CREDIT HOLDER (as the case may be) in default and may immediately order the payment of all remaining sums held by CREDIT HOLDER to be paid to the CITY without further legal process, to be used to maintain the subdivision improvements as set out under the terms hereof.

12. That no forbearance on the part of the CITY in enforcing any of its rights under this agreement, nor any extension thereof by CITY, shall constitute a waiver of any terms of this Agreement or a forfeiture of any such rights.

13. That the CITY hereby accepts this agreement as a satisfactory MAINTENANCE DEPOSIT AGREEMENT under the provisions and requirements of the governing ordinance

for this subdivision and any amendments or revisions thereto and the Subdivision Regulations of the CITY.

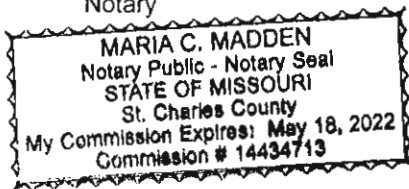
IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and seals the 3rd day of July, 20 18 A.D.

ATTEST: (SEAL)

DEVELOPER: Fischer Family Investments LP

Maria C Madden

Type Name: Maria Madden  
Title: Notary



BY:

[Signature]  
Type Name: John Fischer  
Title: Manager

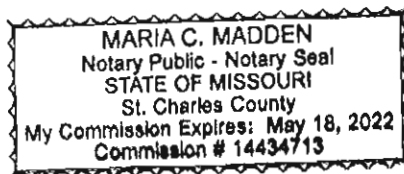
Firm Address:  
695 Trade Center Blvd  
Chesterfield Mo. 63005

ATTEST: (SEAL)

CREDIT HOLDER: St. Louis Bank

Maria C Madden

Name: Maria Madden  
Title: Notary



BY:

[Signature]  
Name: Eric Kappelmann  
Title: Senior Vice President

Firm Address:  
14324 South Outer Forty Road  
Town & Country Mo. 63017

### CITY OF CHESTERFIELD, MISSOURI

BY \_\_\_\_\_

Director of Planning and Development Services

ATTEST: (SEAL)

APPROVED:

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor

NB: The signatures of the DEVELOPER and CREDIT HOLDER are to be acknowledged before a Notary Public. In the case of a partnership, all partners must sign. In the case of a corporation, the affidavits of the corporation act must be attached.



**BANK OFFICIAL'S ACKNOWLEDGMENT**

STATE OF MISSOURI     )  
                                      ) SS  
COUNTY OF ST. LOUIS    )

On this 5 day of June, 2018, before me appeared  
Eric Kappelmann, to me personally known, who, being by me duly  
sworn, did say that he/she is the SVP (title) of  
St Louis Bank (name of bank), a  
Missouri (corporation, etc.) organized and existing under the laws of the  
United States of America, and that the seal affixed to the foregoing instrument is the Corporate  
Seal of said bank, and that said instrument was signed and sealed on behalf of said bank by  
authority of its Board of Directors, and said \_\_\_\_\_ (title)  
acknowledged said instrument to be the free act and deed of said bank.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal  
in County and State aforesaid, the day and year first above written.

Portia L Moore  
Notary Public

My Commission Expires: 7-24-18



**CORPORATE EXECUTING OFFICIAL'S ACKNOWLEDGEMENT**

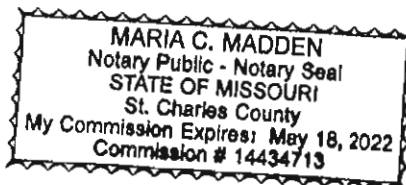
STATE OF MISSOURI     )  
                                          ) SS  
COUNTY OF ST. LOUIS    )

On this 3rd day of July, 2018, before me appeared JOHN W. FISCHER, to me personally known, who, being by me duly sworn, did say that he/she is the Manager (title) of Fischer Family Investments LP (name of corporation), a Missouri Corporation, and that he/she executed the foregoing agreement pursuant to the authority given him/her by the Board of Directors of the aforesaid corporation, and that said agreement was signed and sealed by him/her on behalf of the aforesaid corporation by authority of its Board of Directors, and he/she as MEMBER (title of Corporate Executing Official) of the said corporation, acknowledged said agreement to be the lawful, free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal, this 3rd day of July, 2018.

Maria C Madden  
Notary Public

My Commission Expires:



**LLC EXECUTING OFFICIAL'S ACKNOWLEDGEMENT**

STATE OF MISSOURI     )  
                                      ) SS  
COUNTY OF ST. LOUIS    )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me appeared \_\_\_\_\_ (name) to me personally known, who, being by me duly sworn, did say that he/she is the \_\_\_\_\_ (title or Executing Official) of \_\_\_\_\_, a Missouri Limited Liability Corporation, and that he/she in fact has the authority to execute the foregoing agreement pursuant to the authority given him/her by the Limited Liability Corporation, and that said agreement was signed and sealed by him/her on behalf of the aforesaid L.L.C. by authority of its \_\_\_\_\_, (President or title of chief officer), \_\_\_\_\_ (name) as \_\_\_\_\_ (title of Executing Official) of said L.L.C. acknowledges said agreement to be the lawful, free act and deed of said L.L.C.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:



## EXHIBIT 2

Attach: Subdivision Deposit Spreadsheet

## MAINTENANCE DEPOSIT

SUBDIVISION: Falling Leaves Estates  
PLAT: Falling Leaves Estates II  
SUB CODE: 169  
DEVELOPER: John Fischer

NOTE: Deposit is adjusted to account for 10% of entire sewer costs

| CATEGORY    | ORIGINAL<br>BALANCE | DATE OF<br>RELEASE | AMOUNT<br>RELEASED | CURRENT<br>BALANCE |
|-------------|---------------------|--------------------|--------------------|--------------------|
| SIDEWALKS   | \$2,001.01          |                    |                    | \$2,001.01         |
| SAN. SEWER  | \$3,837.50          |                    |                    | \$3,837.50         |
| WATER MAINS | \$6,675.50          |                    |                    | \$6,675.50         |
| TOTALS      | \$12,514.01         |                    | \$0.00             | \$12,514.01        |

STANDARD FORM OF  
LETTER OF CREDIT



St. Louis Bank  
14323 South Outer Forty Rd  
Town and Country MO 63017

June 18, 2018

IRREVOCABLE LETTER OF CREDIT NO. 443048

City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, Missouri 63017

Dear Sir:

We hereby establish in favor of the CITY OF CHESTERFIELD, upon the application of and for the account of Fischer Family Investment, LP (the "Account Party") our transferable irrevocable standby letter of credit (the "Letter of Credit") in the amount of \$ 12,514.01 (the "Maximum Available Credit"), subject to the reduction as hereinafter set forth.

For information only: This letter of credit is issued with respect to: (check all that apply)

- |                                                           |                                                                     |
|-----------------------------------------------------------|---------------------------------------------------------------------|
| <input type="checkbox"/> Grading Surety                   | <input checked="" type="checkbox"/> Subdivision Maintenance Deposit |
| <input type="checkbox"/> Landscape Surety                 | <input type="checkbox"/> Tree Preservation Surety                   |
| <input type="checkbox"/> Pavement Restoration Surety      | <input type="checkbox"/> Other _____                                |
| <input type="checkbox"/> Subdivision Construction Deposit |                                                                     |

as detailed on the accompanying agreements for Falling Leaves Estates II  
<<subdivision/development name>>, approval of same issued by you for the benefit of the Account Party (the "Approval").

Subject to all of the terms and conditions of this Letter of Credit, the Maximum Available Credit shall be made available by your draft(s) at sight drawn on us accompanied by this Letter of Credit and any amendments thereto for presentation and by the following documents:

1. Your signed certificate, in the form attached hereto as Exhibit A, dated not more than ten days prior to its presentation to us; or
2. Your signed certificate, in the form attached hereto as Exhibit B, dated not more than ten days prior to its presentation to us.



\*No draft will be paid if the amount thereof is in excess of the Maximum available Credit hereunder as of the date such draft is to be paid.

Multiple drawings may be presented under this Letter of Credit, which, in the aggregate and subject to the limitations set forth herein, shall not exceed the Maximum Available Credit then in effect and each such drawing honored by us hereunder shall reduce the Maximum Available Credit by the amount of such drawing. The draft(s) drawn under this Letter of Credit must be drawn and presented to our offices at 14323 South Outer Forty Rd, Town and Country MO 63017

Attention: Eric Kappelmann (or such other officer, department or address designated in writing by us to you at your address shown above or at such other address as you shall advise us of in writing) by hand delivery or by delivery by courier between 9:00 a.m. and 4:30 p.m. (St. Louis, Missouri time) on a Business day (as defined below). As used in this Letter of Credit, "Business day" shall mean any day other than a Saturday, Sunday or a day on which banking institutions in the State of Missouri are authorized or required by law to close.

We hereby agree that all drafts drawn under and in compliance with the terms of this Letter of Credit will be duly honored by us upon delivery of any of the certificate(s) specified above and if presented at our aforesaid office on or before the Expiration date (as defined below).

If demand for payment is made hereunder in strict conformity with the terms and conditions of this Letter of Credit before 11:00 a.m. (St. Louis, Missouri time) on any Business day, payment of the amount demanded shall be made in immediately available funds not later than 1:00 p.m. (St. Louis, Missouri time) on the next succeeding Business day.

Payment under this Letter of Credit to you shall be made by wire transfer or as agreed by the Chesterfield Department of Finance of immediately available funds per your instructions.

Only you or a transferee may make drawings under this Letter of Credit. Upon payment as provided above of the amount specified in a sight draft drawn hereunder, the Maximum Available Credit of the Letter of Credit shall be reduced by the amount of the payment.

If demand for payment does not conform to the terms and conditions of this Letter of Credit, we will promptly notify you thereof and of the reasons thereof, such notice to be promptly confirmed in writing to you, and we shall hold all documents at your disposal or return the same to you, if directed by you.

This Letter of Credit is effective immediately and expires on the earliest of (i) 4:00 p.m. (St. Louis, Missouri time) on June 4, 2020, except that unless such date may be extended as hereinafter provided, this letter of credit shall automatically and immediately be paid by wire transfer the balance of the Maximum Available Credit to the City of Chesterfield at the following account: to receiving bank Reliance Bank (ABA #081018888) for beneficiary City of Chesterfield, Account # 50044296, or (ii) when you have drawn and we have paid to you the Maximum Available Credit of this Letter of Credit or (iii) the day on which this Letter of Credit is surrendered to us for cancellation (collectively, the "Expiration Date"); provided, however, notwithstanding the termination by expiration of this Letter of Credit, our payment obligation shall survive such expiration with respect to any sight drafts accompanied by a certificate in the form of Exhibits A, or B, as the case may be, presented to us for payment prior to the expiration of this Letter of Credit; **and/or further provided that upon such expiration, or if automatically extended upon expiration of the last extension, we shall automatically and immediately transfer the balance of the Maximum Available Credit to the City of Chesterfield at the account set forth above or such**

other account subsequently designated by you, unless you authorize in writing a release of our obligations under this Letter of Credit or authorize a replacement of the Letter of Credit. It is a condition of this Letter of Credit that it shall be deemed automatically extended, without amendment, for one year (or such other date as the City and Account Party may agree in writing) from the present or any future Expiration date hereof, unless at least 75 days prior to any such date, we shall send you, in the form attached hereto as Exhibit C, notice that we elect not to consider this Letter of Credit renewed for such additional one-year period. Notwithstanding any automatic extensions, this letter of credit shall expire fully and finally not later than June 04, 2024.

Upon our receipt, from time to time, from you of a written reduction certificate in the form attached as Exhibit D, we are authorized to reduce the Maximum Available Credit hereunder by the amount stated in such certificate, any such reduction to be effective only at our close of business on the date on which we receive such written reduction certificate. Final reduction / release of the Letter of Credit shall be effective at our close of business on the date on which we receive a certificate in the form attached as Exhibit E.

This Letter of Credit shall be governed by the Uniform Customs and Practice for Documentary Credits, 2007 Revision, International Chamber of Commerce Commission Publication No. 600, but excluding the provisions of Article 32 thereof (the "UCPDC").

Any communications with respect to this Letter of Credit shall be in writing and shall be addressed to us at 14323 South Outer Forty Dr, Town and Country MO 63017,  
Attention: Eric Kappelmann, specifically referring thereon to Irrevocable Letter of Credit No. 443048.

You may transfer your rights under this Letter of Credit in their entirety (but not in part) to any transferee. Transfer of your rights under this Letter of Credit to any such transferee shall be effected only upon the presentation to us of this Letter of Credit accompanied by a transfer letter in the form attached hereto as Exhibit F, and we consent to such transfer without charges or fees of any kind. Upon such transfer, the transferee shall have no further rights to transfer this Letter of Credit.

This Letter of Credit sets forth in full our undertaking, and such undertaking shall not in any way be modified, amended, amplified or limited by reference to any document, instrument or agreement referred to herein (including, without limitation, the Approval, but excluding the UCPDC), and any such reference shall not be deemed to incorporate herein by reference any document, instrument or agreement. Exhibits A, B, C, D, E, F and G attached hereto are incorporated herein by reference as an integral part of this Letter of Credit.

Very truly yours,  
Eric Kappelmann  
Senior Vice President

By:

Eric Kappelmann  
Authorized signer

EXHIBIT A  
TO LETTER OF CREDIT  
FORM OF CERTIFICATE FOR "A" DRAWING

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Attention: \_\_\_\_\_

Re: Your Letter of Credit No. \_\_\_\_\_  
In Favor of City of Chesterfield, Missouri

To Whom It May Concern:

The undersigned, a duly authorized official of City of Chesterfield, Missouri (the "Beneficiary"), hereby certifies to \_\_\_\_\_ (the "Bank"), with reference to Irrevocable Letter of Credit No. \_\_\_\_\_ (the "Letter of Credit"; any capitalized terms used herein and not defined shall have their respective meanings as set forth in the said Letter of Credit) issued by the Bank in favor of the Beneficiary, that:

1. The Account Party has failed to complete all of the required work or fulfill all obligations required by the City Code, permits, approved plans or agreements.
2. The draft in the sum of \$ \_\_\_\_\_ accompanying this Certificate is not in excess of the Maximum Available Credit under the Letter of Credit and shall result in a reduction of the Maximum Available Credit under the Letter of Credit.

Transfer the funds as stated above to the credit of the City of Chesterfield, Missouri to

[INSERT BANK Account # \_\_\_\_\_], Attention: Director of Finance.

IN WITNESS WHEREOF, the Beneficiary has executed and delivered this certificate this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services



EXHIBIT B  
TO LETTER OF CREDIT  
FORM OF CERTIFICATE FOR "B" DRAWING

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: Your Letter of Credit No. \_\_\_\_\_ in Favor of City of Chesterfield,  
Missouri

To Whom It May Concern:

The undersigned, a duly authorized official of City of Chesterfield, Missouri (the "Beneficiary"), hereby certifies to \_\_\_\_\_ (the "Bank"), with reference to Irrevocable Letter of Credit No. \_\_\_\_\_ (the "Letter of Credit"; any capitalized terms used herein and not defined shall have their respective meanings as set forth in the said Letter of Credit) issued by the Bank in favor of the Beneficiary, that:

1. Funds in the amount of the accompanying draft are now due for deposit in a special transit account for the payment per Work completion.
2. The draft in the sum of \$ \_\_\_\_\_ accompanying this Certificate is not in excess of the Maximum Available Credit under the Letter of Credit and shall result in a reduction of the Maximum Available Credit under the Letter of Credit.

Transfer the funds as stated above to the credit of the City of Chesterfield, Missouri to

[INSERT BANK Account # \_\_\_\_\_], Attention: Director of Finance.

IN WITNESS WHEREOF, the Beneficiary has executed and delivered this certificate this  
\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services

EXHIBIT C  
TO LETTER OF CREDIT  
FORM OF NOTICE OF EXPIRATION

\_\_\_\_\_  
City of Chesterfield  
690 Chesterfield Parkway W  
Chesterfield, Missouri 63017

Attention: Director of Planning & Development Services

Re: Our Letter of Credit No. \_\_\_\_\_ in Favor of City of Chesterfield,  
Missouri

Amount: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

To Whom It May Concern:

Please consider this letter as the Bank's notification that the Bank does not intend to renew the above-reference letter of credit and, therefore, it will expire in full and finally on the above-mentioned date. All remaining amounts under the Letter of Credit shall be transferred to the City of Chesterfield per the terms of the Letter.

Very truly yours,

\_\_\_\_\_  
By: \_\_\_\_\_  
Authorized Officer

cc: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXHIBIT D  
TO LETTER OF CREDIT  
FORM OF REDUCTION CERTIFICATE

City of Chesterfield  
690 Chesterfield Parkway West  
Chesterfield, Missouri 63017

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: LETTER OF CREDIT NUMBER: \_\_\_\_\_

IN ORIGINAL AMOUNT OF: \$ \_\_\_\_\_

To Whom It May Concern:

This certificate authorizes reduction in the amount of \$ \_\_\_\_\_ of the above letter of credit.  
The remaining maximum available credit for this letter of credit is \$ \_\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services

cc

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



EXHIBIT E  
TO LETTER OF CREDIT  
FORM FOR FULL REDUCTION / RELEASE OF LETTER OF CREDIT

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Attention:

Re: LETTER OF CREDIT NUMBER: \_\_\_\_\_

IN ORIGINAL AMOUNT OF: \$ \_\_\_\_\_

FINAL REDUCTION

To Whom It May Concern:

The City of Chesterfield hereby authorizes the final reduction of the letter of credit established for \_\_\_\_\_. The letter of credit referenced above is hereby being surrendered.

Should you desire additional information, please contact \* \_\_\_\_\_\*.

By: \_\_\_\_\_  
Director of Planning & Development Services

Enclosures: Letter of Credit

cc

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXHIBIT F  
TO LETTER OF CREDIT  
FORM FOR FULL TRANSFER OF LETTER OF CREDIT

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: Your Letter of Credit ("Letter of Credit") No. \_\_\_\_\_ in favor of City of  
Chesterfield, Missouri

To Whom It May Concern:

The undersigned, City of Chesterfield, Missouri ("Transferor") has transferred and assigned (and hereby confirms said transfer and assignment) all of its rights in and under the Letter of Credit to [\_\_\_\_\_] ("Transferee"). Transferor confirms that it no longer has any rights under or interest in the Letter of Credit and that you shall have no further responsibility to make payment under the Letter of Credit to Transferor.

Transferor hereby surrenders the Letter of Credit subject to the transfer to you and requests that you note the transfer of the Letter of Credit and deliver the Letter of Credit, amended or endorsed to reflect said transfer, to Transferee.

CITY OF CHESTERFIELD, MISSOURI [\_\_\_\_\_]

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_  
Director of Planning & Development Services

Enclosures: Letter of Credit, if applicable

cc \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

EXHIBIT G  
TO LETTER OF CREDIT  
SIGHT DRAFT

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Attention:

Re: Your Letter of Credit ("Letter of Credit") No. \_\_\_\_\_ in favor of City of  
Chesterfield, Missouri

To Whom It May Concern:

Pay on demand to \_\_\_\_\_ the sum of U.S. \$ \_\_\_\_\_. This  
draft is drawn under your Irrevocable Letter of Credit No. \_\_\_\_\_.

CITY OF CHESTERFIELD, MISSOURI

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

-or-

\_\_\_\_\_  
*[Insert Lender's name]*

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_



BILL NO. 3213

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE PERTAINING TO THE ACCEPTANCE OF HARMONY MEADOW COURT AS A PUBLIC STREET IN THE CITY OF CHESTERFIELD**

WHEREAS, the City of Chesterfield has approved the construction of Harmony Meadow Court; and

WHEREAS, the street was intended to be a public street and was therefore constructed to the design standards of the Department of Public Works of the City of Chesterfield.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, AS FOLLOWS:

Section 1. The following street is hereby accepted by the City of Chesterfield for future care and maintenance:

|                           |                                                                                                       |
|---------------------------|-------------------------------------------------------------------------------------------------------|
| (1) Harmony Meadow Court: | Approximately 256 feet; from Highway 340<br>(Olive Street Road) to Cul-de-sac<br>Book 365, Page 10-11 |
|---------------------------|-------------------------------------------------------------------------------------------------------|

Section 2. This Ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
PRESIDING OFFICER

\_\_\_\_\_  
Bob Nation, MAYOR

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK

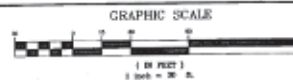
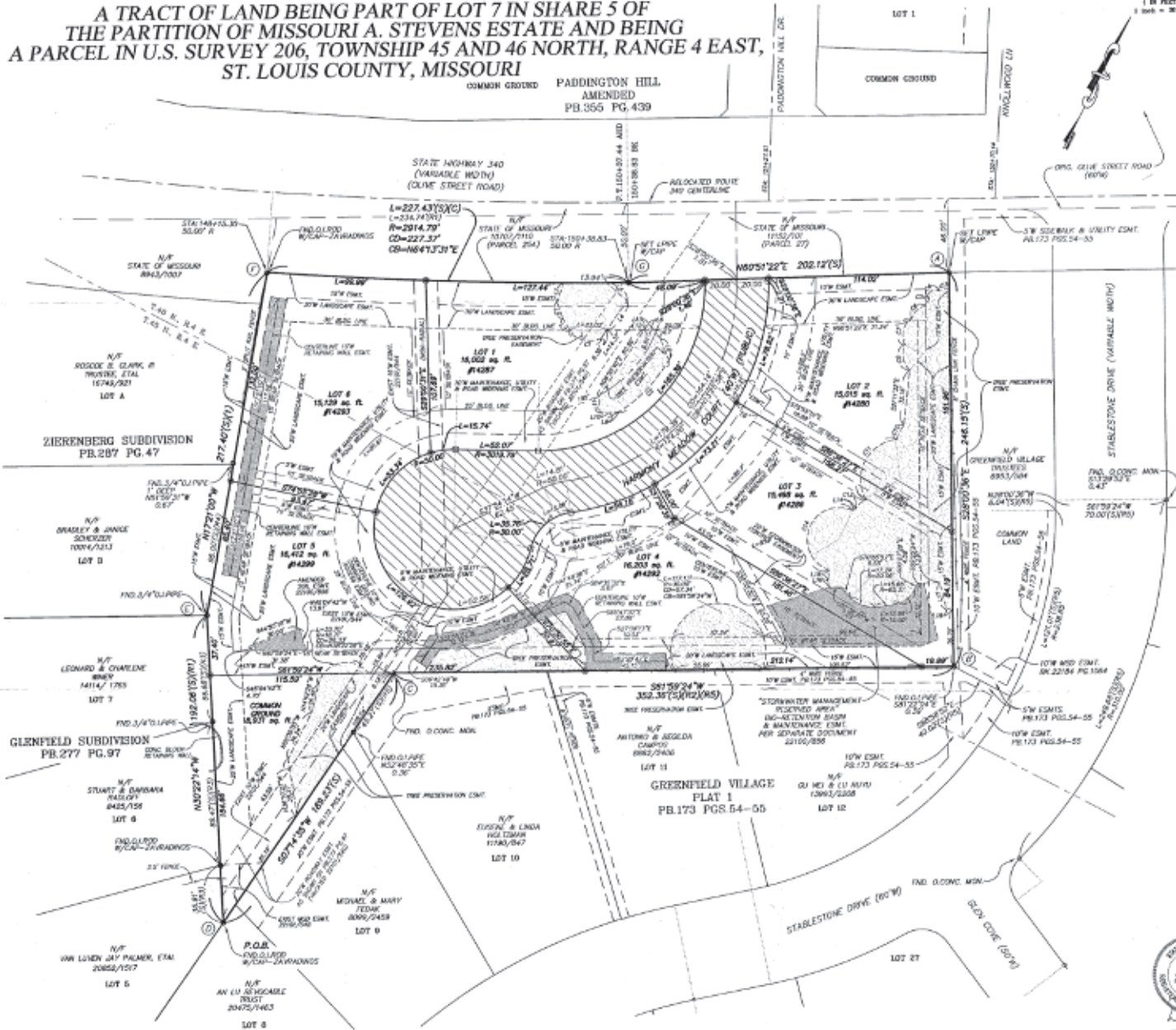
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| FIRST READING HELD:<br>_____ |
|------------------------------|

# HARMONY SEVEN

A TRACT OF LAND BEING PART OF LOT 7 IN SHARE 5 OF  
THE PARTITION OF MISSOURI A. STEVENS ESTATE AND BEING  
A PARCEL IN U.S. SURVEY 206, TOWNSHIP 45 AND 46 NORTH, RANGE 4 EAST,  
ST. LOUIS COUNTY, MISSOURI

PADDINGTON HILL  
AMENDED  
PB.355 PG.439

STATE HIGHWAY 340  
(VARIABLE WIDTH)  
(OLIVE STREET ROAD)



The State Plane information shown herein was selected from the  
recent plat of Attached Plat of Paddington Hill as recorded in  
that book 255 Page 439 as follows:  
System: NAD83  
Datum: NAD83  
Projection: UTM  
Zone: 18N  
Spheroid: GRS80  
Datum Shift: 0.00000000  
Scale Factor: 0.99999999  
To convert bearings shown on this plat to NAD83 State Plane Grid  
North, rotate counter-clockwise 0.00141°.

STATE PLANE COORDINATES

|    |                 |
|----|-----------------|
| 1  | N 315770.550(m) |
| 2  | E 248719.349(m) |
| 3  | N 315704.902(m) |
| 4  | E 248703.820(m) |
| 5  | N 315652.870(m) |
| 6  | E 248721.722(m) |
| 7  | N 315535.453(m) |
| 8  | E 248715.476(m) |
| 9  | N 315545.400(m) |
| 10 | E 248694.860(m) |
| 11 | N 315733.343(m) |
| 12 | E 248694.000(m) |
| 13 | N 315718.594(m) |
| 14 | E 248723.849(m) |

Curve Table

| Curve # | Length | Bearings    |
|---------|--------|-------------|
| 1       | 13.04' | N10°21'37"W |
| 2       | 10.96' | N46°01'34"W |
| 3       | 12.23' | S59°13'54"W |
| 4       | 22.76' | N07°04'45"E |
| 5       | 17.25' | N76°16'32"W |
| 6       | 4.55'  | S65°57'14"E |
| 7       | 7.96'  | S65°57'14"E |
| 8       | 13.72' | S49°36'31"E |
| 9       | 6.77'  | S54°46'52"W |
| 10      | 4.92'  | S89°21'11"W |
| 11      | 0.44'  | N57°38'23"W |
| 12      | 0.20'  | N60°51'22"E |
| 13      | 4.62'  | N07°05'39"E |
| 14      | 2.13'  | S35°06'49"W |
| 15      | 7.24'  | S27°23'41"E |
| 16      | 3.70'  | S38°59'25"E |
| 17      | 17.60' | S41°28'31"E |
| 18      | 4.23'  | N44°21'41"E |

Curve Table

| Curve # | Length | Radius | Chord Distance | Chord Bearing |
|---------|--------|--------|----------------|---------------|
| C1      | 18.16' | 75.36' | 17.50'         | N83°07'30"E   |
| C2      | 45.68' | 20.68' | 45.24'         | N76°04'08"E   |
| C3      | 6.72'  | 14.80' | 6.66'          | S50°51'26"W   |
| C4      | 10.77' | 4.00'  | 7.80'          | S33°01'48"W   |
| C5      | 4.96'  | 16.88' | 4.90'          | S30°36'21"E   |
| C6      | 12.64' | 12.50' | 12.11'         | S20°05'24"W   |
| C7      | 18.61' | 12.78' | 17.01'         | S13°18'23"E   |
| C8      | 17.23' | 12.50' | 15.90'         | S08°06'52"E   |
| C9      | 0.94'  | 12.50' | 0.95'          | S00°42'00"E   |
| C10     | 50.77' | 25.00' | 42.46'         | S00°27'28"E   |
| C11     | 0.51'  | 11.68' | 0.51'          | S23°51'01"W   |
| C12     | 0.51'  | 11.68' | 0.51'          | S23°51'01"W   |
| C13     | 0.51'  | 11.68' | 0.51'          | S23°51'01"W   |



ST. LOUIS COUNTY SURVEYING & ENGINEERING, INC.  
CORPORATE REGISTRATION NO. 139-1650  
DAVID J. NORTON  
P.L.S. #2276  
STATE OF MISSOURI  
JUN 18 2010  
RECEIVED  
HARMONY SEVEN  
RECORD PLAT  
BOOK 2 OF 2

ST. LOUIS COUNTY SURVEYING & ENGINEERING, INC.  
CIVIL ENGINEERING  
LAND SURVEYING  
19015 MacArthur Rd. Suite 100 St. Louis, MO 63114  
Phone (314) 265-3125 Fax (314) 865-1725

HARMONY SEVEN  
IN U.S. SURVEY 206, T. 45 & 46 N., R. 4 E.,  
ST. LOUIS COUNTY, MISSOURI

Prepared For: HARMONY SEVEN, LLC

| DATE     | BY              | REVISION |
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| 06-01-10 | DAVID J. NORTON | 100      |

## **LEGISLATION – PLANNING COMMISSION**

- A. Bill No. 3210** – An ordinance amending City of Chesterfield Ordinance 2448 establishing new permitted uses in a “PC” Planned Commercial District for 11.1 acres located on the southeastern corner of the intersection of Edison Avenue and Long Road. (P.Z. 05-2018 Edison Crossing [Buttry & Brown Development] 17U120287, 17U120298). **(Second Reading) Planning Commission recommends approval. Motion to approve by the Planning & Public Works Committee, with the stipulation that the petitioner eliminate some of the permitted uses, failed by a vote of 1-3. City Council directed staff to prepare pink sheet amendments to eliminate specific uses and to incorporate a prohibition of concurrent day care use and a drive through facility. Pink Sheet Amendments provided per City Council direction at 8/6/2018 Council meeting.**



**BILL NO. 3210**

**ORDINANCE NO.**

**AN ORDINANCE AMENDING CITY OF CHESTERFIELD ORDINANCE 2448 ESTABLISHING NEW PERMITTED USES IN A “PC” PLANNED COMMERCIAL DISTRICT FOR 11.1 ACRES LOCATED ON THE SOUTHEASTERN CORNER OF THE INTERSECTION OF EDISON AVENUE AND LONG ROAD. (P.Z. 05-2018 EDISON CROSSING [BUTTRY & BROWN DEVELOPMENT] 17U120287, 17U120298).**

**WHEREAS**, the petitioner, Buttry and Brown Development, has requested an ordinance amendment to Ordinance 2448 to change the permitted uses in a “PC” Planned Commercial District for 11.1 acres of land; and,

**WHEREAS**, a Public Hearing was held before the Planning Commission on May 30, 2018; and,

**WHEREAS**, the Planning Commission having considered said request, recommended approval of the change of zoning with amendments by a vote of 7-1; and

**WHEREAS**, the Planning and Public Works Committee, having considered said request on July 19, 2018 did not recommend approval of the change of zoning; and,

**WHEREAS**, the City Council, having considered said request, voted to approve the change of zoning request.

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

**Section 1.** The City of Chesterfield Ordinance 2448 is hereby amended for 11.1 acres southeast of the intersection of Edison Avenue and Long Road and as described as follows:

A TRACT OF LAND BEING PART IN U.S. SURVEY 126, TOWNSHIP 45 NORTH, RANGE 4 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, CONTAINING 11.1 ACRES, FURTHER DESCRIBED BELOW:

BEGINNING AT THE SOUTHEASTERN CORNER OF PROPERTY CONVEYED TO ST. LOUIS COUNTY, MISSOURI, FOR THE WIDENING OF LONG ROAD, FORMERLY 60 FEET WIDE, BY DEED RECORDED IN DEED BOOK 17849, PAGE 973 OF THE ST. LOUIS COUNTY RECORDS, BEING A POINT ON THE NORTHERN LINE OF PROPERTY CONVEYED TO THE MONARCH-CHESTERFIELD LEVEE DISTRICT BY DEED RECORDED IN DEED BOOK 11721, PAGE 724 OF THE ST. LOUIS COUNTY RECORDS, THENCE NORTHEASTERLY, ALONG THE EASTERN LINE OF SAID PROPERTY CONVEYED TO ST. LOUIS COUNTY, NORTH 01 DEGREE 25 MINUTES 27 SECONDS EAST, 608.80 FEET TO ITS INTERSECTION WITH A POINT ON THE SOUTHERN LINE OF PROPERTY CONVEYED TO THE CITY OF CHESTERFIELD FOR

THE WIDENING OF LONG ROAD PER CONDEMNATION SUIT CASE NO. 00CC003064 OF THE CIRCUIT COURT FOR ST. LOUIS COUNTY ACCORDING TO "NOTICE OF PAYMENT OF CONDEMNATION AWARD" RECORDED IN DEED BOOK 12841, PAGE 777 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTHEASTERLY AND SOUTHEASTERLY, ALONG THE SOUTHERN LINE OF SAID PROPERTY CONVEYED TO THE CITY OF CHESTERFIELD FOR THE ESTABLISHMENT OF EDISON AVENUE ACCORDING TO THE AFOREMENTIONED CONDEMNATION SUIT, NORTH 44 DEGREES 45 MINUTES 15 SECONDS EAST, 150.63 FEET TO A POINT; THENCE SOUTH 88 DEGREES 35 MINUTES 03 SECONDS EAST, 296.11 FEET TO A POINT ON A CURVE; THENCE POINT; THENCE NORTHEASTERLY, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 635.37 FEET, AN ARC A DISTANCE OF 206.20 FEET (NORTH 80 DEGREES 09 MINUTES 22 SECONDS EAST, 205.29 FEET ON ITS CHORD) TO A POINT ON A CURVE ON THE SOUTH LINE OF ADJUSTED PARCEL 2 OF THE BOUNDARY ADJUSTMENT PLAT 4 OF THE VALLEY CENTER AND PART OF SHARE 7 OF THE ESTATE OF PETER STEFFAN AND PART OF LOT 1 OF THE KROENUNG ESTATE RECORDED IN PLAT BOOK 347, PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, THENCE SOUTHEASTERLY, ALONG THE SOUTHERN LINE OF ADJUSTED PARCEL 2, SOUTH 88 DEGREES 36 MINUTES 24 SECONDS EAST, 277.65 FEET TO A POINT; THENCE NORTH 81 DEGREES 37 MINUTES 36 SECONDS EAST 67.01 FEET TO ITS INTERSECTION WITH A POINT ON THE EASTERN LINE OF LOT 1 OF THE SUBDIVISION IN PARTITION OF THE DAMIAN KROENUNG ESTATE, AS AFOREMENTIONED; THENCE NORTHEASTERLY, ALONG THE SOUTHERN LINE OF SAID ADJUSTED PARCEL 2, NORTH 74 DEGREES 13 MINUTES 36 SECONDS EAST, 77.55 FEET TO A POINT, THENCE NORTH 83 DEGREES 54 MINUTES 36 SECONDS EAST, 243.10 FEET TO THE SOUTHEASTERN CORNER OF SAID ADJUSTED PARCEL 2; THENCE SOUTHWESTERLY, ALONG THE EASTERN LINE OF SHARE 7 OF SAID SUBDIVISION IN PARTITION OF THE PETER STEFFAN ESTATE, SOUTH 00 DEGREES 33 MINUTES 36 SECONDS WEST, 39.00 FEET TO A POINT; THENCE SOUTHWESTERLY, ALONG THE APPROXIMATE CENTERLINE OF BONHOMME CREEK AS LOCATED BY VOLZ ENGINEERING AND SURVEYING, INC., ON OCTOBER 30, 1981 ACCORDING TO DEED BOOK 7400, PAGE 312 OF THE ST. LOUIS COUNTY RECORDS, SOUTH 86 DEGREES 14 MINUTES 47 SECONDS WEST, 224.88 FEET TO A POINT, THENCE SOUTH 80 DEGREES 58 MINUTES, 28 SECONDS WEST 105.00 FEET TO A POINT, THENCE SOUTH 62 DEGREES 32 MINUTES 26 SECONDS WEST, 75.00 FEET TO A POINT, THENCE SOUTH 27 DEGREES 52 MINUTES 42 SECONDS WEST, 217.00 FEET TO A POINT; THENCE SOUTH 39 DEGREES 43 MINUTES 19 SECONDS WEST, 326.00 FEET TO A POINT, THENCE SOUTH 32 DEGREES 55 MINUTES 15 SECONDS WEST, 103.00 FEET TO A POINT; THENCE SOUTH 15 DEGREES 11 MINUTES 37 SECONDS WEST, 88.00 FEET TO A POINT; THENCE SOUTH 27 DEGREES 52 MINUTES 25 SECONDS WEST, 84.12 FEET TO A POINT; THENCE SOUTHWESTERLY, ALONG THE NORTHERN LINE OF PROPERTY CONVEYED TO MONARCH-CHESTERFIELD LEVEE DISTRICT BY DEED RECORDED IN DEED BOOK 11721, PAGE 724 OF THE ST. LOUIS COUNTY RECORDS, SOUTH 89 DEGREES 58 MINUTES 47 SECONDS WEST, 456.51 FEET TO THE POINT OF BEGINNING, CONTAINING 11.184 ACRES, MORE OR LESS (487,188 SQUARE FEET).

**Section 2.** The preliminary approval, pursuant to the City of Chesterfield Unified Development Code is granted, subject to all of the ordinances, rules and regulations and the specific conditions as recommended by the Planning Commission in its recommendation to the City Council, which are set out in the “Attachment A” and the preliminary plan indicated as “Attachment B” which is attached hereto as and made part of.

**Section 3.** The City Council, pursuant to the petition filed by Buttry and Brown Development in P.Z. 05-2018, requesting the rezoning embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 30<sup>th</sup> day of May 2018, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

**Section 4.** This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

**Section 5.** This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
PRESIDING OFFICER

\_\_\_\_\_  
Bob Nation, MAYOR

ATTEST:

\_\_\_\_\_  
Vickie Hass, CITY CLERK

FIRST READING HELD: 8/06/2018



## **PINK SHEET AMENDMENT**

**The City Council recommended that the following change be made to the Attachment A by a vote of 8-0:**

### **AMENDMENT 1:**

Section I. Specific Criteria, A. Permitted Uses, pages 1-2. Revise the following language:

1. The uses allowed in this “PC” District shall be:

- a. Administrative Offices for educational or religious institutions
- b. Animal Grooming Services
- c. Art Gallery
- d. Art Studio
- ~~e. Auditorium~~
- ~~f. Automobile dealership~~
- ~~g. Automotive retail supply~~
- h. Bakery
- i. Banquet Facility
- j. Barber- or beauty shop
- k. Church and other places of worship
- ~~l. Club~~
- m. Coffee shop
- n. Coffee shop, drive-through
- o. College/university
- p. Commercial Service Facility
- ~~q. Community Center~~
- r. Day-care center
- s. Dry cleaning establishment
- t. Dry cleaning establishment, with drive-through
- ~~u. Farmer's Market~~
- ~~v. Filling station and convenience store with pump stations~~
- ~~w. Film drop off and pick up station~~
- x. Financial institution, drive-through
- y. Financial institution, no drive-through
- z. Grocery community
- aa. Grocery neighborhood
- bb. Gymnasium
- cc. Kennel, Boarding
- dd. Kindergarten or nursery school
- ~~ee. Library~~
- ff. Newspaper Stand
- gg. Office-dental

- hh. Office-general
- ii. Office-medical
- jj. Postal station
- kk. Professional and technical service facilities
- ll. Public Building Facilities owned or leased by the City of Chesterfield
- ~~mm. Reading room~~
- nn. Recreational facility, indoor facilities
- oo. Research laboratory and facility
- pp. Restaurant, fast food
- qq. Restaurant, sit down
- rr. Restaurant, take out
- ss. Retail sales establishment- community
- tt. Retail Sales Establishment- neighborhood
- uu. Retail sales establishment-regional
- ~~vv. Tackle and bait shop~~
- ~~ww. Theater, indoor~~
- ~~xx. Theater, outdoor~~
- ~~yy. Vehicle Repair & service facility~~
- zz. Veterinary clinic
- ~~aaa. Vocational School~~

## 2. Conditions

v. no automobile, truck, or other vehicle may be parked or stored in the open on the premises for longer than twenty-four (24) hours.

~~A restaurant, fast food or coffee shop with drive thru shall not be allowed concurrently with a day care center or kindergarten or nursery school.~~

ATTACHMENT A

**All provisions of the City of Chesterfield City Code shall apply to this development except as specifically modified herein.**

**I. SPECIFIC CRITERIA**

**A. PERMITTED USES**

1. The uses allowed in this “PC” District shall be:
  - a. Administrative Offices for educational or religious institutions
  - b. Animal Grooming Services
  - c. Art Gallery
  - d. Art Studio
  - e. Auditorium
  - f. Automobile dealership
  - g. Automotive retail supply
  - h. Bakery
  - i. Banquet Facility
  - j. Barber- or beauty shop
  - k. Church and other places of worship
  - l. Club
  - m. Coffee shop
  - n. Coffee shop, drive-through
  - o. College/university
  - p. Commercial Service Facility
  - q. Community Center
  - r. Day-care center
  - s. Dry cleaning establishment
  - t. Dry cleaning establishment, with drive-through
  - u. Farmer’s Market
  - v. Filling station and convenience store with pump stations
  - w. Film drop-off and pick-up station
  - x. Financial institution, drive-through
  - y. Financial institution, no drive-through
  - z. Grocery community
  - aa. Grocery neighborhood
  - bb. Gymnasium
  - cc. Kennel, Boarding
  - dd. Kindergarten or nursery school
  - ee. Library
  - ff. Newspaper Stand
  - gg. Office-dental



- hh. Office-general
  - ii. Office-medical
  - jj. Postal station
  - kk. Professional and technical service facilities
  - ll. Public Building Facilities owned or leased by the City of Chesterfield
  - mm. Reading room
  - nn. Recreational facility, indoor facilities
  - oo. Research laboratory and facility
  - pp. Restaurant, fast food
  - qq. Restaurant, sit down
  - rr. Restaurant, take out
  - ss. Retail sales establishment- community
  - tt. Retail Sales Establishment- neighborhood
  - uu. Retail sales establishment-regional
  - vv. Tackle and bait shop
  - ww. Theater, indoor
  - xx. Theater, outdoor
  - yy. Vehicle Repair & service facility
  - zz. Veterinary clinic
  - aaa. Vocational School
2. The above uses in the “PC” District shall be restricted as follows:
- v. no automobile, truck, or other vehicle may be parked or stored in the open on the premises for longer than twenty-four (24) hours
3. Hours of Operation.
- a. Retail uses and retail sales, with respect to those uses, will be subject to hours of operation from 6:00 AM to 11:00 PM. Hours of operation for said uses may be expanded for Thanksgiving Day and the day after Thanksgiving upon review and approval of a Special Activities Permit, signed by the property owner and submitted to the City of Chesterfield at least seven (7) business days in advance of said holiday.
4. Telecommunication siting permits may be issued for wireless telecommunications facilities per the requirements of the City Code.

## **B. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS**

1. Height
- a. The maximum height of the building, exclusive of roof screening, shall not exceed 30 feet.

2. Building Requirements

- a. A minimum of 35% openspace is required for each lot within this development.
- b. This development shall have a maximum F.A.R. of 0.55.

**C. SETBACKS**

1. Structure Setbacks

No building or structure, other than: a freestanding project identification sign, light standards, or flag poles will be located within the following setbacks:

- a. Fifty (50) feet from the right-of-way of Edison Avenue.
- b. Eighty (80) feet from the right-of-way of Long Road.
- c. Fifty (50) feet from the property line bearing N 44°45' 15"E.
- d. Twenty-five (25) feet from any property line adjoining property in the "NU" Non-Urban, "PS" Park and Scenic, or any "R" Residence District. In addition to the minimum twenty-five (25) feet, any structure exceeding thirty (30) feet in height which adjoins property in the "NU" Non-Urban, "PS" Park and Scenic, or any "R" Residence District shall be set back an additional one (1) foot for every two (2) feet in height above thirty (30) feet.
- e. Ten (10) feet from all internal lot lines.

2. Parking Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress or egress, will be located within the following setbacks:

- a. Fifteen (15) feet from the right-of-way of Edison Avenue.
- b. Fifteen (15) feet from the right-of-way of Long Road.
- c. Fifteen (15) feet from the property line bearing N 44°45' 15"E.
- d. Twenty-five (25) feet from any property line adjoining property in the "NU" Non-Urban, "PS" Park and Scenic, or any "R" Residence District. In addition to the minimum twenty-five (25) feet, any structure exceeding thirty (30) feet in height which adjoins property in the "NU" Non-Urban, "PS" Park and Scenic, or any "R" Residence District shall be set back an additional one (1) foot for every two (2) feet in height above thirty (30) feet.

**D. PARKING AND LOADING REQUIREMENTS**

1. Parking and loading spaces for this development will be as required in the City of Chesterfield Code.
2. Construction Parking
  - a. The streets surrounding this development and any street used for construction access thereto shall be cleaned throughout the day. The developer shall keep the road clear of mud and debris at all times.
  - b. Provide adequate off-street stabilized parking area(s) for construction employees and a washdown station for construction vehicles entering and leaving the site in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
  - c. No construction related parking shall be permitted within the Edison Avenue or Long Road right of way. All construction related parking shall be confined to the development.
  - d. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.

**E. LANDSCAPE AND TREE REQUIREMENTS**

1. The development shall adhere to the Landscape and Tree Preservation Requirements of the City of Chesterfield Code.
2. The landscape buffers for the development shall be as follows:
  - a. A fifteen (15) foot landscape buffer shall be required along Edison Avenue.
  - b. A fifteen (15) foot landscape buffer shall be required along the property line bearing N 44°45' 15"E.
  - c. A thirty (30) foot landscape buffer shall be required along Long Road from the southern property line northward a distance of 485 feet; north of this point a distance of one hundred twenty-five (125) feet a fifteen (15) foot landscape buffer shall be required along Long Road.



3. Landscaping shall be provided to screen the southern portion of the development. Any landscaping planted in the Stormwater and Utility Easement area shall be maintained by the developer.

#### **F. SIGN REQUIREMENTS**

1. Sign package submittal materials shall be required for this development. All sign packages shall be reviewed and approved by the City of Chesterfield Planning Commission.
2. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield, and/or the St. Louis County Department of Transportation (or MoDOT), for sight distance considerations prior to installation or construction.

#### **G. LIGHT REQUIREMENTS**

Provide a lighting plan and cut sheet in accordance with the City of Chesterfield Code.

#### **H. ARCHITECTURAL**

1. The development shall adhere to the Architectural Review Standards of the City of Chesterfield Code.

#### **I. ACCESS/ACCESS MANAGEMENT**

1. Access to Edison Avenue shall be limited to one drive entrance. The entrance shall be located a minimum of 300 feet from the center line of Long Road, as directed by the Department of Planning and Development Services.
2. No direct access to Long Road will be permitted from any lot located within the boundary of the property governed by this ordinance.
3. Adequate sight distance shall be provided, as directed by the City of Chesterfield. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement and other off-site improvements may be required to provide the required sight distance.

#### **J. PUBLIC/PRIVATE ROAD IMPROVEMENTS, INCLUDING PEDESTRIAN CIRCULATION**

1. Any request to install a gate at the entrance to this development must be approved by the City of Chesterfield. No gate installation will be permitted on public right-of-way.

2. If a gate is installed on a street in this development, the streets within the development, or that portion of the development that is gated, shall be private and remain private forever.
3. Construct additional lanes and pavement widening, including all improvements necessary to accommodate the additional lanes and pavement, and provide necessary right of way to provide for a right hand deceleration lane and left turn lane into the site in the vicinity of the permitted drive entrance location, as directed by the Department of Planning and Development Services. These improvements are required in order to ensure the continued free flow of traffic along Edison Avenue.
4. Provide a five (5) foot sidewalk, conforming to ADA standards, along the entire Long Road frontage of the site, as directed by the Department of Planning and Development Services and St. Louis County Department of Transportation.
5. Provide a five (5) foot wide sidewalk, conforming to ADA standards, along Edison Avenue from Long Road connecting to the trailhead parking lot, as directed by the Department of Planning and Development Services.
6. Sidewalks may be located within public right-of-way or on private property within a six (6) foot wide sidewalk, maintenance, and utility easement dedicated to the City of Chesterfield. Any work within MoDOT right-of-way will require a permit from that agency.
7. The developer shall be responsible for providing all necessary right-of-way, easements, Temporary Slope Construction License, etc., as required for Saint Louis County Project Number AR-863A. All on-site improvements shall be compatible with this project.
8. The developer is advised that utility companies will require compensation for relocation of their facilities within public road right-of-way. Utility relocation cost shall not be considered as an allowable credit against the petitioner's traffic generation assessment contributions. The developer should also be aware of extensive delays in utility company relocation and adjustments. Such delays will not constitute a cause to allow occupancy prior to completion of road improvements.

#### **K. TRAFFIC STUDY**

1. Provide a traffic study as directed by the City of Chesterfield and/or Missouri Department of Transportation. The scope of the study shall include internal and external circulation and may be limited to site specific impacts, such as the need for additional lanes, entrance configuration, geometrics, sight distance, traffic signal modifications or other improvements required, as long as the density of the proposed development falls within the parameters of the City's traffic model. Should the density be other than the density assumed in the model, regional issues shall be addressed as directed by the City of Chesterfield.
2. Provide a sight distance evaluation report, as required by the City of Chesterfield, for the proposed entrance onto Edison Avenue. If adequate sight distance cannot be provided at the access location, acquisition of right-of-way, reconstruction of pavement, including correction to the vertical alignment, and/or other off-site improvements shall be required, as directed by the City of Chesterfield and/or the Missouri Department of Transportation.

#### **L. RECREATIONAL EASEMENT**

Provide all necessary temporary and permanent easements granting access to and along the crest of the Monarch-Chesterfield levee on this property for recreational and trail purposes, as directed by the Department of Planning and Development Services.

#### **M. POWER OF REVIEW**

Either Councilmember of the Ward where a development is proposed, the Mayor, or any two (2) City Council members may request that the plan for a development be reviewed and approved by the entire City Council. This request must be made no later than seventy-two (72) hours after Planning Commission review. The City Council will then take appropriate action relative to the proposal. The plan for a development, for purposes of this section, may include the site development plan, site development section plan, site development concept plan, landscape plan, lighting plans, architectural elevations, sign package or any amendment thereto.



## **N. STORM WATER**

1. The site shall provide for the positive drainage of storm water and it shall be discharged at an adequate natural discharge point or connected to an adequate piped system.
2. Detention/retention and channel protection measures are to be provided in each watershed as required by the City of Chesterfield. The storm water management facilities shall be operational prior to paving of any driveways or parking areas in non-residential development or issuance of building permits exceeding sixty percent (60%) of approved dwelling units in each plat, watershed or phase of residential developments. The location and types of storm water management facilities shall be identified on the Site Development Plan(s).
3. Emergency overflow drainage ways to accommodate runoff from the 100-year storm event shall be provided for all storm sewers, as directed by MSD and the City of Chesterfield.
4. Offsite storm water shall be picked up and piped to an adequate natural discharge point. Such bypass systems must be adequately designed.
5. The lowest opening of all structures shall be set at least two (2) feet higher than the one hundred (100) year high water elevation in detention/retention facilities.
6. Locations of site features such as lakes and detention ponds must be approved by the City of Chesterfield and the Metropolitan Saint Louis Sewer District.
7. The receiving storm system(s) shall be evaluated to ensure adequate capacity and to ensure that the project has no negative impacts to the existing system(s).
8. Since the property is located in a designated Flood Hazard Area, it will be necessary to obtain a Floodplain Development Permit for the project; including an Elevation Certificate.
9. The property bound by this ordinance shall be required to conform to the Chesterfield Valley Master Storm Water Plan as directed by the City of Chesterfield.

## **O. SANITARY SEWER**

1. Sanitary sewers shall be as approved by the City of Chesterfield and the Metropolitan St. Louis Sewer District.

2. Certification will be required from the City of Chesterfield that stormwater will be controlled as required by the Chesterfield Valley Master Facility Plan.
3. Post-construction water quality BMPs will be required for a disturbed area greater than one acre. Stormwater Management Facilities and site design strategies shall be applied such that the extents of the project's disturbed area and impervious surfaces are managed.
4. This project is in the Caulks Creek Surcharge area and is subject to a surcharge.
5. Public sanitary sewers shall be extended to serve each lot. The new public sanitary sewer must be extended from a nearby gravity sewer, as a connection to the existing force main located in Edison Avenue will not be allowed.
6. The receiving sanitary sewer systems(s) shall be evaluated to ensure adequate capacity and to ensure the project has no negative impacts on the existing system.
7. Formal plan submittal and approval is required by MSD prior to the issuance of permits.
8. Metropolitan St. Louis Sewer District will require approvals from the Monarch-Chesterfield Levee District and the City of Chesterfield indicating the project's compliance with the Chesterfield Valley Master Stormwater Plan prior to issuing permits.

#### **P. GEOTECHNICAL REPORT**

Prior to Site Development Plan approval, provide a geotechnical report, prepared by a registered professional engineer licensed to practice in the State of Missouri, as directed by the Department of Public Works. The report shall verify the suitability of grading and proposed improvements with soil and geologic conditions and address the existence of any potential sinkhole, ponds, dams, septic fields, etc., and recommendations for treatment. A statement of compliance, signed and sealed by the geotechnical engineer preparing the report, shall be included on all Site Development Plans and Improvement Plans.

#### **Q. MISCELLANEOUS**

1. All utilities will be installed underground. The development of this parcel will coordinate the installation of all utilities in conjunction with the construction of any roadway on site.

2. An opportunity for recycling will be provided. All provisions of Chapter 25, Article VII, and Section 25-122 thru Section 25-126 of the City Code shall be required where applicable.
3. Road improvements and right-of-way dedication shall be completed prior to the issuance of an occupancy permit. If development phasing is anticipated, the developer shall complete road improvements, right-of-way dedication, and access requirements for each phase of development as directed by the City of Chesterfield and MoDOT. Delays due to utility relocation and adjustments will not constitute a cause to allow occupancy prior to completion of road improvements.
4. Prior to record plat approval, the developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the out boundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the United States Public Land Survey Corners, as necessary.
5. Prior to final release of subdivision construction deposits, the developer shall provide certification by a registered land surveyor that all monumentation depicted on the record plat has been installed and United States Public Land Survey Corners have not been disturbed during construction activities or that they have been reestablished and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program, as necessary.

## **II. TIME PERIOD FOR SUBMITTAL OF SITE DEVELOPMENT CONCEPT PLANS AND SITE DEVELOPMENT PLANS**

- A.** The developer shall submit a concept plan within eighteen (18) months of City Council approval of the change of zoning.
- B.** In lieu of submitting a Site Development Concept Plan and Site Development Section Plans, the petitioner may submit a Site Development Plan for the entire development within eighteen (18) months of the date of approval of the change of zoning by the City.
- C.** Failure to comply with these submittal requirements will result in the expiration of the change of zoning and will require a new public hearing.
- D.** Said Plan shall be submitted in accordance with the combined requirements for Site Development Section and Concept Plans. The submission of Amended Site Development Plans by sections of this project to the Planning Commission shall be permitted if this option is utilized.



- E.** Where due cause is shown by the developer, the City Council may extend the period to submit a Site Development Concept Plan or Site Development Plan for eighteen (18) months.

### **III. COMMENCEMENT OF CONSTRUCTION**

- A.** Substantial construction shall commence within two (2) years of approval of the Site Development Concept Plan or Site Development Plan, unless otherwise authorized by ordinance.
- B.** Where due cause is shown by the developer, the City Council may extend the period to commence construction for two (2) additional years.

### **IV. GENERAL CRITERIA**

#### **A. SITE DEVELOPMENT CONCEPT PLAN**

1. Any Site Development Concept Plan shall show all information required on a preliminary plat as required in the City of Chesterfield Code.
2. Include a Conceptual Landscape Plan in accordance with the City of Chesterfield Code to indicate proposed landscaping along arterial and collector roadways.
3. Include a Lighting Plan in accordance with the City of Chesterfield Code to indicate proposed lighting along arterial collector roadways.
4. Provide comments/approvals from the appropriate Fire District, the St. Louis County Department of Transportation, Monarch Chesterfield Levee District, Spirit of St. Louis Airport and the Missouri Department of Transportation.
5. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

#### **B. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS**

The Site Development Plan shall include, but not be limited to, the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Outboundary plat and legal description of property.
3. Density calculations.

4. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
5. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
6. Provide Floor Area Ratio (F.A.R.).
7. A note indicating all utilities will be installed underground.
8. A note indicating signage approval is separate process.
9. Depict the location of all buildings, size, including height and distance from adjacent property lines, and proposed use.
10. Specific structure and parking setbacks along all roadways and property lines.
11. Indicate location of all existing and proposed freestanding monument signs.
12. Zoning district lines, subdivision name, lot number, dimensions, and area, and zoning of adjacent parcels where different than site.
13. Floodplain boundaries.
14. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
15. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
16. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
17. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
18. Address trees and landscaping in accordance with the City of Chesterfield Code.

19. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
20. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
21. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
22. Compliance with Sky Exposure Plane.
23. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

**C. SITE DEVELOPMENT SECTION PLAN SUBMITTAL REQUIREMENTS**

The Site Development Section Plan shall adhere to the above criteria and to the following:

1. Location map, north arrow, and plan scale. The scale shall be no greater than one (1) inch equals one hundred (100) feet.
2. Parking calculations. Including calculation for all off street parking spaces, required and proposed, and the number, size and location for handicap designed.
3. Provide openspace percentage for overall development including separate percentage for each lot on the plan.
4. Provide Floor Area Ratio (F.A.R.).
5. A note indicating all utilities will be installed underground.
6. A note indicating signage approval is separate process.
7. Depict the location of all buildings, size, including height and distance from adjacent property lines and proposed use.
8. Specific structure and parking setbacks along all roadways and property lines.
9. Indicate location of all existing and proposed freestanding monument signs.



10. Zoning district lines, subdivision name, lot number, lot dimensions, lot area, and zoning of adjacent parcels where different than site.
11. Floodplain boundaries.
12. Depict existing and proposed improvements within 150 feet of the site as directed. Improvements include, but are not limited to, roadways, driveways and walkways adjacent to and across the street from the site, significant natural features, such as wooded areas and rock formations, and other karst features that are to remain or be removed.
13. Depict all existing and proposed easements and rights-of-way within 150 feet of the site and all existing or proposed off-site easements and rights-of-way required for proposed improvements.
14. Indicate the location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to the existing systems.
15. Depict existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site as directed.
16. Address trees and landscaping in accordance with the City of Chesterfield Code.
17. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Regulations per the City of Chesterfield Code.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
19. Provide comments/approvals from the appropriate Fire District, Monarch Levee District, Spirit of St. Louis Airport, St. Louis Department of Transportation, Metropolitan St. Louis Sewer District (MSD) and the Missouri Department of Transportation.
20. Compliance with Sky Exposure Plane.
21. Compliance with the current Metropolitan Sewer District Site Guidance as adopted by the City of Chesterfield.

## V. TRUST FUND CONTRIBUTION

The developer shall be required to contribute to the Chesterfield Valley Trust Fund (no. 556). Traffic generation assessment contributions shall be deposited with St. Louis County prior to the issuance of building permits. If development phasing is anticipated, the developer shall provide the traffic generation assessment contribution prior to issuance of building permits for each phase of development.

### A. ROADS

The roadway improvement contribution is based on land and building use. The roadway contributions are necessary to help defray the cost of engineering, right-of-way acquisition, and major roadway construction in accordance with the Chesterfield Valley Road Improvement Plan on file with the St. Louis County Department of Transportation. This contribution shall not exceed an amount established by multiplying the required parking spaces by the following rate schedule:

| <u>Type of Development</u> | <u>Required Contribution</u> |
|----------------------------|------------------------------|
| General Office             | \$758.82/parking space       |
| General Retail             | \$2,276.60/parking space     |
| Drive-In Fast Food         | \$4,553.36/parking space     |
| High Turn-Over             | \$2,276.60/parking space     |

(Parking spaces as required by the City of Chesterfield Code.)

If types of development differ from those listed, rates shall be provided by St. Louis County Department of Transportation.

If a portion of the improvements required herein are needed to provide for the safety of the traveling public, their completion as part of this development is mandatory.

Credits for roadway improvements required will be awarded as directed by St. Louis County Department of Transportation and the City of Chesterfield. Sidewalk construction and utility relocation, among other items, are not considered allowable credits.

As this development is located within a trust fund area established by St. Louis County, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development, shall be retained in the appropriate Trust Fund.

Road Improvement Traffic Generation Assessment contributions shall be deposited with the St. Louis County Department of Transportation. The deposit shall be made before the issuance of any Special Use Permit (SUP) by St. Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. If development phasing is anticipated, the developer shall provide for each phase of development. Funds shall be payable to "Treasurer, St. Louis County."

The amount of these required contributions for the roadway, storm water and primary water line improvements, if not submitted by January 1, 2019 shall be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the Saint Louis County Department of Transportation.

Prior to Special Use Permit issuance by the St. Louis County Department of Transportation, a special cash escrow supported by an Irrevocable Letter of Credit, must be established with the St. Louis County Department of Transportation to guarantee completion of the required roadway improvements.

#### **B. WATER MAIN**

The primary water line contribution is based on gross acreage of the development land area. The contribution shall be a sum of \$915.62 per acre for the total area as approved on the Site Development Plan to be used solely to help defray the cost of constructing the primary water line serving the Chesterfield Valley Area.

The primary water line contribution shall be deposited with St. Louis County Department of Transportation. The deposit shall be made before St. Louis County approval of the Site Development Plan unless otherwise directed by the St. Louis County Department of Transportation. Funds shall be payable to "Treasurer, St. Louis County."

#### **C. STORM WATER**

The storm water contribution is based on gross acreage of the development land area. These funds are necessary to help defray the cost of engineering and construction improvements for the collection and disposal of storm water from the Chesterfield Valley in accordance with the Master Plan on file with and jointly approved by St. Louis County and the Metropolitan Saint Louis Sewer District. The amount of the storm water contribution will be computed based on \$2,905.08 per acre for the total area as approved on the Site Development Plan.



The storm water contributions to the Trust Fund shall be deposited with the St. Louis County Department of Transportation. The deposit shall be made prior to the issuance of a Special Use Permit (S.U.P.) by St. Louis County Department of Transportation or prior to the issuance of building permits in the case where no Special Use Permit is required. Funds shall be payable to "Treasurer, St. Louis County."

**D. SANITARY SEWER**

The sanitary sewer contribution is collected s the Caulks Creek impact fee.

The sanitary sewer contribution within Chesterfield Valley area shall be deposited with the Metropolitan St. Louis Sewer District as required by the District.

Trust Fund contributions shall be deposited with St. Louis County in the form of a cash escrow prior to the issuance of building permits.

**VI. RECORDING**

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval of a plan by the Planning Commission.

**VII.ENFORCEMENT**

- A.** The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Plan approved by the City of Chesterfield and the terms of this Attachment A.
- B.** Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of approvals/permits by reviewing Departments and Commissions.
- C.** Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in the City of Chesterfield Code.
- D.** Waiver of Notice of Violation per the City of Chesterfield Code.
- E.** This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.



# PRELIMINARY DEVELOPMENT PLAN

for

# EDISON CROSSING

EDISON CROSSING LOT SPLIT  
ST. LOUIS COUNTY, MISSOURI

## LEGEND

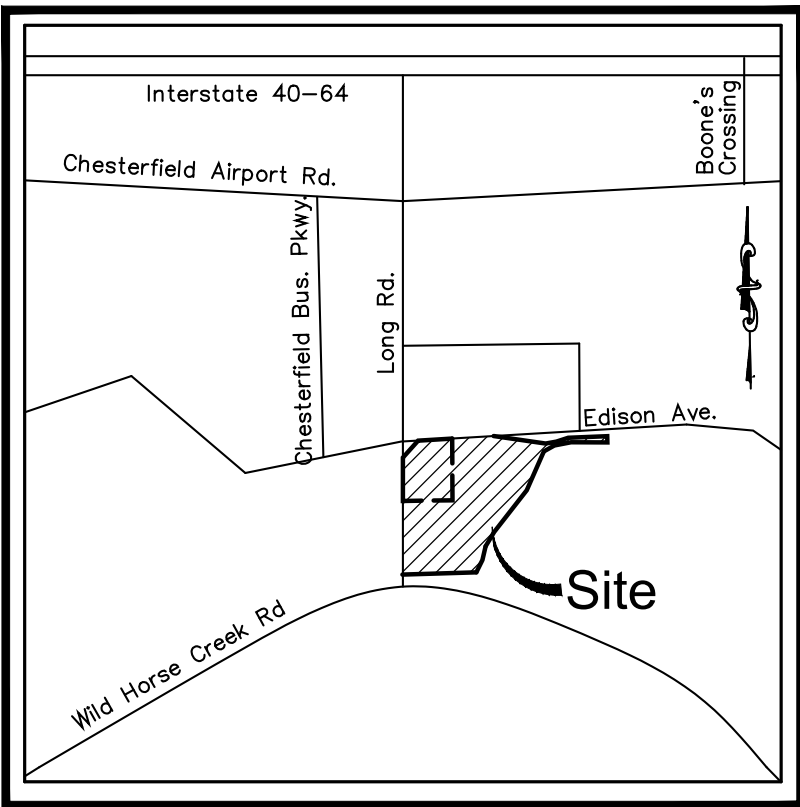
|                           |               |
|---------------------------|---------------|
| EXISTING CONTOURS         | — 433 —       |
| PROPOSED CONTOURS         | — 433 —       |
| EXISTING STORM SEWER      | — □ —         |
| PROPOSED STORM SEWER      | — ST — ST —   |
| EXISTING SANITARY SEWER   | — ○ —         |
| PROPOSED SANITARY SEWER   | — SAN — SAN — |
| RIGHT-OF-WAY              | — — — —       |
| EASEMENT                  | — — — —       |
| CENTERLINE                | — — — —       |
| EXISTING TREE             | ⊙             |
| EXISTING SPOT ELEVATION   | + 433.28      |
| PROPOSED SPOT ELEVATION   | + 433.28      |
| SWALE                     | — V —         |
| TO BE REMOVED             | T.B.R.        |
| TO BE REMOVED & RELOCATED | T.B.R. & R.   |
| TO BE USED IN PLACE       | U.I.P.        |
| ADJUST TO GRADE           | A.T.G.        |
| BACK OF CURB              | B.C.          |
| FACE OF CURB              | F.C.          |
| WATER MAIN                | — W — W —     |
| GAS MAIN                  | — GAS —       |
| UNDERGROUND TELEPHONE     | — T —         |
| OVERHEAD WIRE             | — OHE —       |
| UNDERGROUND ELECTRIC      | — E — E —     |
| SILTATION CONTROL         | X             |
| FIRE HYDRANT              | ⊗             |
| POWER POLE                | ⊕             |
| WATER VALVE               | ⊕             |
| LIGHT STANDARD            | ⊙             |

## SYMBOLS

|      |                     |
|------|---------------------|
| WV   | WATER VALVE         |
| WMH  | WATER MANHOLE       |
| TMH  | TELEPHONE MANHOLE   |
| —    | BRUSH & SHRUB LINE  |
| —    | SIGN                |
| —    | ELECTRIC YARD LIGHT |
| MB   | MAIL BOX            |
| EB   | ELECTRIC BOX        |
| PP   | POWER POLE          |
| PP — | POWER POLE & GUY    |
| CO   | CLEAN OUT           |
| GV   | GAS VALVE           |
| GM   | GAS METER           |
| GD   | GAS DRIP            |

## ABBREVIATIONS

|      |                          |
|------|--------------------------|
| N    | NORTH                    |
| S    | SOUTH                    |
| E    | EAST                     |
| W    | WEST                     |
| CONC | CONCRETE                 |
| ASPH | ASPHALT                  |
| PB   | PLAY BOOK                |
| DB   | DEED BOOK                |
| PG   | PAGE                     |
| SF   | SQUARE FEET              |
| AC   | ACRES                    |
| ELEV | ELEVATION                |
| FF   | FINISH FLOOR             |
| FL   | FLOWLINE                 |
| PVC  | POLYVINYL CHLORIDE PIPE  |
| RCP  | REINFORCED CONCRETE PIPE |
| STM  | STORM                    |
| SAN  | SANITARY                 |
| (S)  | SAVE                     |
| (R)  | REMOVE                   |



## LOCATION MAP

N.T.S.

## PROPERTY DATA

|                  |                                           |
|------------------|-------------------------------------------|
| OWNER            | = LONG EDISON LLC                         |
| ADDRESS          | = 17690 EDISON AVENUE                     |
|                  | = 17634 EDISON AVENUE                     |
| LOCATOR NO.      | = 17690 — 17U120287                       |
|                  | = 17634 — 17U120298                       |
| ACREAGE          | = 17690 — 0.98± AC                        |
|                  | = 17634 — 10.20± AC                       |
| ZONING           | = PC (PLANNED COMMERCIAL) ORDINANCE #2448 |
| FIRE DISTRICT    | = MONARCH FIRE PROTECTION DISTRICT        |
| SCHOOL DISTRICT  | = ROCKWOOD                                |
| WATER SHED       | = MISSOURI RIVER                          |
| FEMA MAP         | = 28189c0165 K                            |
| ELECTRIC COMPANY | = AMEREN UE                               |
| GAS COMPANY      | = SPIRE                                   |
| PHONE COMPANY    | = SOUTHWESTERN BELL TELEPHONE             |
| WATER COMPANY    | = MISSOURI AMERICAN WATER COMPANY         |

## PROJECT BENCHMARK

NAV089 Elev. 461.25' — Found Iron Rod at the northwest corner of subject lot at the intersection of Long Road and Edison Avenue, as shown on survey.

## LEGAL DESCRIPTION

BEGINNING AT THE SOUTHEASTERN CORNER OF PROPERTY CONVEYED TO ST. LOUIS COUNTY, MISSOURI, FOR THE WIDENING OF LONG ROAD, FORMERLY 60 FEET WIDE, BY DEED RECORDED IN DEED BOOK 17849, PAGE 673 OF THE ST. LOUIS COUNTY RECORDS, BEING A POINT ON THE NORTHERN LINE OF PROPERTY CONVEYED TO THE MONARCH-CHESTERFIELD LEVEE DISTRICT BY DEED RECORDED IN DEED BOOK 11721, PAGE 724 OF THE ST. LOUIS COUNTY RECORDS, THENCE NORTHEASTERLY ALONG THE EASTERN LINE OF SAID PROPERTY CONVEYED TO ST. LOUIS COUNTY, NORTH 01 DEGREE 26 MINUTES 27 SECONDS EAST, 608.80 FEET TO ITS INTERSECTION WITH A POINT ON THE SOUTHERN LINE OF PROPERTY CONVEYED TO THE CITY OF CHESTERFIELD FOR THE WIDENING OF LONG ROAD PER CONDEMNATION SUIT CASE NO. 000C003064 OF THE CIRCUIT COURT FOR ST. LOUIS COUNTY ACCORDING TO "NOTICE OF PAYMENT OF CONDEMNATION AWARD" RECORDED IN DEED BOOK 12841, PAGE 777 OF THE ST. LOUIS COUNTY RECORDS; THENCE NORTHEASTERLY AND SOUTHEASTERLY, ALONG THE SOUTHERN LINE OF SAID PROPERTY CONVEYED TO THE CITY OF CHESTERFIELD FOR THE ESTABLISHMENT OF EDISON AVENUE ACCORDING TO THE AFOREMENTIONED CONDEMNATION SUIT, NORTH 44 DEGREES 45 MINUTES 15 SECONDS EAST, 150.63 FEET TO A POINT; THENCE SOUTH 88 DEGREES 35 MINUTES 03 SECONDS EAST, 296.11 FEET TO A POINT ON CURVE; THENCE POINT; THENCE NORTHEASTERLY, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 635.37 FEET, AN ARC DISTANCE OF 206.20 FEET (NORTH 80 DEGREES 09 MINUTES 22 SECONDS EAST, 205.29 FEET ON ITS CHORD), TO A POINT ON CURVE ON THE SOUTH LINE OF ADJUSTED PARCEL 2 OF BOUNDARY ADJUSTMENT PLAT OF PLAT 4 OF THE VALLEY CENTER AND PART OF SHARE 7 OF THE ESTATE OF PETER STEFFAN AND PART OF LOT 1 OF KROENUNG ESTATE RECORDED IN PLAT BOOK 347, PAGE 13 OF THE ST. LOUIS COUNTY RECORDS, THENCE SOUTHEASTERLY, ALONG THE SOUTHERN LINE OF ADJUSTED PARCEL 2, SOUTH 88 DEGREES 36 MINUTES 24 SECONDS EAST, 277.65 FEET TO A POINT, THENCE NORTH 81 DEGREES 37 MINUTES 36 SECONDS EAST, 67.01 FEET TO ITS INTERSECTION WITH A POINT ON THE EASTERN LINE OF LOT 1 OF THE SUBDIVISION IN PARTITION OF THE DANIAN KROENUNG ESTATE, AS AFOREMENTIONED; THENCE NORTHEASTERLY, ALONG THE SOUTHERN LINE OF SAID ADJUSTED PARCEL 2, NORTH 74 DEGREES 13 MINUTES 36 SECONDS EAST, 77.66 FEET TO A POINT; THENCE NORTH 83 DEGREES 54 MINUTES 36 SECONDS EAST, 243.10 FEET TO THE SOUTHEASTERN CORNER OF SAID ADJUSTED PARCEL 2, THENCE SOUTHWESTERLY, ALONG THE EASTERN LINE OF SHARE 7 OF SAID SUBDIVISION IN PARTITION OF THE PETER STEFFAN ESTATE, SOUTH 00 DEGREES 33 MINUTES 36 SECONDS WEST, 39.00 FEET TO A POINT; THENCE SOUTHWESTERLY, ALONG THE APPROXIMATE CENTERLINE OF BONHOMME CREEK AS LOCATED BY VOLZ ENGINEERING AND SURVEYING, INC., ON OCTOBER 30, 1981 ACCORDING TO DEED BOOK 7460, PAGE 312 OF THE ST. LOUIS COUNTY RECORDS, SOUTH 86 DEGREES 14 MINUTES 47 SECONDS WEST, 224.88 FEET TO A POINT; THENCE SOUTH 80 DEGREES 58 MINUTES 28 SECONDS WEST 105.00 FEET TO A POINT; THENCE SOUTH 62 DEGREES 32 MINUTES 26 SECONDS WEST, 75.00 FEET TO A POINT; THENCE SOUTH 27 DEGREES 52 MINUTES 42 SECONDS WEST, 217.00 FEET TO A POINT; THENCE SOUTH 39 DEGREES 43 MINUTES 19 SECONDS WEST, 226.00 FEET TO A POINT; THENCE SOUTH 32 DEGREES 85 MINUTES 16 SECONDS WEST, 103.00 FEET TO A POINT; THENCE SOUTH 15 DEGREES 11 MINUTES 37 SECONDS WEST, 89.00 FEET TO A POINT; THENCE SOUTH 27 DEGREES 52 MINUTES 25 SECONDS WEST, 84.12 FEET TO A POINT; THENCE SOUTHWESTERLY, ALONG THE NORTHERN LINE OF PROPERTY CONVEYED TO THE MONARCH-CHESTERFIELD LEVEE DISTRICT BY DEED RECORDED IN DEED BOOK 11721, PAGE 724 OF THE ST. LOUIS COUNTY RECORDS, SOUTH 89 DEGREES 58 MINUTES 47 SECONDS WEST, 456.81 FEET TO THE POINT OF BEGINNING, CONTAINING 11.184 ACRES, MORE OR LESS (487,188 SQUARE FEET).

## SURVEYORS NOTES OF INTEREST

Right of Way Dedication, Temporary Slope & Construction License, Stormwater & Utility Easement to the City of Chesterfield per condemnation suit cause #00C003064 according to notice of payment of condemnation award DB12841, PG.777 is not listed in Title Commitment.

## GENERAL NOTES

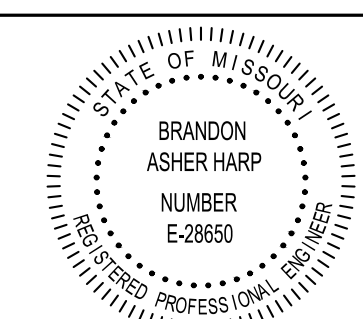
- 1.) ALL UTILITIES SHOWN HAVE BEEN LOCATED FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES, PRIOR TO CONSTRUCTION, TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM.
- 2.) ALL ELEVATIONS ARE BASED ON M.S.D. BENCHMARK.
- 3.) BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING CO.
- 4.) ALL MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE DIRECTOR OF PUBLIC WORKS FOR THE CITY OF CHESTERFIELD.
- 5.) ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF CHESTERFIELD.
- 6.) PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- 7.) GRADING CONTRACTOR SHALL INSTALL SILTATION CONTROL PRIOR TO STARTING THE GRADING. ADDITIONAL SILTATION CONTROL DEVICES SHALL BE INSTALLED AS DIRECTED BY THE CITY OF CHESTERFIELD.
- 8.) ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- 9.) GRADING CONTRACTOR SHALL KEEP EXISTING ROADWAYS CLEAN OF MUD AND DEBRIS AT ALL TIMES.
- 10.) PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- 11.) GRADING & STORM WATER PER M.S.D. STANDARD SPECIFICATIONS AND THE CITY OF CHESTERFIELD STANDARDS.
- 12.) DRIVE ENTRANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY & MODOT.
- 13.) SEEDING, SOODING, MULCHING AND PLANTINGS FOR ALL DISTURBED AREAS SHALL BE SPECIFIED ON THE LANDSCAPE PLAN.
- 14.) SIDEWALKS ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1"V:20"H. SLOPES GREATER THAN 1"V:20"H MUST BE DESIGNED AS A RAMP.
- 15.) SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS SPECIFICATIONS AND SIGNAGE, IF ANY CONFLICT OCCURS BETWEEN THE ADAAG GUIDELINES AND THE INFORMATION ON THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER PRIOR TO ANY CONSTRUCTION.
- 16.) BY GRAPHIC PLOTTING ONLY, THIS PROPERTY DOES LIE WITHIN SPECIAL FLOOD ZONE AREAS ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBER 29189C0165K AND COMMUNITY NUMBER 290896 (CITY OF CHESTERFIELD) WHICH BEARS AN EFFECTIVE DATE OF FEBRUARY 4, 2015. THE PROPERTY LIES WITHIN SHADED ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) AND ZONE AH (FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED).
- 17.) NO ON-SITE ILLUMINATION SOURCE SHALL BE SO SITUATED THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. ILLUMINATION LEVELS SHALL COMPLY WITH THE PROVISIONS OF SECTION 31.04.03 OF THE UNIFIED DEVELOPMENT CODE.
- 18.) APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE. SIGN APPROVAL IS A SEPARATE PROCESS.
- 19.) ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
- 20.) ROOF TOP EQUIPMENT SHALL BE SCREENED.
- 21.) THIS DEVELOPMENT SHALL CONFORM TO MSD REQUIREMENTS FOR WATER QUALITY, IF APPLICABLE.
- 22.) NO CONSTRUCTION RELATED PARKING SHALL BE PERMITTED WITHIN THE RIGHT-OF-WAY OF EDISON OR LONG ROAD
- 23.) ALL PROVISIONS OF THE CITY CODE SHALL APPLY

NOTE:  
CIVIL ENGINEERING DESIGN CONSULTANTS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS, METHODS & MATERIALS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. CIVIL ENGINEERING DESIGN CONSULTANTS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

UTILITY NOTE:  
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

NOTE TO CONTRACTOR:  
CONTRACTOR/SUBCONTRACTOR SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO; OR CROSSINGS OF THEIR FACILITIES; WORKING WITHIN THEIR RIGHT-OF-WAY OR EASEMENTS; INSPECTIONS AND ASSOCIATED MONETARY CHARGES; AND/OR SPECIAL BACKFILL REQUIREMENTS. SUCH INVESTIGATION TO INCLUDE BUT NOT LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATIONS, ANTICIPATED CLEARANCES AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON, AS PART OF THE INVESTIGATIONS IN THE PARAGRAPH ABOVE.



BRANDON A. HARP, P.E. E-28650  
PROFESSIONAL ENGINEER  
CEDC LICENSE NO.: 2003004674

10820 Sunset Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
314.729.1404  
Fax: 314.729.1404  
www.cedc.net

**CEDC**  
CIVIL ENGINEERING  
DESIGN CONSULTANTS

Preliminary Development Plan for  
**EDISON CROSSING**  
17634 & 17690 Edison Avenue  
Chesterfield, Missouri

| Proj. # 1777 |             |          |
|--------------|-------------|----------|
| No.          | Description | Date     |
| City         | Submittal   | 04-27-18 |
| To City      |             | 06-07-18 |

PRELIMINARY  
DEVELOPMENT  
PLAN

C01

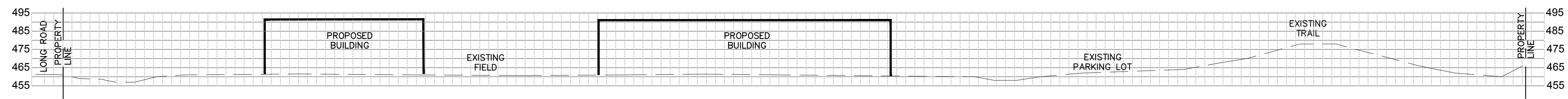
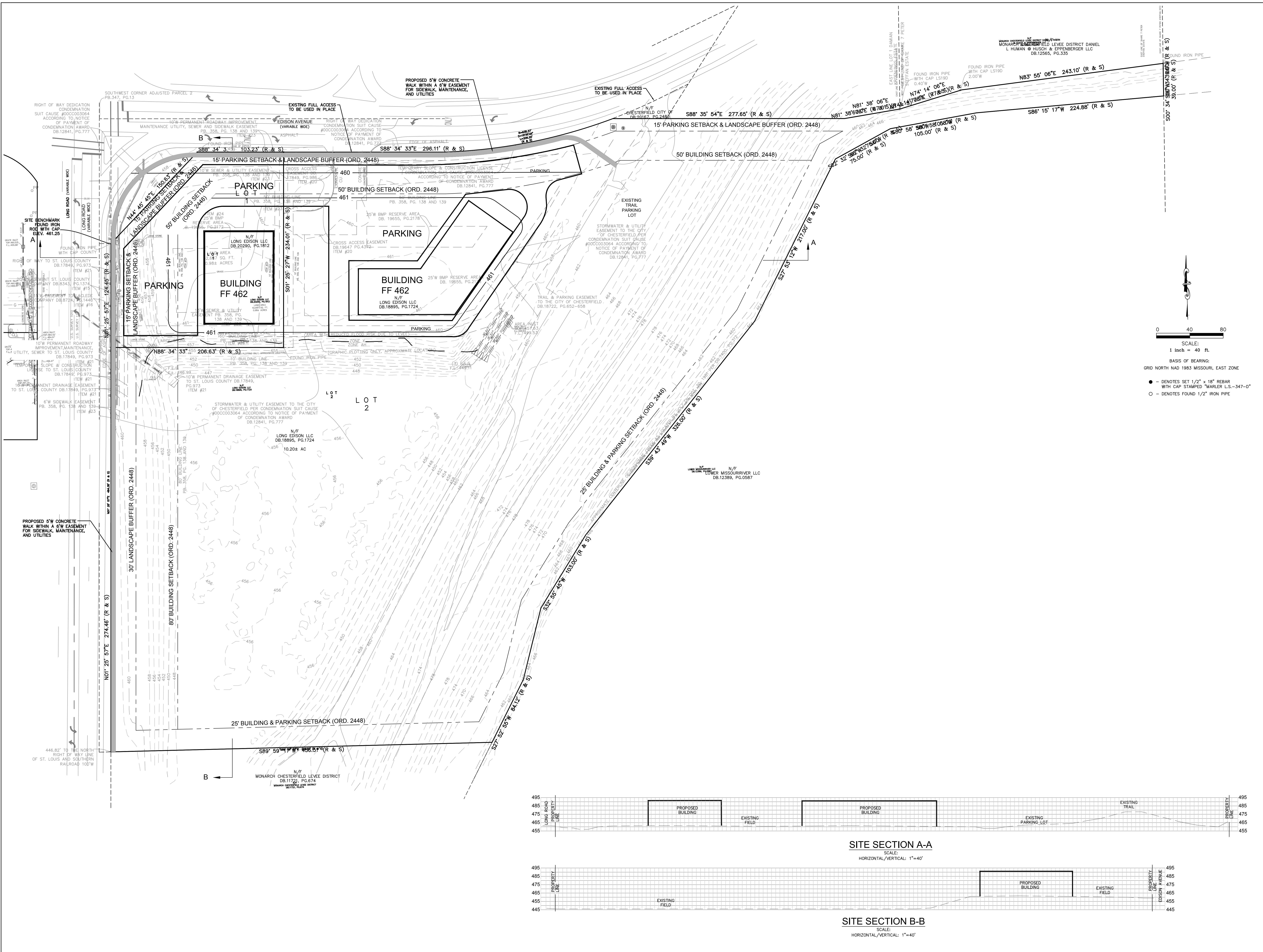
## PREPARED FOR:

BUTTRY & BROWN DEVELOPMENT, LLC  
2040 Tennyson Parkway  
Plano, Texas 75024  
Ph: 214.296.4989  
Mobil: 214.315.3844  
Attn: Steve Buttry  
SButtry@Buttry-Brown.com

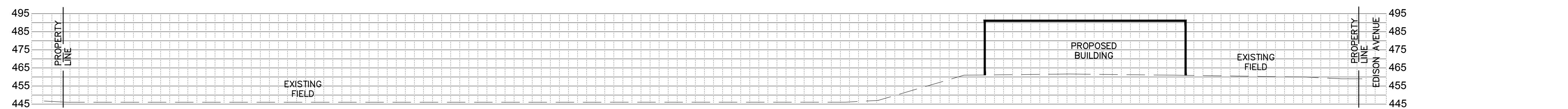
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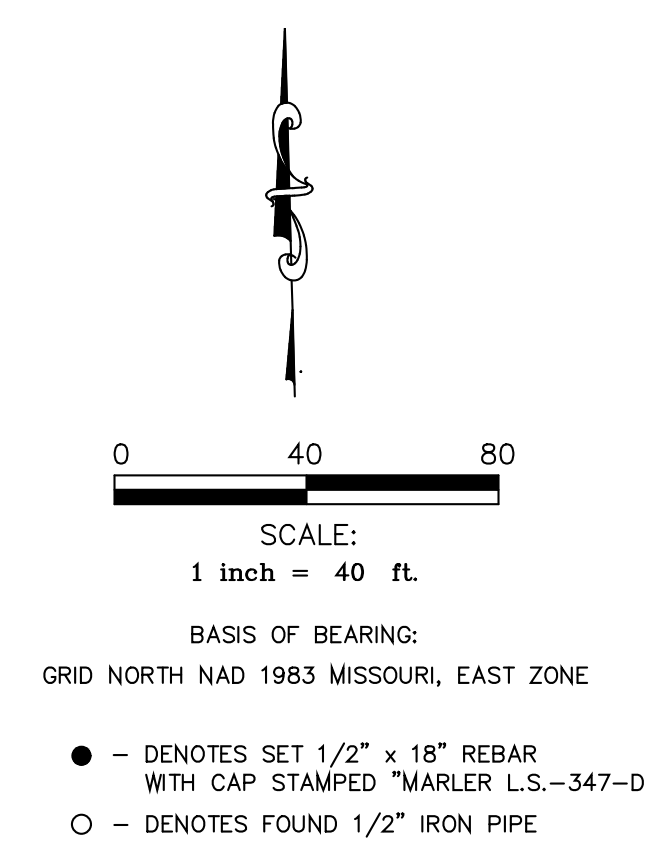




SITE SECTION A-A  
SCALE:  
HORIZONTAL/VERTICAL: 1"=40'



SITE SECTION B-B  
SCALE:  
HORIZONTAL/VERTICAL: 1"=40'



BRANDON A. HUPP, P.E. E-28650  
PROFESSIONAL ENGINEER  
CEDC LICENSE NO.: 2003004674

10820 Sumet Office Drive  
Suite 200  
St. Louis, Missouri 63127  
314.729.1400  
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# CEDC

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Preliminary Development Plan for  
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| No.            | Description | Date |
|----------------|-------------|------|
| City Submittal | 04-27-18    |      |
| To City        | 06-07-18    |      |

## C02